BRAZORIA COUNTY
BUILDING PERMIT APPLICATION

Angleton 979-864-1295 **451 North Velasco, Suite 210, Angleton, TX 77515** Houston/Alvin 281-756-1295

OWNERSHIP INFORMATION:

Name: Joe Tornberg Phone: 832-236-7671

Current/Mailing Address: 5501 Grand Lake St Houston TX 77081
Street or PO Box City/State Zip Code

Building Contractors Information: Owner	Address:	Phone:

LOCATION OF CONSTRUCTION:

Subdivision: Key Largo Resort

SITE ADDRESS (Where Structure Will Be Placed or Constructed)

Street Address: 8004 Blue Water Highway City (required): Freeport

Section:	Block:	Lot:	Abstract No.:	Acreage:	PID #:
N/A	4	11/28	29	.25	219756

TYPE OF IMPROVEMENT Check Appropriate Box(es)	PROPOSED USE Fill Out and Check Any That Apply to Your Application	OWNERSHIP Check Appropriate Box(es) Fill Out *Cost & Sq. Ft.*	TYPE OF WATER SUPPLY Check Appropriate Box	TYPE OF SEWAGE DISPOSAL Check Appropriate Box(es)
☒ New Building ☐ Addition to Building ☐ Manufactured Home ☐ Mobile Home ☐ Residential RV ☐ Levee Construction ☐ Relocated Building - ☐ *Came from Outside County* ☐ *Mobile Home Park* or *RV Park # of Spaces* _____	☒ Residential Number of Bedrooms: 4 Number of Bathrooms: *Full* 4 *Partial* 1 ☒ One Family ☐ Multi Family – *# of Units:* _____ ☐ Non-Residential ☐ Commercial ☐ Other: _____ (Type of Building)	☒ Private (Individual, Corp, Non-Profit) ☐ Public (Federal, State, etc.…) **Cost: $** 500,000 **Floor Area Sq. Ft. (including garage):** 2422 **sq. ft.**	☒ Public/Private Company ☐ Individual (Water Well)	☐ Public/Private Company ☒ Individual (Septic) Copy of Environmental Health Permit attached: ☑ Yes ☐ No #: 2024-68

Fee: Application fee of **$75.00** for Residential permits. If the property lies within the **Special Flood Hazard Area** of the County, an additional fee of **$0.04** per square foot for Inspection fees will be charged. A natural ground elevation certificate and copy of floor plan are also required for Flood Zone areas. Any application for property of less than ten (10) acres shall obtain an Environmental Permit approval before a County building permit will be issued. UNLESS otherwise specified. **MAKE CHECKS PAYABLE TO: "TREASURER OF BRAZORIA COUNTY"-NO REFUNDS.**

ALL COMMERCIAL BUILDINGS will require approvals from the local Drainage District, Environmental Health and a Fire Code permit by the County Emergency Management Coordinator. **Special flood hazard areas require additional documents.** All commercial construction in Pearland's ETJ is required to contact Pearland City Hall. **Fees Vary According To Type of Business.**

***ANY* construction located on a proposed County and/or Municipal Thoroughfare in Pearland's ETJ is required to contact Pearland City Hall**

Signature: _____ **Date:** 2/15/2024

DO NOT WRITE BELOW THIS LINE

Approved By:	Highest Natural Ground is 6.8 ft. Certified By: Terry Singletary RPLS # 4808 on 3/8/23	Permit Fee	Inspection Fee	Date Of Permit	Permit Number
Vicki Thomas		$ 75	$ 96.88		

Electric	Mailbox Ltr	Setback Ltr	Thoroughfare	Total Fee: $ 171.88	Check #	Receipt No.
CP	Yes	40	Major		1005	19233

ETJ	Inspection Ltr	Ack Ltr	Mobile Home Information	FEMA Zone: VE Elevation: 19 MSL	Panel No.: 675 L	Class
No	Yes	No	No		Map Date: 12/30/20	B

Special Provisions: _____

Mail ☐ Email ☒ To: jtornberg@yahoo.com Pick Up ☒

JOE K. RIPPLE
FLOODPLAIN ADMINISTRATOR, CFM
SOFIA GARCIA GIBSON
FLOODPLAIN / BUILDING PERMITS
OFFICE ASSISTANT SR.
BELINDA HOWELL
FLOODPLAIN / BUILDING PERMITS
PERMIT TECHNICIAN
VICKIE THOMAS
FLOODPLAIN/BUILDING PERMITS
FLOODPLAIN CONSULTANT

PHONE:
(979) 864-1295
(979) 388-1295
(281) 756-1295

BRAZORIA COUNTY

451 North Velasco, Suite #210
Angleton, Texas, 77515

February 19, 2014

Mei Ling Valdes
Planning, Permitting & Technical Services
Coastal Resources Division
Texas General Land Office
P.O. Box 12873
Austin, TX 78711-2873

Re: Beach front construction application for 8004 CR 257 Freeport TX (Key Largo Resort)

Dear Ms. Valdes,

This application is for a residential structure with 2422 Square feet of living area with (4) bedrooms and (4.5) baths built upon pilings certified by a professional engineer.

After construction a final elevation certificate will be turned into this office to show compliance with County and FEMA elevation requirements.

This beachfront construction application does not include a walkover and it complies with and promotes Brazoria County's beach access policies and requirements, particularly the dune protection and beach access policies relation to public beach ingress/egress, off beach parking and avoidance of reduction in the size of the public beach due to erosion.

Sincerely,

Joe K. Ripple

Joe K. Ripple
Floodplain Department

Enclosures

TEXAS GENERAL LAND OFFICE
COMMISSIONER DAWN BUCKINGHAM, M.D.

January 6, 2025

Via Electronic Mail

Joe Ripple, CFM
Floodplain Administrator
Brazoria County
451 N Velasco, Suite #210
Angleton, Texas 77515

Beachfront Construction Certificate and Dune Protection Permit in Brazoria County
Site Address: 8004 Bluewater Hwy (CR 257), Freeport
Legal Description: Key Largo (A0029 S F Austin) Blk 4 Lot 11
Lot Applicant: Speich Custom Homes c/o Stephen Sardone
GLO ID No.: BDBC-24-0027a

Dear Mr. Ripple:

The General Land Office (GLO) has reviewed the application materials for a beachfront construction certificate and dune protection permit for the above-referenced location. The applicant proposes to construct a single-family residence with fibercrete paving beneath the habitable structure, a crushed concrete driveway, and a septic system. The applicant also proposes to construct a shared crushed concrete driveway and to restore dunes using beach-quality sand from off-site and dune vegetation. The proposed single-family residence and shared driveway is located within 200 feet landward of the line of vegetation and the proposed dune restoration is located landward of the line of vegetation. According to the Bureau of Economic Geology, the area is eroding at a rate of three to four feet per year.

Based on the materials forwarded to our office for review, we have the following comments:

Construction Requirements

- Fibercrete as proposed is prohibited based on current site conditions. Based on the photographs included in the application materials, there are currently no dunes on site and the applicant proposes to use unreinforced fibercrete within 100 feet of the line of vegetation, which does not comply with Brazoria County's Dune Protection and Beach Access Plan and 31 Tex. Admin. Code § 15.6(f)(5). Where no dunes exist, the placement of unreinforced fibercrete may only be located at least 100 feet landward of the line of vegetation.[1]

- After dunes are effectively restored on site, unreinforced fibercrete in 4-foot by 4-foot sections, 4-inches thick, separated by expansion joints may be used beneath the footprint of the habitable

[1] Brazoria County Dune Protection and Beach Access Plan § 5(IV)(B)(4) & 31 Tex. Admin. Code § 15.6(f)(5).

structure in the area at least 25 feet from the landward toe of the dunes.[2] Paving or altering the ground between the line of vegetation and 25 feet landward toe of the restored dune is prohibited.[3] The applicant must provide photographs to the County and the GLO demonstrating the dunes have been effectively restored on site prior to placing unreinforced fibercrete in the area within 100 feet landward of the line of vegetation.

Dune Restoration

- If the applicant is harvesting dune vegetation from dunes seaward of the dune protection line off-site, the vegetation must be harvested in a manner that will not damage the existing dunes. Plants may only be taken from dense stands in areas that are not subject to erosion and should not be taken from coppice mounds or foredunes that are sparsely vegetated. Individual plants should be removed in a scattered pattern at intervals of no less than two feet, and the root structure should remain intact.

- Only indigenous vegetation that will achieve the same protective capability or greater capability as the vegetation on surrounding natural dunes may be used to restore dunes.[4] Indigenous dune vegetation species such as bitter panicum, sea oats, and saltmeadow cordgrass would be permissible. Coastal bermudagrass is not an indigenous dune vegetation species and should not be planted on the restored dunes.

Erosion Response Plan

- The applicant proposes to construct a habitable structure seaward of the Building Setback Line, which is prohibited without an exemption from Brazoria County.[5] To qualify for an exemption, the applicant must demonstrate to the satisfaction of the County that no practicable alternatives to construction seaward of the Building Setback Line exist.[6]

Please be advised that structures may not encroach on the public beach. If the structure becomes located seaward of the line of vegetation because of loss of elevation, the structure may be allowed to remain in place if it does not significantly interfere with public access to the beach or present a public health and safety risk. Structures located seaward of the line of vegetation and landward of mean high tide may be allowed to make certain repairs under the Beach/Dune rules and local government plans.

If any part of a structure comes to be located seaward of the line of mean high tide, it becomes an unauthorized structure on state-owned land. Repairs are prohibited and the state may take action to remove the structure.

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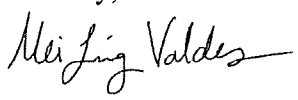
[2] Brazoria County Dune Protection and Beach Access Plan § 5(IV)(4).
[3] Brazoria County Dune Protection and Beach Access Plan § 3(II)(I).
[4] 31 Tex. Admin. Code § 15.7(e)(5).
[5] Brazoria County Erosion Response Plan § 5.
[6] Brazoria County Erosion Response Plan § 5.1.

In the event of a material change to the site conditions or the proposed construction, a new or amended beachfront construction certificate and dune protection permit is required.[7] If you have any questions, please contact me at (512) 463-5720 or at meiling.valdes@glo.texas.gov.

Sincerely,



Mei Ling Valdes
Beach Access & Dune Protection Program
Coastal Resources Division
Texas General Land Office

cc: Vickie Thomas, Brazoria County

[7] 31 Tex. Admin. Code § 15.3(t)(5).

Brazoria County Floodplain Receipt
(979) 864-1295
(281) 756-1295

111 East Locust Bldg. A-29
Angleton, Texas 77515

Floodplain Administrator

Receipt No	00019233	**Receipt Date**	2/15/2024	**Receipt Time**	11:27:41 AM
				NO REFUND(S)	
Received From:	Brazoria Property OZ One LTD Co				

Trans Type:	RPR75	Permit Fee - NC - Residential, Mobile Homes and Barns		**HUD / County Exempt:**	N
Misc. Descr:			**Qty:** 1	**Price:**	$75.00

Permit No: **Square Footage:** 0 **Amount Sq. Ft** $0.00

Contractor:

Owner:

Amount Owed: $75.00

Trans Type:	SQFTG	Square Footage		**HUD / County Exempt:**	N
Misc. Descr:			**Qty:** 1	**Price:**	$0.04

Permit No: **Square Footage:** 0 **Amount Sq. Ft** $0.00

Contractor:

Owner:

Amount Owed: $96.88

Comments: 8004 Bluewater Hwy Freeport CK # 1005

Payment Information

Payment Type:	CHK	**Check# / MO#:**	1005	**Pay Amount:**	$171.88
Payment Type:		**Check# / MO#:**		**Pay Amount:**	$0.00

Office Use Only **Posted:** N

Total Amount Received: $171.88

Rec. By: **14554**
Void: N **Void By**
Void Date:
Void Reason: **Void Time:**

Print Date/Time 2/15/2024 11:29:38 AM

STATEMENT OF COMMISSIONER'S COURT
OF BRAZORIA COURT
TO CONFORM TO REQUIREMENTS OF
CLASS "B" BUILDING PERMIT

STATE OF TEXAS

COUNTY OF BRAZORIA

The undersigned holder of **Development Permit No.**_____(whether acting individually or through a duly authorized agent or attorney) does hereby certify to Commissioners' Court of Brazoria County, Texas as follows.

The undersigned permittee:

1. Accepted **Development Permit No.**_____.

2. Is familiar with all plans, specifications and other written material attached to or filed with the **Development Permit Application** on file with the County Floodplain Administrator.

3. Acknowledges that the plans, specifications and other written material filed with **Development Permit Application** is incorporated by reference and made part of this Certificate for purposes.

4. Acknowledges self (itself) to be strictly bound to Commissioners' Court to construct the work permitted under the above described building permit in strict conformity with the plans, specifications and other written material incorporated by reference of this Certificated.

5. Hereby binds himself to establish the required construction elevation to a National Geodetic Survey Marker and have same certified by Texas Registered Surveyor (or agreeable alternate). **The original Finished Construction Elevation certificate with registered surveyor's stamp, signature, date and pictures shall be forwarded to the County Floodplain Administrator's office verifying top of bottom floor reading upon completion of the structure.** It **must indicate that it is the "Finished Construction" certificate showing (a) top of bottom floor reading and (e) lowest elevation of machinery or equipment in Section C of the certificate.**

   If the Finished Construction Elevation Certificate is not received, your building permit will be put in violation in the Brazoria County Floodplain Administrator's office.

6. Is required to notify the County Floodplain Administrator when construction progresses to the point necessary for the foundation inspection (after certification) and later for the electrical/plumbing to verify the electrical and plumbing facility are above the base flood.

7. Shall not have a valid permit until this agreed upon and signed original document is on file and in possession of the County Floodplain Administrator.

8. If at any time an Engineering Study was required and the data submitted is found to be inaccurate, **Brazoria County or the County Floodplain Administrator** cannot be held liable. The responsibility shall fall back on the property owner and/or Engineering Firm submitting the information.

9. **Any structure that is used for commercial or a public facility must adhere to the International Fire Codes. Contact the Emergency Management Coordinator of Brazoria County for inspections required.**

_____
Applicant/Permittee Signature

RECEIVED
NOV 30 2023
ENVIRONMENTAL HEALTH DEPT.

ON-SITE SEWAGE FACILITY PERMIT APPLICATION
BRAZORIA COUNTY ENVIRONMENTAL HEALTH DEPT

111 East Locust Bldg A-29, Suite 270 ANGLETON, TX 77515
HOUSTON (281)756-1600 ANGLETON (979)864-1600 CLUTE (979)388-1600

This application will expire one year from the application date if inspection not complete. No refunds once permit is issued.
Attach Copy of Legal Description (i.e. Deed, Plat, Survey, Appraisal)

2024-68
Permit Number
☑ $250 Single Family
☐ $450 All Others
☑ New
☐ Replacement
☐ Alteration
Type DE w/chlorine
BCEHD USE ONLY

PROPERTY OWNER (NAME ON DEED) Tornberg (LAST) Joseph (FIRST) E (INT)

PHONE NUMBERS 832.236.7671 EMAIL jtornberg@yahoo.com

MAILING ADDRESS 5501 Grand Lake Street, Houston, TX 77081

SITE ADDRESS 8004 Bluewater Hwy, Freeport, TX 77541 Acres 0.25

WATER SOURCE ☑ Private ☐ Public Key Largo (Name) Water Saving Devices: Yes ☐ No ☑

SINGLE FAMILY RESIDENCE: # of Bedrooms 4 Living Area(Sq Ft) <3500 Daily Wastewater Usage Rate 300

COMMERCIAL/MULTI FAMILY: Type ____ # of Employees/Units ____ Days/Wk Occupied ____

DESIGNER Stephanie L Sturman Reg# 3664 Phone# 832-876-2067

SITE EVALUATOR Stephanie L Sturman Reg# OS28789 Phone# 832-876-2067

INSTALLER Tony Smith Reg# 21347 Phone# 979-299-0756

MAINTENANCE PROVIDER Tony's Septic Svc Reg# 758 Phone# "

TREATMENT TANK(S):

Tank	# of Compartments	Size	Manufacturer	Model
#1	1 - pretreatment	500	Pro Flow	500 SLPT (557)
#2	1 - Aerobic Treatment	500	Pro Flow	500 SLPT (557)
#3	1 - Pump Tank	750	Pro Flow	500 SLPT (557)
#4				

DISPOSAL TYPE (check one):

☐ Standard ☐ Gravelless ☐ Leaching Chamber ☐ Low Pressure Dosing ☐ Surface Irrigation ☑ Drip Emitter

Disposal Area 790 Disposal Length 395 Trench Depth 6-12 Trench width 6-12

I certify that the above statements are true and correct to the best of my knowledge. Authorization is hereby given to the Authorized Agent to enter upon the above described property for the purpose of lot evaluation and inspection of the OSSF. I also acknowledge that inspection of the OSSF is required prior to all components being covered and use of the system.

Signature of Owner (Name on Deed) [signature] Date 11/29/2023

DEPARTMENT USE ONLY BELOW THIS LINE

APPLICATION: ☑ APPROVAL ☐ DISAPPROVAL DATE 2/14/24 INSPECTOR [signature] LIC# 3120

Well Log or Plugging Reports Required? ☐Yes ☑No Recorded Plat Required? ☐Yes ☑No Flood Zone ☑Yes ☐No

Brazoria County Appraisal ID # 219756 ETJ — Flood Plain Info: ☑ New Construction ☐ Unpaved

Legal Description: SUB Key Largo Ab# 40029 Sec ____ Block 4 Lot 11 Precinct 1

Authorization to Construct Provided to Installer: Tony Smith Date: 2/15/24 ☑ In person ☐ Fax ☐ Mail By: CM

INSPECTION: ☐ APPROVAL ☐ DISAPPROVAL DATE ____ INSPECTOR ____ LIC# ____

Final Permit Copies Provided to Installer: ____ Date: ____ ☐ In person ☐ Fax ☐ Mail By: ____

Provided to Maintenance Prov: ____ Date: ____ ☐ In person ☐ Fax ☐ Mail By: ____

Revised 10/10/23 jcs

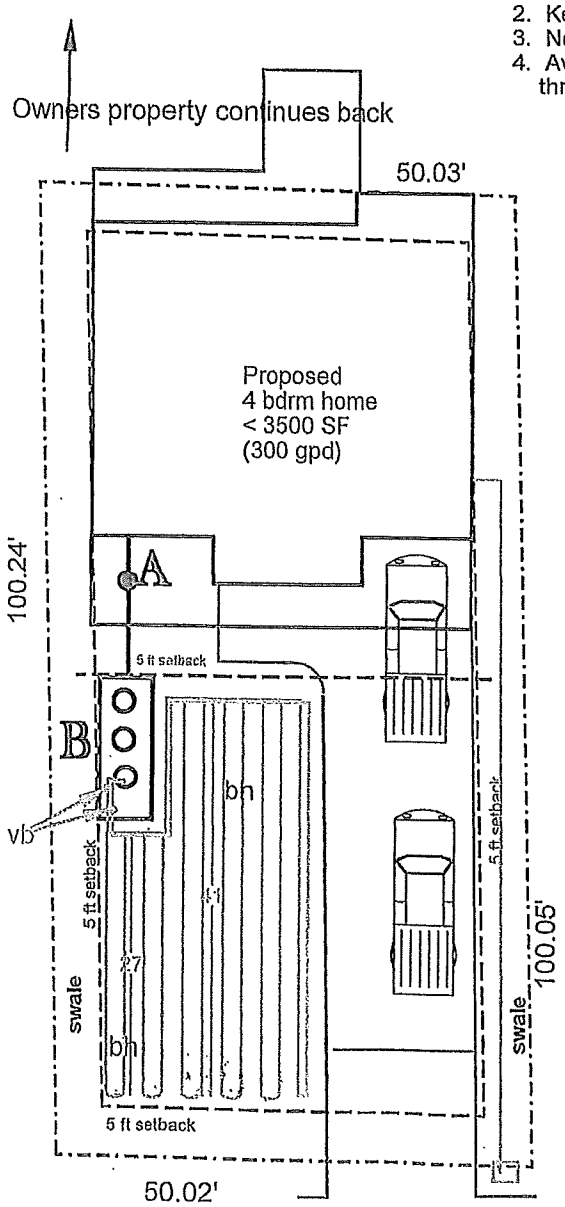
8004 COUNTY ROAD 257
FREEPORT, TX 77541
KEY LARGO
(A0029 S F AUSTIN)
BLK 4 LOT 11
Brazoria County
Property ID: 219756

Calculations:
Proposed 4 bedroom home
with ULF fixtures & Less than 3500 SF
Q: 300 Gallons Per Day
Loading Rate: .38
Drip area required: 300/ .38 = 789 SF
Drip area shown: 790 SF

RECEIVED
FEB 14 2024
ENVIRONMENTAL HEALTH DEPT.

Legend:
A: 4" SCH 40 PVC sewer pipe &
4" SCH 40 PVC 2-way clean out
B: Proposed septic tank battery
-500 Gallon Pretreatment Tank
-500 Gallon Aerobic Treatment Unit
-750 Gallon Pump Tank
--equipped with self cleaning 100 micorn filter & pressure guage
Supply & Return Line: 1" SCH 40 PVC
Emitter Tubing: Geoflow 1 gph tubing
vb: Vacuum Breaker
bh: Bore Holes

Notes:
1. Crown field to shed stormwater
2. Keep drip field vegetated year round
3. No building, parking or driving on drip field
4. Avoid "Laundry Day", spread laundry throughout the week



Drip field dosing schedule:
Using Netafim ,61 gph tubing,
set timer to dose drip field for
12-15 minutes "ON" every 2 hours.

Ossf requires NSF 46 disinfection

SCALE: 1" = 20'

Slope: less than 5%

* Brazoria County Coastal homes, use the Finished Floor Elevation of the home as the Elevation marker for Non Buried Electrical Components

Flood Plain Determination:
Site lies within the 100 YR flood plain. Installer shall elevate all NON buried electrical components to a minimum of 24" above Base Flood Elevation. Seal all risers & ports to prevent stormwater entry. Bury tank according to manufacturers specifications to prevent flotation.

STEPHANIE L SITRAN
9/30/2023
License 3664
REGISTERED SANITARIAN

U.S. DEPARTMENT OF HOMELAND SECURITY
Federal Emergency Management Agency
National Flood Insurance Program

OMB No. 1660-0008
Expiration Date: November 30, 2022

ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1–9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A – PROPERTY INFORMATION		FOR INSURANCE COMPANY USE
A1. Building Owner's Name Joe Tornberg		Policy Number:
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 8004 Bluewater Highway (CR 257)		Company NAIC Number:
City Freeport	State Texas	ZIP Code 77541

A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.)
Lot 11 & 28, Block 4, Key Largo Subdivision (Volume 13, Pages 21-22 B.C.P.R.), S.F. Austin Peninsular League, Abstract 29

A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) Residential

A5. Latitude/Longitude: Lat. 29°01'34.93" N Long. 95°11'17.65" W Horizontal Datum: ☐ NAD 1927 ☒ NAD 1983

A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.

A7. Building Diagram Number _____

A8. For a building with a crawlspace or enclosure(s):

a) Square footage of crawlspace or enclosure(s) 0.00 sq ft

b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade 0

c) Total net area of flood openings in A8.b 0.00 sq in

d) Engineered flood openings? ☐ Yes ☒ No

A9. For a building with an attached garage:

a) Square footage of attached garage 0.00 sq ft

b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade 0

c) Total net area of flood openings in A9.b 0.00 sq in

d) Engineered flood openings? ☐ Yes ☒ No

SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number	B2. County Name	B3. State
Brazoria County Unincorporated Area 485458	Brazoria	Texas

B4. Map/Panel Number	B5. Suffix	B6. FIRM Index Date	B7. FIRM Panel Effective/ Revised Date	B8. Flood Zone(s)	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth)
48039C0675	K	06-05-1989	12-30-2020	VE	17.0'

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9:
☐ FIS Profile ☒ FIRM ☐ Community Determined ☐ Other/Source: _____

B11. Indicate elevation datum used for BFE in Item B9: ☐ NGVD 1929 ☒ NAVD 1988 ☐ Other/Source: _____

B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? ☐ Yes ☒ No

Designation Date: _____ ☐ CBRS ☐ OPA

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 8004 Bluewater Highway (CR 257)			Policy Number:
City Freeport	State Texas	ZIP Code 77541	Company NAIC Number

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: ☐ Construction Drawings* ☐ Building Under Construction* ☐ Finished Construction

*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO. Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.

Benchmark Utilized: PUGH Vertical Datum: NAVD 88

Indicate elevation datum used for the elevations in items a) through h) below.

☐ NGVD 1929 ☒ NAVD 1988 ☐ Other/Source: _____

Datum used for building elevations must be the same as that used for the BFE.

		Check the measurement used.	
a) Top of bottom floor (including basement, crawlspace, or enclosure floor)		☒ feet	☐ meters
b) Top of the next higher floor		☐ feet	☐ meters
c) Bottom of the lowest horizontal structural member (V Zones only)		☒ feet	☐ meters
d) Attached garage (top of slab)		☐ feet	☐ meters
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments)		☐ feet	☐ meters
f) Lowest adjacent (finished) grade next to building (LAG)	5.3	☒ feet	☐ meters
g) Highest adjacent (finished) grade next to building (HAG)	6.8	☒ feet	☐ meters
h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support		☐ feet	☐ meters

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information.
I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor? ☒ Yes ☐ No ☐ Check here if attachments.

Certifier's Name Terry Singletary	License Number TX RPLS 4808		
Title Registered Professional Land Surveyor			
Company Name Doyle & Wachtstetter Inc.			
Address 131 Commerce St.			
City Clute	State Texas	ZIP Code 77531	
Signature Terry Singletary	Date 03-28-2023	Telephone (979) 265-3622	Ext. 1042

STATE OF TEXAS REGISTERED TERRY SINGLETARY 4808 PROFESSIONAL LAND SURVEYOR

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)
Benchmark for subject property is a Concrete monument (Pugh) across the street (Bluewater Highway) with an elevation of 6.43 feet.

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 8004 Bluewater Highway (CR 257)			Policy Number:
City Freeport	State Texas	ZIP Code 77541	Company NAIC Number

SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B,and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).

a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.

b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ ☐ feet ☐ meters ☐ above or ☐ below the LAG.

E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.

E3. Attached garage (top of slab) is _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.

E4. Top of platform of machinery and/or equipment servicing the building is _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.

E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? ☐ Yes ☐ No ☐ Unknown. The local official must certify this information in Section G.

SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner or Owner's Authorized Representative's Name			
Address	City	State	ZIP Code
Signature	Date	Telephone	

Comments

☐ Check here if attachments.

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 8004 Bluewater Highway (CR 257)			Policy Number:
City Freeport	State Texas	ZIP Code 77541	Company NAIC Number

SECTION G – COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8–G10. In Puerto Rico only, enter meters.

G1. ☐ The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)

G2. ☐ A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.

G3. ☐ The following information (Items G4–G10) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate of Compliance/Occupancy Issued

G7. This permit has been issued for: ☐ New Construction ☐ Substantial Improvement

G8. Elevation of as-built lowest floor (including basement) of the building: _____ ☐ feet ☐ meters Datum _____

G9. BFE or (in Zone AO) depth of flooding at the building site: _____ ☐ feet ☐ meters Datum _____

G10. Community's design flood elevation: _____ ☐ feet ☐ meters Datum _____

Local Official's Name	Title
Community Name	Telephone
Signature	Date

Comments (including type of equipment and location, per C2(e), if applicable)

☐ Check here if attachments.

ELEVATION CERTIFICATE

BUILDING PHOTOGRAPHS

See Instructions for Item A6.

OMB No. 1660-0008
Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 8004 Bluewater Highway (CR 257)			Policy Number:
City Freeport	State Texas	ZIP Code 77541	Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.

Photo One

Photo One

Photo One Caption	Front View	Clear Photo One

Photo Two

Photo Two

Photo Two Caption	Rear View	Clear Photo Two

ELEVATION CERTIFICATE

BUILDING PHOTOGRAPHS

Continuation Page

OMB No. 1660-0008
Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 8004 Bluewater Highway (CR 257)			Policy Number:
City Freeport	State Texas	ZIP Code 77541	Company NAIC Number

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.

Photo Three

Photo Three

Photo Three Caption	Left Side View	Clear Photo Three

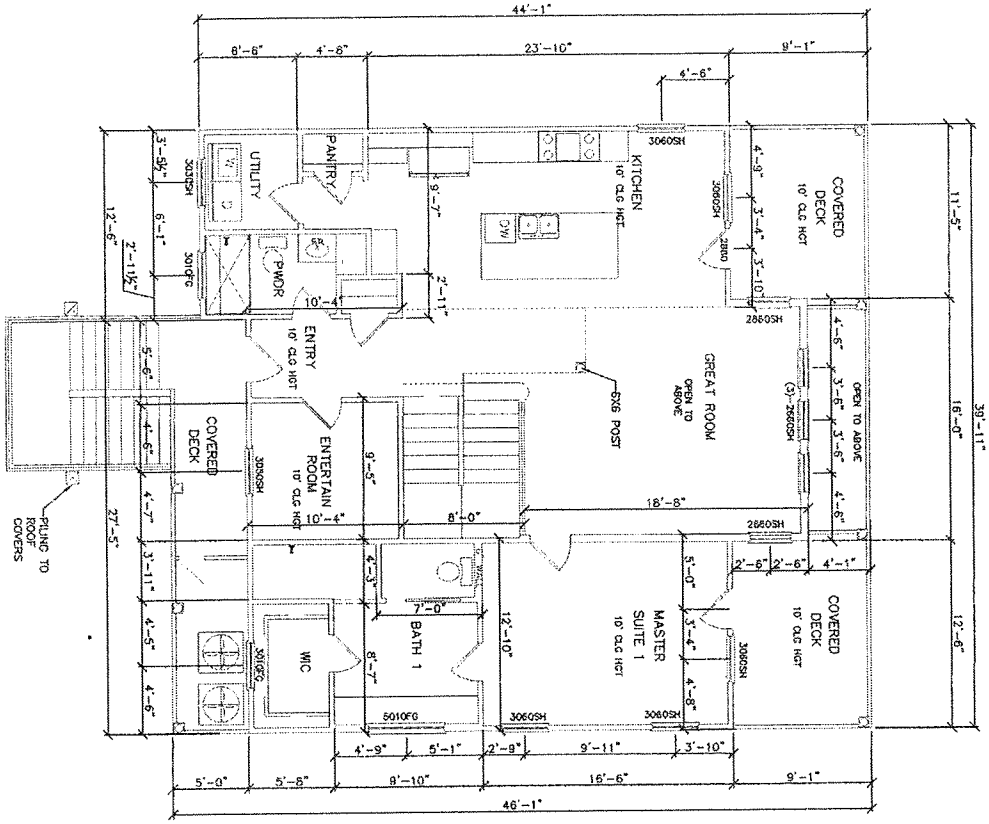
Photo Four

Photo Four

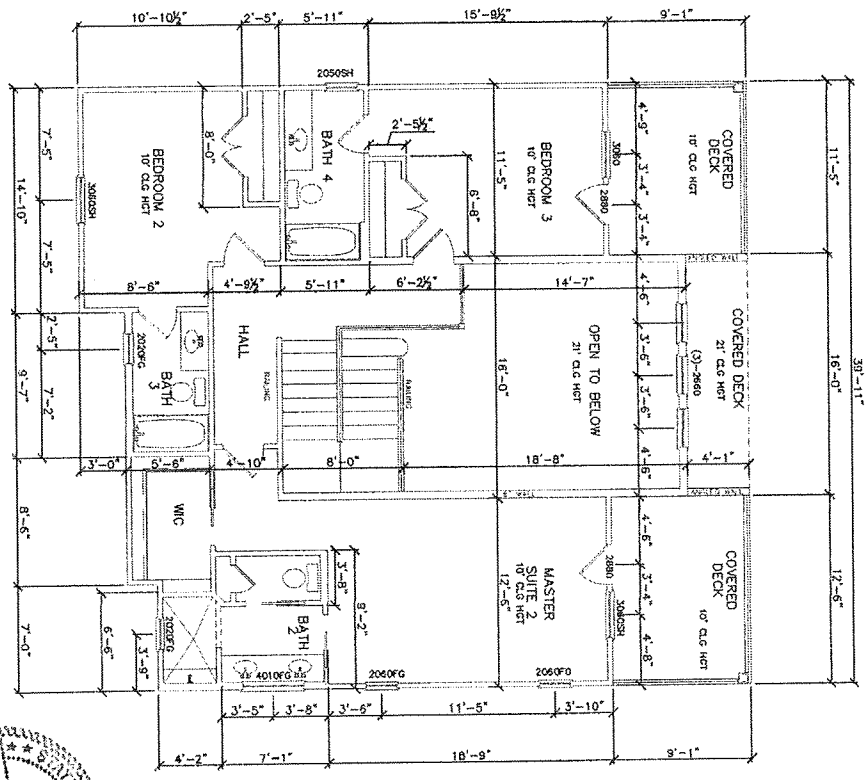
Photo Four Caption	Right Side View	Clear Photo Four

SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN

NOTE: THIS DESIGN MEETS THE REQUIREMENTS OF THE 2018 IRC (INTERNATIONAL RESIDENTIAL CODE). DESIGN WIND VELOCITY = 130 MPH (3 SEC GUSTS, USD). EXPOSURE D, RISK CATAGORY II.



1ST FLOOR PLAN



2ND FLOOR PLAN

DIMENSIONED FLOOR PLANS

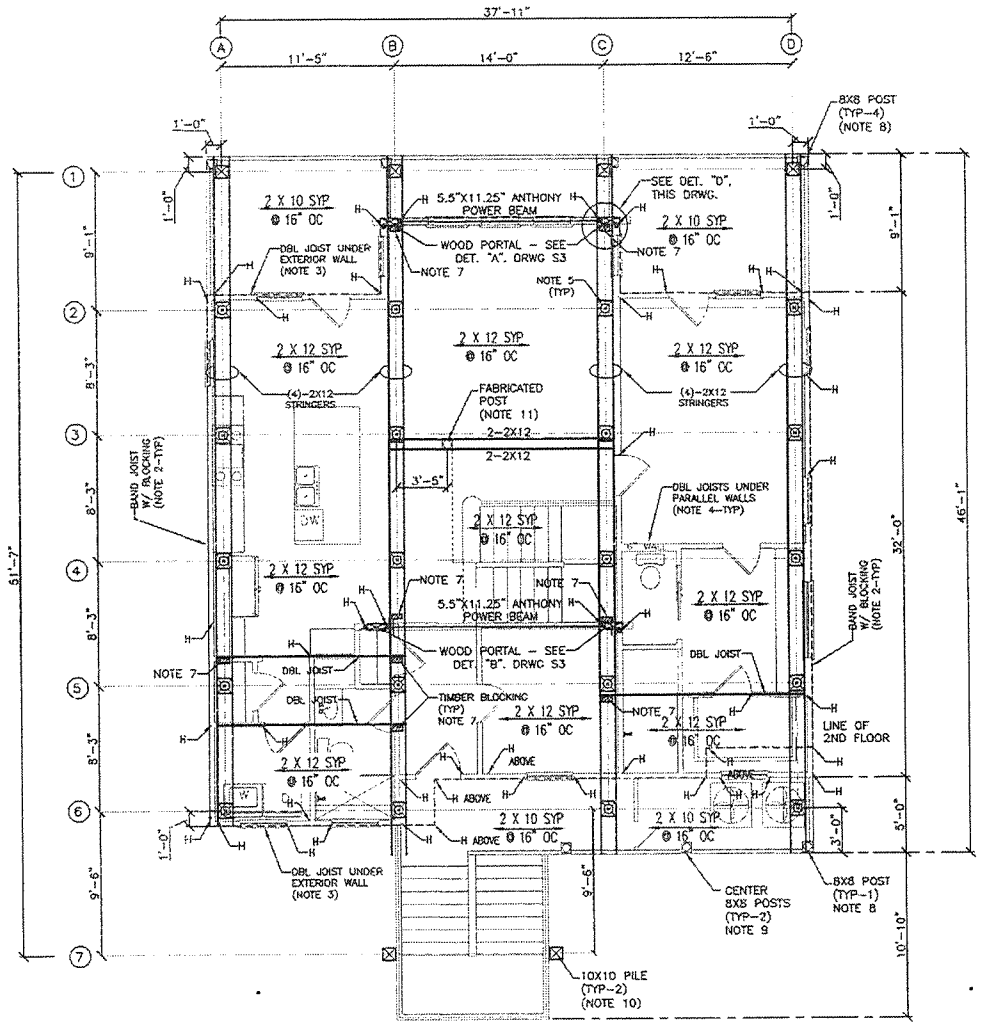
SCALE: 1/8" = 1'-0"

STATE OF TEXAS
MICHAEL WYNNE LEVERIDGE
64512
LICENSED
PROFESSIONAL ENGINEER

JOB # 101-01827-076

Engineers of Brazosport, LLC TBPE REG. NO. F-008007 122 West Way Street, Suite 401 Lake Jackson, Texas 77566 (979) 265-3383	REV: 0 DATE: 03/28/23	A1		JOE TORNBERG RESIDENCE 8004 BLUEWATER HWY FREEPORT, TEXAS

SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN

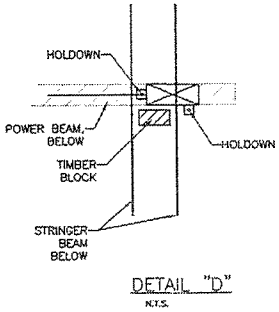


LEGEND:

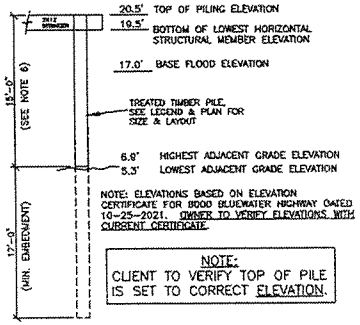
- = 12X12 PILING
- = 10X10 PILING
- H = HOLDOWN (SEE NOTE 1)
- = 8X8 POST
- = 4X8 MIN. TIMBER BLOCKING

NOTES:

1. SEE LEGEND ON WIND FORCE RESISTING PLAN (DRWG. S3) FOR TYPE OF HOLDOWN.
2. INSTALL BAND JOIST WITH SOLID BLOCKING BETWEEN JOISTS AT EXTERIOR WALLS PARALLEL TO STRINGER BEAMS. SEE DETAIL 625162.
3. INSTALL DOUBLE JOIST UNDER EXTERIOR WALL. SEE DETAIL 625161.
4. INSTALL DOUBLE JOIST UNDER PARALLEL WALLS ABOVE.
5. TYPICAL STRINGER/PILE CONNECTION (SEE DET 625220).
6. PILE LENGTH & EMBEDMENT, SEE TYPICAL PILE DETAIL THIS DRWG. NOTE, GROUND ELEVATIONS VARY, CLIENT TO VERIFY ELEVATIONS, FILL REQUIREMENTS AND REQUIRED PILING LENGTH PRIOR TO PILING INSTALLATION. SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN.
7. PROVIDE SOLID BLOCKING (MIN. 4X8 TIMBER) BETWEEN STRINGERS TO TOP OF FLOOR JOISTS AT INDICATED LOCATIONS. BOLT BLOCKING TO STRINGERS AND FLOOR JOISTS USING (2) 3/4" DIA. GALV. MACH. BOLTS WITH NUTS & WASHERS AT EACH CONNECTION.
8. OUTSIDE POSTS - BOTTOM OF 8X8 DECK POSTS ARE TO BE NOTCHED TO EXTEND ALONG OUTSIDE OF STRINGER BEAMS BELOW. NOTCH BOTTOM OF POST LEAVING 5" REMAINING THICKNESS WHERE POSTS BEAR UPON STRINGER. BOLT THROUGH STRINGER BEAMS USING (2) 3/4" GALV. BOLTS WITH NUTS & WASHERS. PROVIDE SOLID BLOCKING BETWEEN STRINGER BEAMS AT BOLTING LOCATION. NOTCH TOP OF POST PER NOTE 8, DRWG S3.
9. CENTER POSTS - NOTCH BOTTOM OF 8X8 POSTS AND BOLT BETWEEN DBL DECK JOISTS (2-2X10's EACH SIDE) USING (2) 3/4" GALV. BOLTS WITH NUTS & WASHERS. DO NOT NOTCH MORE THAN 50% OF THICKNESS OF POST. NOTCH TOP OF POST PER NOTE 8, DRWG S3.
10. INDICATED 10X10 PILES EXTEND TO COVERED DECK ROOF FRAMING. NOTCH TOP OF PILE AND BOLT TO ROOF BEAM USING (2) 3/4" GALV. BOLTS, NUTS & WASHERS.
11. 6X6 POST UNDER INTERIOR BALCONY - BOLT BOTTOM OF 6X6 POST BETWEEN DBL 2X12 JOISTS USING (2) 3/4" GALV. BOLTS WITH NUTS & WASHERS. FABRICATE POST USING FRAMING MATERIAL (SEE NOTE 9, DRWG.S4)



DETAIL "D"
N.T.S.



TYPICAL PILE DETAIL
N.T.S.

STATE OF TEXAS
MICHAEL WYNNE LEVERIDGE
64512
LICENSED
PROFESSIONAL ENGINEER
29 MAR 23

PILING FOUNDATION PLAN

SCALE: 1/8" = 1' 0"

NOTE: THIS DESIGN MEETS THE REQUIREMENTS OF THE 2018 IRC (INTERNATIONAL RESIDENTIAL CODE), DESIGN WIND VELOCITY = 150 MPH (3 SEC GUSTS, USD), EXPOSURE D, RISK CATAGORY II.

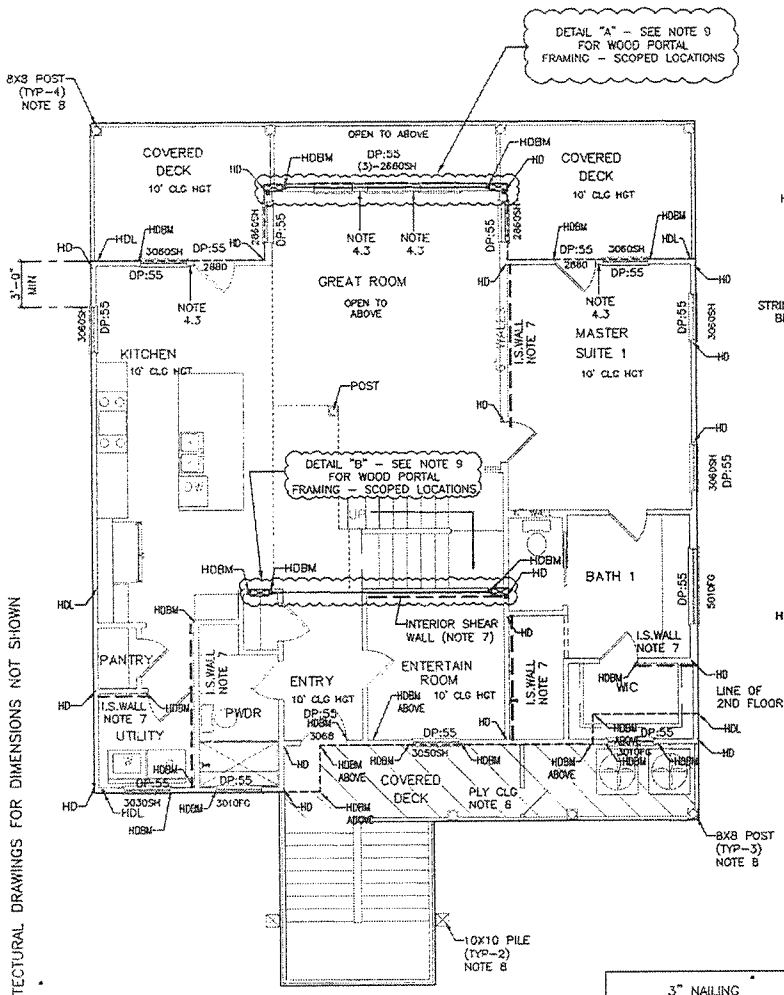
JOE TORNBERG RESIDENCE
8004 BLUEWATER HWY
FREEPORT, TEXAS

S1

REV: 0
DATE: 03/28/23

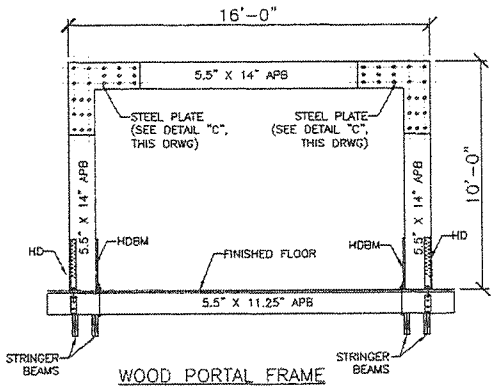
JOB # 101-01827-076

Engineers of Brazosport, LLC
TBPE REG NO. F-009807
122 West Way Street, Suite 401
Lake Jackson, Texas 77566
(979) 265-3383

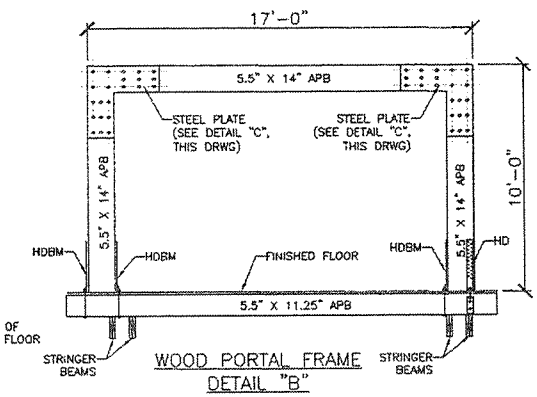


1ST FLOOR PLAN

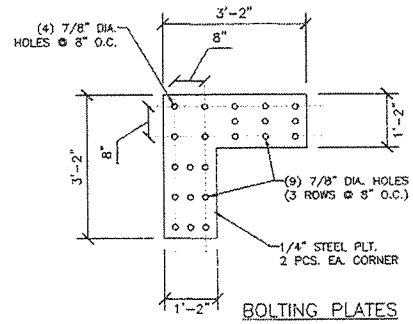
SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN



WOOD PORTAL FRAME DETAIL "A"



WOOD PORTAL FRAME DETAIL "B"



BOLTING PLATES DETAIL "C"

LEGEND:

HD = HTT5 HOLDOWN (TOP SIDE) WITH BP5/8-2" WASHER ATTACHED TO MIN. (2) FULL STUDS W/ (26) SDS #10" X 2.5" SCREWS. USE (2) LSTA 18" STRAPS (STUD TO BAND JOIST / TOP SIDE), HDSB (BOTTOM SIDE) BOLT TO MIN. (2) STRINGERS W/ SOLID BLOCKING. USE 5/8" GALV. ROD TO CONNECT HOLDOWNS. INSTALLATION PER DETAIL 625260 (CAP=6170#).

HDBM = HOLDOWN, HTT5 (TOP SIDE), ATTACHED TO MIN. (2) FULL STUDS WITH (26) 16d (0.162" DIA X 2.5" LONG) NAILS, ATTACH THRU DBL. JOIST, BEAM OR TRUSS BELOW USING 5/8" GALV. BOLT & 2" SQUARE WASHER @ BOT., SEE DETAIL 625211 (CAP=5090#)

HDL = LOWER FLOOR HOLDOWN – HTT5 (TOP SIDE) ATTACHED TO MIN. (2) FULL STUDS W/ (26) 16d (0.162" DIA X 2.5" LONG) NAILS, HDSB (BOTTOM SIDE) ATTACH TO STRINGERS. ALIGNED – ATTACH TO SAME STUD PACK AS HOLDOWN FROM FLOOR ABOVE. INSTALLATION PER DETAIL 625260 (CAP=4935#).

DP:XX = MINIMUM REQUIRED DESIGN PRESSURE (PSF) FOR WINDOWS & DOORS (SEE NOTE 4.1)

NOTES: WIND FORCE RESISTING SYSTEM PLAN

1. FULL HT. STUDS AT ALL EXTERIOR WALLS (NO PONY WALLS). 2X6 WALL FRAMING REQUIRED FOR STUD LENGTHS 12 FT & LONGER. CONSULT ENGINEER FOR MINIMUM STUD SIZE REQUIREMENTS FOR STUDS OVER 16 FT (SUCH AS GABLE END WALLS).
2. ROOFING:
   - 2.1. ROOFING PRODUCTS SHALL BE LISTED AS APPROVED PRODUCTS IN THE PRODUCT EVALUATION INDEX MAINTAINED BY THE TEXAS DEPARTMENT OF INSURANCE. ASPHALT SHINGLE ROOF COVERINGS MUST BE TESTED IN ACCORDANCE WITH ASTM D 7158 CLASS H OR ASTM D 3161 CLASS F AND INSTALLED IN ACCORDANCE WITH PACKAGE INSTRUCTIONS.
   - 2.2. SINGLE-TAB SHINGLES: APPLY SHINGLES AND STARTERS EXACTLY AS PRESCRIBED BY MANUFACTURER FOR HIGHEST WIND WARRANTY.
   - 2.3. FOR LOW PITCH COMPOSITION ROOF (FROM 2:12 TO 4:12) DOUBLE UNDERLAYMENT IS REQUIRED AND INSTALLED PER CODE REQUIREMENTS.
3. WALL SHEATHING TO BE NAILED AT 3" O.C. (PERIMETER) AND 6" O.C. (FIELD) ON SIDES INDICATED.
4. WINDOWS AND DOORS:
   - 4.1. WINDOWS AND DOORS MUST MEET PRESSURE REQUIREMENTS AS NOTED NEXT TO OPENING, BE LISTED AS AN APPROVED PRODUCT IN THE PRODUCT EVALUATIONS LIST MAINTAINED BY THE TEXAS DEPARTMENT OF INSURANCE AND BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE TDI PRODUCT EVALUATION.
   - 4.2. WINDBORN DEBRIS PROTECTION – ALL PRODUCTS WITH GLAZING MUST USE AN IMPACT RATED PRODUCT OR HAVE AN APPROVED IMPACT PROTECTION SYSTEM. DOORS WITH GLAZING MUST BE IMPACT RATED (DOOR AND GLASS ASSEMBLY) OR HAVE AN APPROVED IMPACT PROTECTION SYSTEM FOR THE ENTIRE DOOR OPENING.
   - 4.3. INSTALL MULTIPLE WINDOW UNITS WITH 6" MINIMUM FRAMING (DBL. 2X KING STUDS + 2 JACK STUDS) BETWEEN UNITS OR USE TESTED AND APPROVED FACTORY MULLED UNITS.
5. SEE DETAILS WITH TRANSMITTAL DOCUMENT. REFER TO DRAWING S4 FOR CEILING FRAMING.
6. INSTALL 1/2" SHEATHING ON UNDERSIDE OF CEILING JOISTS IN AREA INDICATED, NAIL 3" O.C. (PERIMETER) AND 6"O.C. (FIELD). AS AN ALTERNATIVE (FOR PORCH AREAS) HARDIE PANEL MAY BE USED PROVIDED PANELS ARE INSTALLED AS FOLLOWS: PANELS SHALL BE INSTALLED WITH LONG AXIS ACROSS JOISTS AND WITH ALL PANEL EDGES BLOCKED WITH MIN. 3.5" WIDE FRAMING, NAIL 4" O.C. AT PANEL EDGES AND 6" O.C. IN FIELD USING 8d NAILS.
7. INSTALL INTERIOR SHEARWALLS (IN LOCATIONS INDICATED) PER DETAIL 633111. NOTE, INTERIOR SHEARWALLS ARE TO EXTEND INTO ATTIC SPACE AND CONNECTED TO RAFTERS ABOVE.
8. NOTCH TOP OF POST/PILE AND BOLT TO COVERED DECK ROOF BEAMS WITH (2) 3/4" GALV. MACH. BOLTS W/ NUTS & WASHERS ON EACH SIDE OF BOLT. DO NOT NOTCH MORE THAN 50% OF THICKNESS OF POST/PILE.
9. WOOD PORTALS – INSTALL WOOD PORTAL (MOMENT FRAMES) AT INDICATED LOCATIONS PER DETAILS "A" & "B", THIS DRWG. NOTE – PORTAL FRAMES ARE TO BE FABRICATED USING ANTHONY POWER BEAMS WITH CORNERS CONNECTED USING BOLTING PLATES, ONE PLATE EACH SIDE (SEE DET. "C", THIS DRWG.). BOLT PLATES TOGETHER USING 3/4" BOLTS W/ NUTS & WASHERS. BOLT TIMBER BLOCKING (NOT SHOWN ON DETAILS) BETWEEN STRINGER BEAMS AND LOWER (5.5"X11.25") POWER BEAM (SEE DRWG. S1).

NOTE: THIS DESIGN MEETS THE REQUIREMENTS OF THE 2018 IRC (INTERNATIONAL RESIDENTIAL CODE), DESIGN WIND VELOCITY = 150 MPH (3 SEC GUSTS, USD), EXPOSURE D, RISK CATAGORY II.

STATE OF TEXAS
MICHAEL WYNNE LEVERIDGE
64512
LICENSED
PROFESSIONAL ENGINEER
29 MAR 23

WIND FORCE RESISTING SYSTEM PLAN 1ST FLOOR

SCALE: 1/8" = 1' 0"

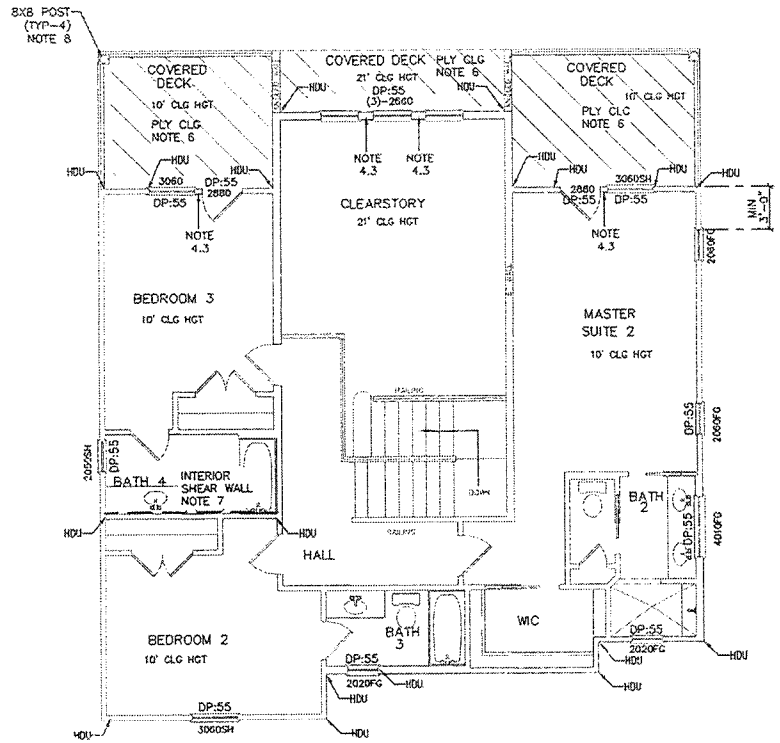
JOE TORNBERG RESIDENCE
8004 BLUEWATER HWY
FREEPORT, TEXAS

S3

REV: 0
DATE: 03/28/23

JOB # 101-01827-016

Engineers of Brazosport, LLC
TBPE REG. NO. F-008607
122 West Way Street, Suite 401
Lake Jackson, Texas 77566
(979) 265-3303



2ND FLOOR PLAN

SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN

NOTE: THIS DESIGN MEETS THE REQUIREMENTS OF THE 2018 IRC (INTERNATIONAL RESIDENTIAL CODE). DESIGN WIND VELOCITY = 150 MPH (3 SEC GUSTS, USD). EXPOSURE D, RISK CATAGORY II.

3" NAILING
ALL EXTERIOR WALLS
(SEE NOTE 3)

LEGEND:

HDU = UPPER FLOOR HOLDOWNS - (2) HTT5 HOLDOWNS (1 TOP / 1 BOTTOM), ATTACH TO MIN. (2) FULL STUDS W/ 16d (0.162" DIA X 2.5" LONG) NAILS. ATTACH TO SAME STUD PACK BELOW AS LOWER HOLDOWN ON FLOOR BELOW. SEE DETAIL 625210 (CAP=5090#)

DP:XX = MINIMUM REQUIRED DESIGN PRESSURE (PSF) FOR WINDOWS & DOORS (SEE NOTE 4.1)

NOTES: WIND FORCE RESISTING SYSTEM PLAN

1. FULL HT. STUDS AT ALL EXTERIOR WALLS (NO PONY WALLS). 2X6 WALL FRAMING REQUIRED FOR STUD LENGTHS 12 FT & LONGER. CONSULT ENGINEER FOR MINIMUM STUD SIZE REQUIREMENTS FOR STUDS OVER 16 FT (SUCH AS GABLE END WALLS).
2. ROOFING:
   - 2.1. ROOFING PRODUCTS SHALL BE USTED AS APPROVED PRODUCTS IN THE PRODUCT EVALUATION INDEX MAINTAINED BY THE TEXAS DEPARTMENT OF INSURANCE. ASPHALT SHINGLE ROOF COVERINGS MUST BE TESTED IN ACCORDANCE WITH ASTM D 7158 CLASS H OR ASTM D 3161 CLASS F AND INSTALLED IN ACCORDANCE WITH PACKAGE INSTRUCTIONS.
   - 2.2. SINGLE-TAB SHINGLES: APPLY SHINGLES AND STARTERS EXACTLY AS PRESCRIBED BY MANUFACTURER FOR HIGHEST WIND WARRANTY.
   - 2.3. FOR LOW PITCH COMPOSITION ROOF (FROM 2:12 TO 4:12) DOUBLE UNDERLAYMENT IS REQUIRED AND INSTALLED PER CODE REQUIREMENTS.
3. WALL SHEATHING TO BE NAILED AT 3" O.C. (PERIMETER) AND 6" O.C. (FIELD) ON SIDES INDICATED.
4. WINDOWS AND DOORS:
   - 4.1. WINDOWS AND DOORS MUST MEET PRESSURE REQUIREMENTS AS NOTED NEXT TO OPENING, BE USTED AS AN APPROVED PRODUCT IN THE PRODUCT EVALUATIONS LIST MAINTAINED BY THE TEXAS DEPARTMENT OF INSURANCE AND BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE TDI PRODUCT EVALUATION.
   - 4.2. WINDBORN DEBRIS PROTECTION -- ALL PRODUCTS WITH GLAZING MUST USE AN IMPACT RATED PRODUCT OR HAVE AN APPROVED IMPACT PROTECTION SYSTEM. DOORS WITH GLAZING MUST BE IMPACT RATED (DOOR AND GLASS ASSEMBLY) OR HAVE AN APPROVED IMPACT PROTECTION SYSTEM FOR THE ENTIRE DOOR OPENING.
   - 4.3. INSTALL MULTIPLE WINDOW UNITS WITH 6" MINIMUM FRAMING (DBL. 2X KING STUDS + 2 JACK STUDS) BETWEEN UNITS OR USE TESTED AND APPROVED FACTORY MULLED UNITS.
5. SEE DETAILS WITH TRANSMITTAL DOCUMENT. REFER TO DRAWING S4 FOR CEILING FRAMING..
6. INSTALL 1/2" SHEATHING ON UNDERSIDE OF CEILING JOISTS IN AREA INDICATED, NAIL 3" O.C. (PERIMETER) AND 6"O.C. (FIELD). AS AN ALTERNATIVE (FOR PORCH AREAS) HARDIE PANEL MAY BE USED PROVIDED PANELS ARE INSTALLED AS FOLLOWS: PANELS SHALL BE INSTALLED WITH LONG AXIS ACROSS JOISTS AND WITH ALL PANEL EDGES BLOCKED WITH MIN. 3.5" WIDE FRAMING, NAIL 4" O.C. AT PANEL EDGES AND 6" O.C. IN FIELD USING 8d NAILS.
7. INSTALL INTERIOR SHEARWALLS (IN LOCATIONS INDICATED) PER DETAIL 633111. NOTE, INTERIOR SHEARWALLS ARE TO EXTEND INTO ATTIC SPACE AND CONNECTED TO RAFTERS ABOVE.
8. NOTCH TOP OF POST AND BOLT TO COVERED DECK ROOF BEAMS WITH (2) 3/4" GALV. MACH. BOLTS W/ NUTS & WASHERS ON EACH SIDE OF BOLT. DO NOT NOTCH MORE THAN 50% OF THICKNESS OF POST.

STATE OF TEXAS
MICHAEL WYNNE LEVERIDGE
64512
LICENSED
PROFESSIONAL ENGINEER

29 Mar 23

WIND FORCE RESISTING SYSTEM PLAN 2ND FLOOR

SCALE: 1/8" = 1' 0"

JOB # 101-0182-076

JOE TORNBERG RESIDENCE
8004 BLUEWATER HWY
FREEPORT, TEXAS

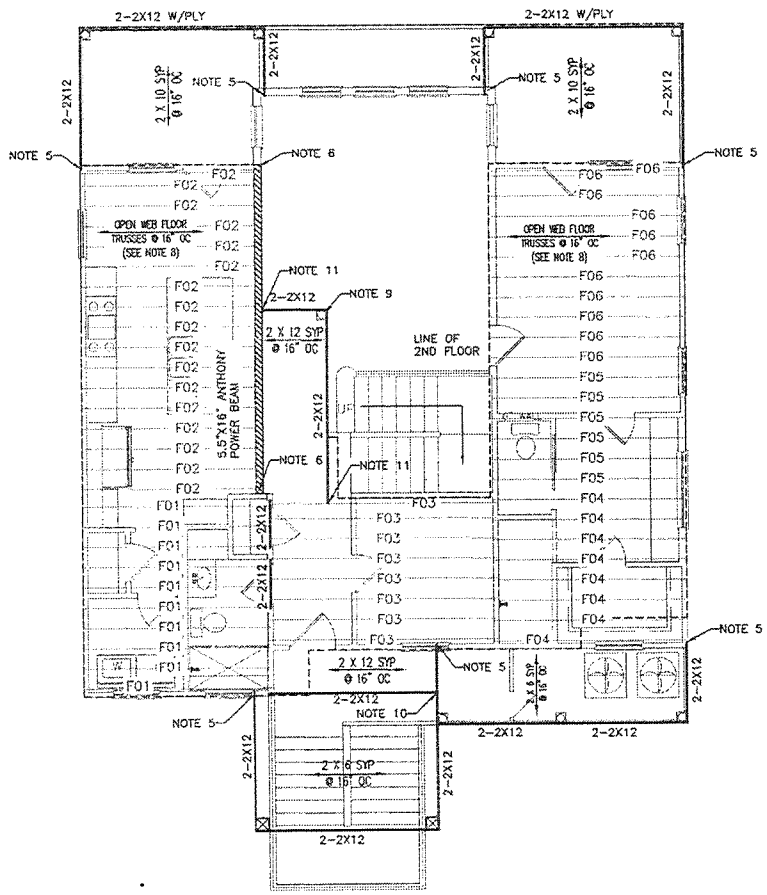
S3A

REV: 0
DATE: 03/28/23

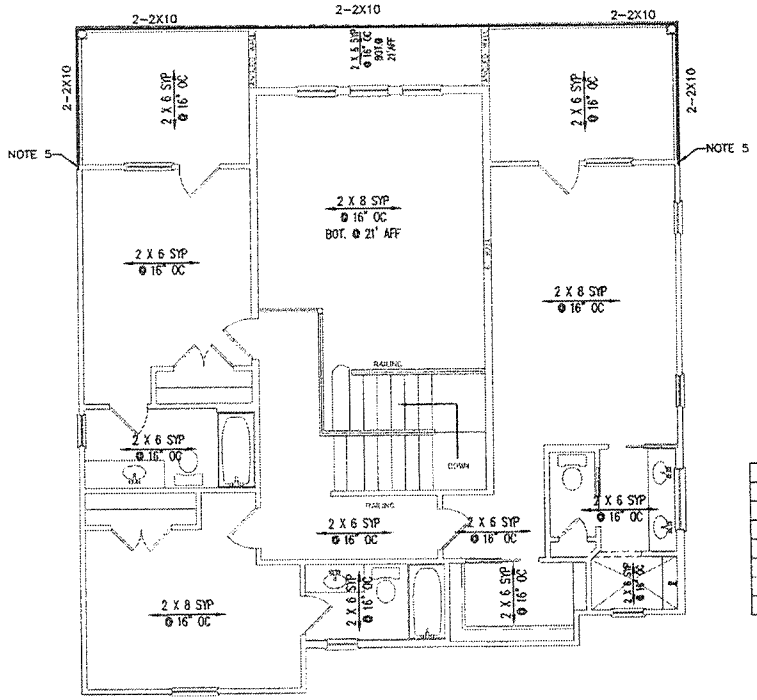
Engineers of Brazosport, LLC
TBPE REG. NO. F-10807
122 West Way Street, Suite 401
Lake Jackson, Texas 77566
(979) 265-3383

NOTES:

1. CEILING JOISTS ARE 2X6 @ 16" O.C. #2 SYP UNLESS NOTED.
2. ALL CEILING AND FLOOR JOISTS TO BE #2 SYP UNLESS NOTED.
3. ATTACH CEILING JOISTS TO FLUSH BEAMS WITH SIMPSON FACE MOUNT HANGERS, LU/HU SERIES OR EQUAL.
4. INSTALL DOUBLE FRAMING AT ATTIC ACCESS.
5. NOTCH PORCH BEAMS INTO WALL FRAMING OR ATTACH USING TYPE 316L STAINLESS STEEL CONCEALED FLANGE FACE MOUNT HANGERS (SIMPSON HUC SERIES OR EQUAL). PROVIDE STUD PACK IN WALL AT ATTACHMENT LOCATION. MAINTAIN DBL. TOP PLATE IN WALL AT BEAM LOCATION.
6. PROVIDE MIN. (3) STUDS IN WALL FRAMING UNDER ENDS OF BEAM.
7. PROVIDE 2X6 FRAMING AT EXTERIOR WALLS WHERE PLUMBING RISERS ARE LOCATED.
8. SUBMIT TRUSS DESIGN DRAWINGS TO ENGINEER FOR APPROVAL PRIOR TO FABRICATION. FLOOR TRUSSES TO BE ENGINEERED FOR 30 PSF LIVE / 10 PSF DEAD LOADS.
9. PROVIDE POST TO SUPPORT BALCONY ABOVE GREAT ROOM. FABRICATE POST FROM (4) 2X6'S USING FRAMING MATERIAL.
10. ATTACH DBL 2X12 BEAM AT COVERED DECK USING SIMPSON HANGER HU212-2.
11. ATTACH DBL 2X12 BEAM ABOVE GREAT ROOM USING SIMPSON HANGER HU212-2.



1ST FLOOR PLAN



2ND FLOOR PLAN

Floor Trusses		
Qty	Truss	Span
10	F01	12'-4 1/2"
17	F02	11'-4 3/4"
8	F03	15'-3"
8	F04	12'-9 1/4"
6	F05	12'-8 1/2"
11	F06	12'-10 1/2"

STATE OF TEXAS
MICHAEL WYNNE LEVERIDGE
64512
LICENSED
PROFESSIONAL ENGINEER
29 MAR 23

CEILING FRAMING PLAN

SCALE: 1/8" = 1' 0"

SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN

NOTE: THIS DESIGN MEETS THE REQUIREMENTS OF THE 2018 IRC (INTERNATIONAL RESIDENTIAL CODE). DESIGN WIND VELOCITY = 150 MPH (3 SEC GUSTS, USD). EXPOSURE D, RISK CATAGORY II.

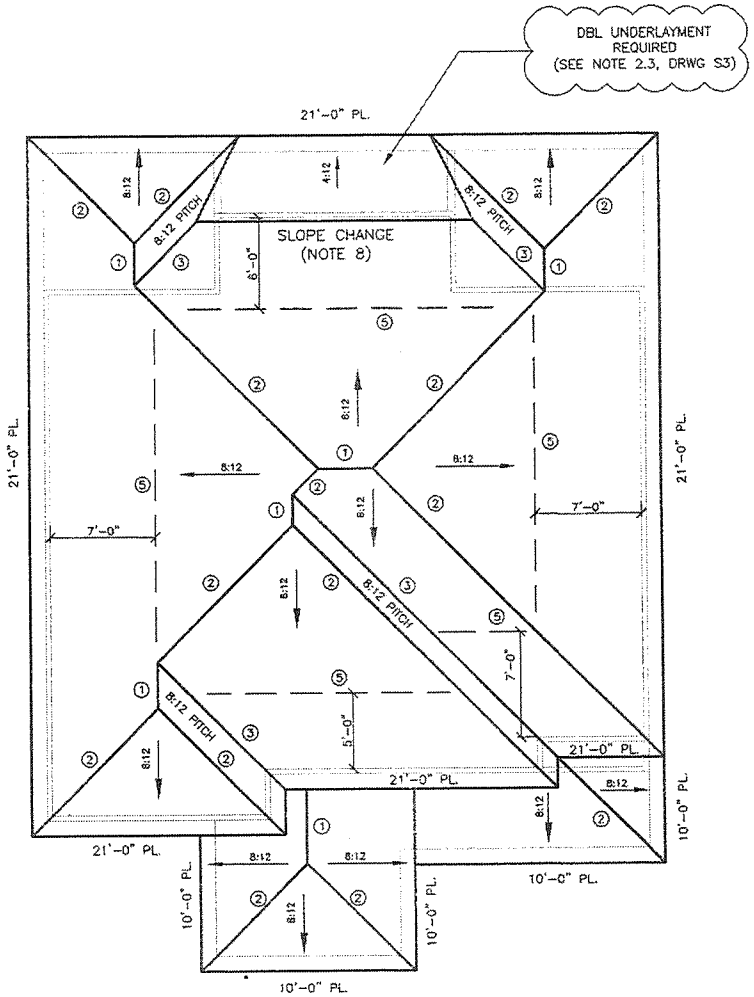
JOE TORNBERG RESIDENCE
8004 BLUEWATER HWY
FREEPORT, TEXAS

S4

REV: 0
DATE: 03/28/23

JOB # 161-01827-076

Engineers of Brazosport, LLC
TBPE REG NO. F-006907
122 West Way Street, Suite 401
Lake Jackson, Texas 77566
(979) 265-3383



LEGEND:

1. RIDGE
2. HIP
3. VALLEY
4. CRICKET
5. PURLIN

NOTES: ROOF FRAMING PLAN

1. RAFTERS ARE 2 X 6 @ 16" O.C. #2 OR #3 SYP UNLESS NOTED.
2. PURLINS AND BRACING -SEE DETAIL 622030.
3. CONNECTORS-SEE DETAIL 622030.
4. CRICKETS TO BE APPLIED TO ROOF DECK AND CONNECTED TO FRAMING WITH 3/8" X 4" GALVANIZED LAG SCREWS WITH WASHER.
5. DOUBLE FRAMING AROUND CHIMNEYS, DORMERS, SKYLIGHTS, AND OTHER MAJOR ROOF OPENINGS.
6. OUTLOOKERS TO BE 2 X 4 @ 16" ON CENTER.
7. INSTALL 18" LONG COIL STRAPPING ACROSS TOP OF RAFTERS AT RIDGE IN INDICATED LOCATIONS.
8. LAP COV DECK (LOW SLOPE) RAFTERS TO SIDE OF MAIN HOUSE RAFTERS. ATTACH WITH MIN. (6) 10d COMMON (0.148" X 3" LONG) NAILS. PROVIDE LOAD BLOCKS AT ATTACHMENT LOCATION.

STATE OF TEXAS
MICHAEL WYNNE LEVERIDGE
64512
LICENSED
PROFESSIONAL ENGINEER
29 MAR 23

ROOF FRAMING PLAN

SCALE: 1/8" = 1' 0"

SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN

NOTE: THIS DESIGN MEETS THE REQUIREMENTS OF THE 2018 IRC (INTERNATIONAL RESIDENTIAL CODE). DESIGN WIND VELOCITY = 150 MPH (3 SEC GUSTS, USD). EXPOSURE D, RISK CATAGORY II.

JOB # 101-01027-076

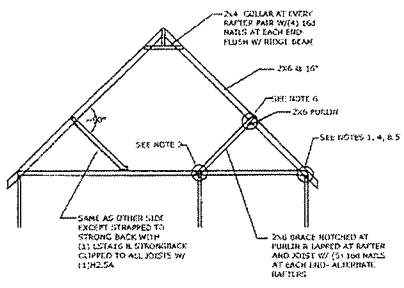
JOE TORNBERG RESIDENCE
8004 BLUEWATER HWY
FREEPORT, TEXAS

S5

REV: 0
DATE: 03/28/23

Engineers of Brazosport, LLC
TBPE REG. NO. F-008007
122 West Way Street, Suite 401
Lake Jackson, Texas 77566
(979) 265-3383

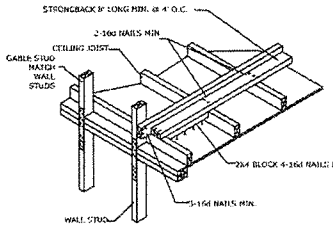
NOTE: USE DETAILS THAT APPLY TO A PARTICULAR PROJECT



NOTES:
1. (1) H2.5A CONNECTOR AT EACH RAFTER
2. (1) H2.5A CONNECTOR AT EACH BRACE ATTACHING JOIST TO WALL
3. MAXIMUM RAFTER SPAN W/O BRACE =12'.
4. RAFTERS MUST REST UPON DOUBLE TOP PLATE OF WALL
5. WALL MUST HAVE CONTINUOUS STUDS (NO JOINT WALLS)
6. RAFTERS W/O BRACE TO BE CONNECTED TO PURLIN W/ H2.5A

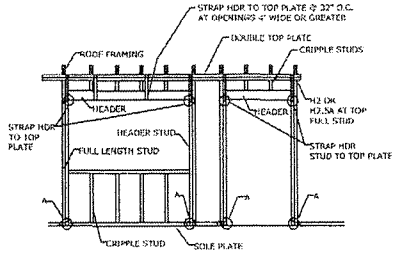
RAFTER BRACING
AND HOLD-DOWN SYSTEM
(2X6 RAFTERS @ 16"O.C.)

DETAIL 622030



GABLE ENDWALL FRAMING
JOISTS PARALLEL TO ENDWALL

DETAIL 624010

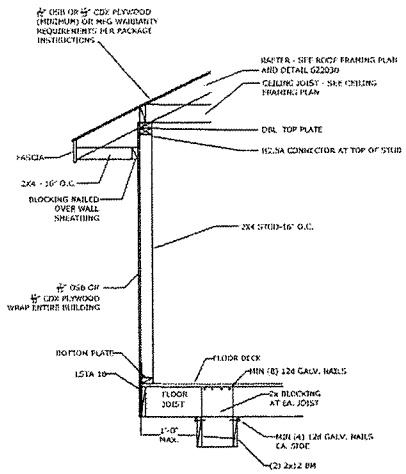


A = FULL STUD & HDR. STUD STRAPPED TO JOIST W/ LSTA18.

NOTES:
1. ALL EXT. STUDS TO HAVE LSTA18 STRAP AT BOTTOM TYING TO BAND JOIST.
2. ALL EXT. STUDS TO HAVE H2.5A AT TOP TYING TO 2 TOP PLATES.

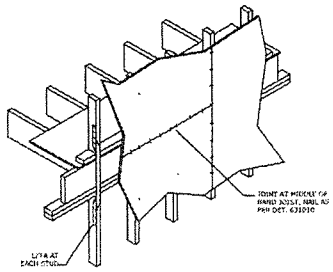
FRAMING AND CONNECTIONS FOR WALLS AND
OPENINGS FOR WOOD FOUNDATIONS

DETAIL 625111



TYPICAL EXTERIOR WALL

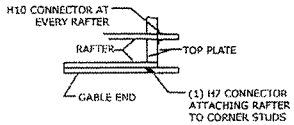
DETAIL 625114



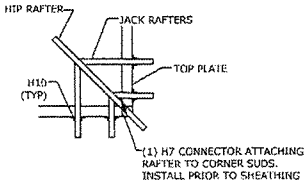
STUD CONNECTION AND
WALL SHEATHING APPLICATION FOR TWO
AND THREE STORY BUILDINGS

MULTI-STORY STUD WALL

DETAIL 625120



PLAN - GABLE END

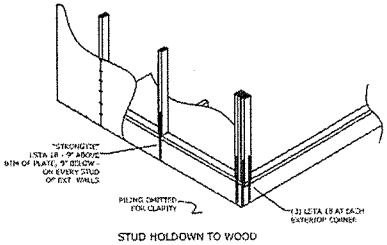


PLAN - HIP AT CORNER

NOTE: SIMILAR INSTALLATION AT VALLEYS

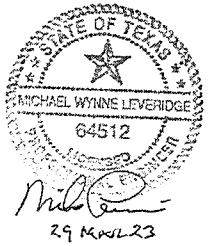
CORNER RAFTER TO PLATE CONNECTION
SEAWARD

DETAIL 625151



STUD HOLDOWN TO WOOD

DETAIL 625160



29 MARCH 23

JOB # 101-01827-000

STRUCTURAL DETAILS
JOE TORNBERG
8004 BLUEWATER HWY.
FREEPORT , TEXAS

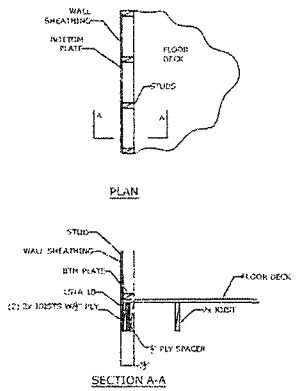
S6A

REV: 0

DATE: 03/28/23

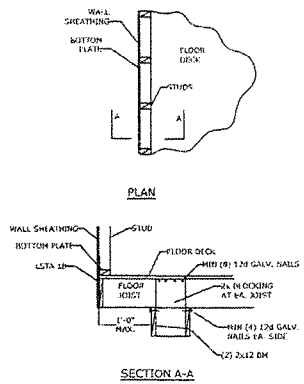
Engineers of Brazosport, LLC
TBPE REG. NO. F-008607
122 West Way Street, Suite 401
Lake Jackson, Texas 77566
(979) 265-3383

NOTE: USE DETAILS THAT APPLY TO A PARTICULAR PROJECT



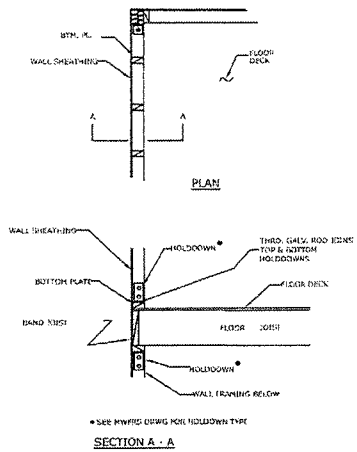
EXT. WALL PARALLEL TO JOISTS

DETAIL 625161



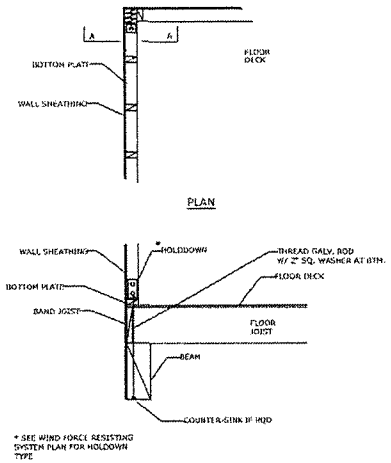
EXT. WALL PERPENDICULAR TO JOISTS

DETAIL 625162



HOLDDOWN AT SECOND FLOOR CORNER

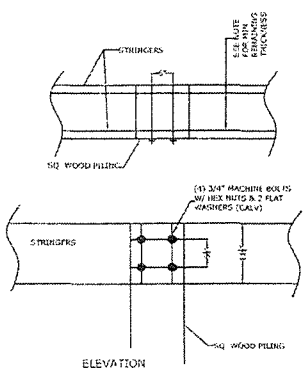
DETAIL 625210



HOLDDOWN AT SECOND FLOOR CORNER ON BEAM

DETAIL 625211

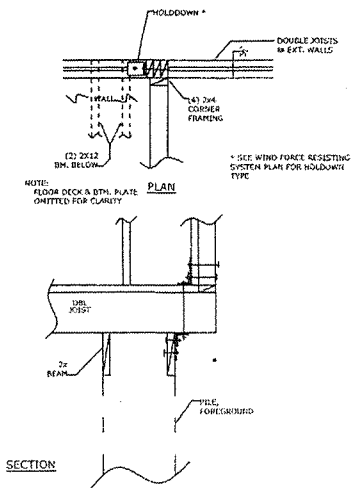
STRUCTURAL DETAILS
JOE TORNBERG
8004 BLUEWATER HWY.
FREEPORT , TEXAS



NOTE: NOTCH PILING TO PROVIDE BEARING SUPPORT FOR STRINGER BEAMS, LEAVING A MINIMUM REMAINING THICKNESS AS FOLLOWS:
10" PILING - MIN. REMAINING PILING THICKNESS = 5.5"
12" PILING - MIN. REMAINING PILING THICKness = 6.5"

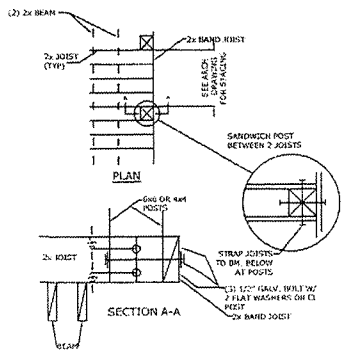
BEAM - PILE CONN.

DETAIL 625220



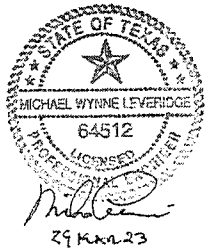
CORNER HOLDDOWN

DETAIL 625260



PORCH POST AND RAIL CONN. TO FLOOR JOISTS

DETAIL 625262



29 MAR 23

JOB # 101-01827-076

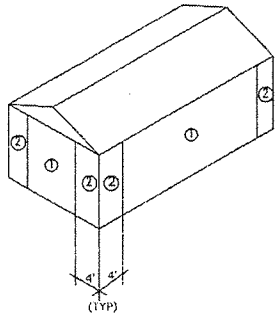
S6B

REV: 0

DATE: 03/28/23

Engineers of Brazosport, LLC
TBPE REG. NO. F-009307
122 West Way Street, Suite 401
Lake Jackson, Texas 77566
(979) 265-5383

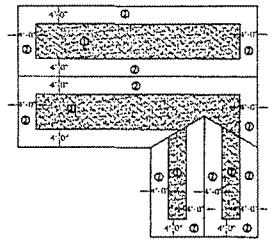
NOTE: USE DETAILS THAT APPLY TO A PARTICULAR PROJECT



1. SHEATHING FASTENED 3" O.C. AT EDGES, 6" O.C. ON CENTER STUDS W/8d COMMONS
2. SHEATHING FASTENED 3" O.C. AT EDGES, 6" O.C. ON CENTER STUDS W/8d COMMONS
3. 2x4 (FLAT) BLOCKING RQD AT HORIZONTAL SHEATHING JOINTS

WALL SHEATHING ATTACHMENT (SEAWARD)

DETAIL 631011

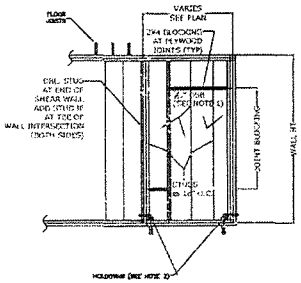


ZONE 1 : SHEATING FASTENED 6" O.C. ALONG PANEL EDGES AND 12" O.C. ALONG INTERMEDIATE FRAMING

ZONE 2 : SHEATING FASTENED 4" O.C. ALONG PANEL EDGES AND 6" O.C. ALONG INTERMEDIATE FRAMING

ROOF SHEATHING ATTACHMENT

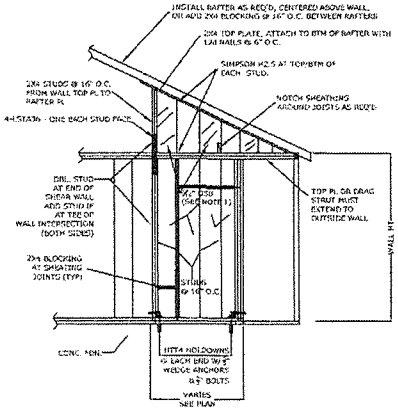
DETAIL 631012



NOTE:
1. NAIL OSB @ 3" AT EDGES, 6" IN FIELD.
2. SEE WIND FORCE RESISTING SYSTEM PLAN FOR HOLDOWN TYPE.
3. OPENINGS THROUGH SHEAR WALLS ARE NOT PERMITTED EXCEPT AS SHOWN.
4. INSTALL PLATE BOLTS @ 32" O.C. PER DET. 625201.

INTERNAL SHEAR WALL DETAIL

DETAIL 633110



NOTE:
1. NAIL OSB @ 3" AT EDGES, 6" IN FIELD.
2. SHEATHING MUST BE CONTINUOUS ACROSS TOP PLATE, OR JOINT IN MIDDLE OF TOP PLATE.
3. OPENINGS THROUGH SHEAR WALL ARE NOT PERMITTED EXCEPT AS SHOWN.

INTERNAL SHEAR WALL DETAIL

DETAIL 633111

STATE OF TEXAS
MICHAEL WYNNE LEVERIDGE
64512
LICENSED
PROFESSIONAL ENGINEER

29 MAR 23

JOB # 101-01827-076

STRUCTURAL DETAILS
JOE TORNBERG
8004 BLUEWATER HWY.
FREEPORT , TEXAS

S6C

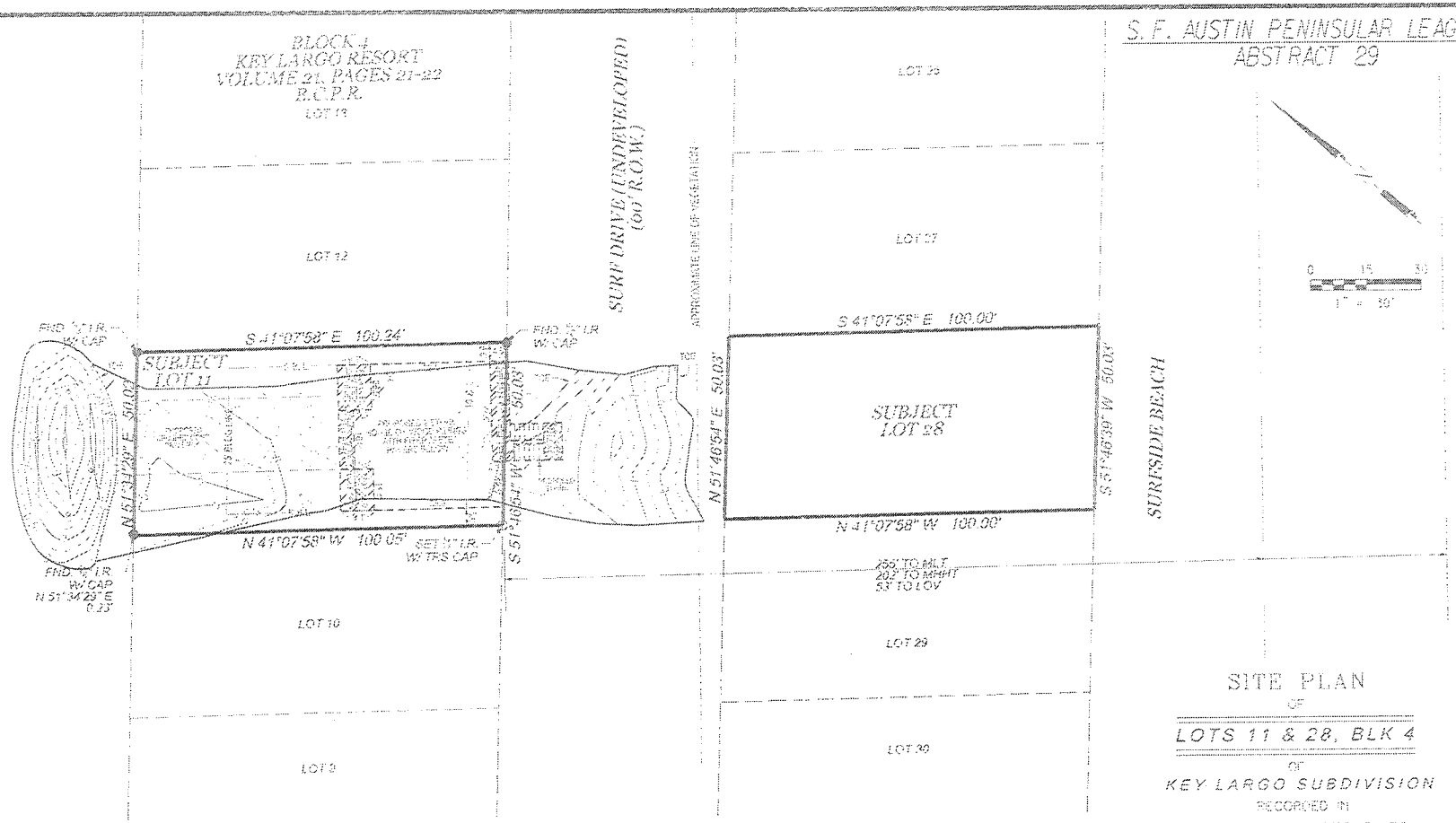
REV: 0

DATE: 03/28/23

Engineers of Brazosport, LLC
TBPE REG NO. F-006007
122 West Way Street, Suite 401
Lake Jackson, Texas 77566
(979) 265-3363

BRAZORIA COUNTY
TEXAS

S. F. AUSTIN PENINSULAR LEAGUE
ABSTRACT 29



SITE PLAN
OF
LOTS 11 & 28, BLK 4
OF
KEY LARGO SUBDIVISION
RECORDED IN
VOLUME 13, PAGES 21-22
OF THE
BRAZORIA COUNTY PLAT RECORDS
IN THE
S F AUSTIN PENINSULAR LEAGUE
ABSTRACT 29
OF
BRAZORIA COUNTY, TEXAS
FOR
JOE TORNBERG
BLUEWATER HIGHWAY (C.R. 257)

I, TERRY SINGLETARY, REGISTERED PROFESSIONAL LAND SURVEYOR DO HEREBY CERTIFY THAT THE ABOVE PLAT IS A TRUE REPRESENTATION OF A SURVEY MADE UNDER MY SUPERVISION ON THE GROUND, AND THAT THERE ARE NO EVIDENT ROW INFRINGMENT ON THIS PROPERTY, EXCEPT AS SHOWN.
DATE SURVEYED: APRIL 7, 2023

STATE OF TEXAS
REGISTERED
TERRY SINGLETARY
4808
PROFESSIONAL
LAND SURVEYOR

Terry Singletary
TERRY SINGLETARY
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NUMBER 4808

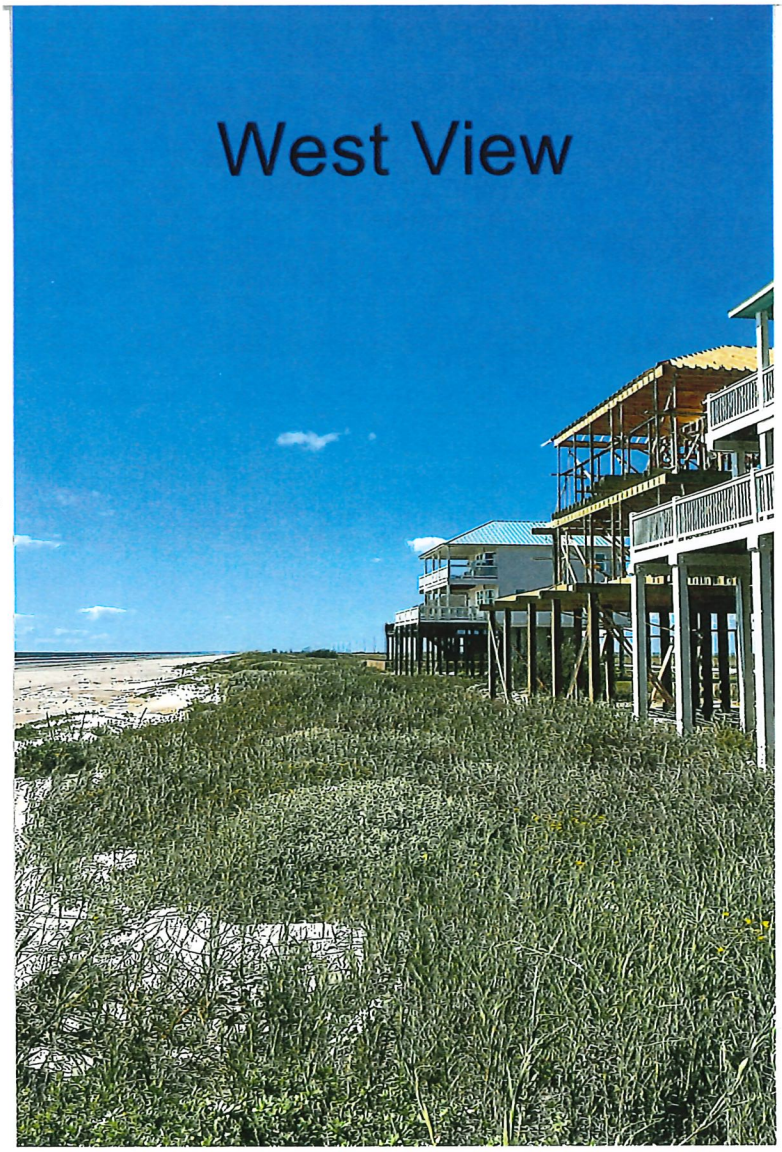
NOTES:

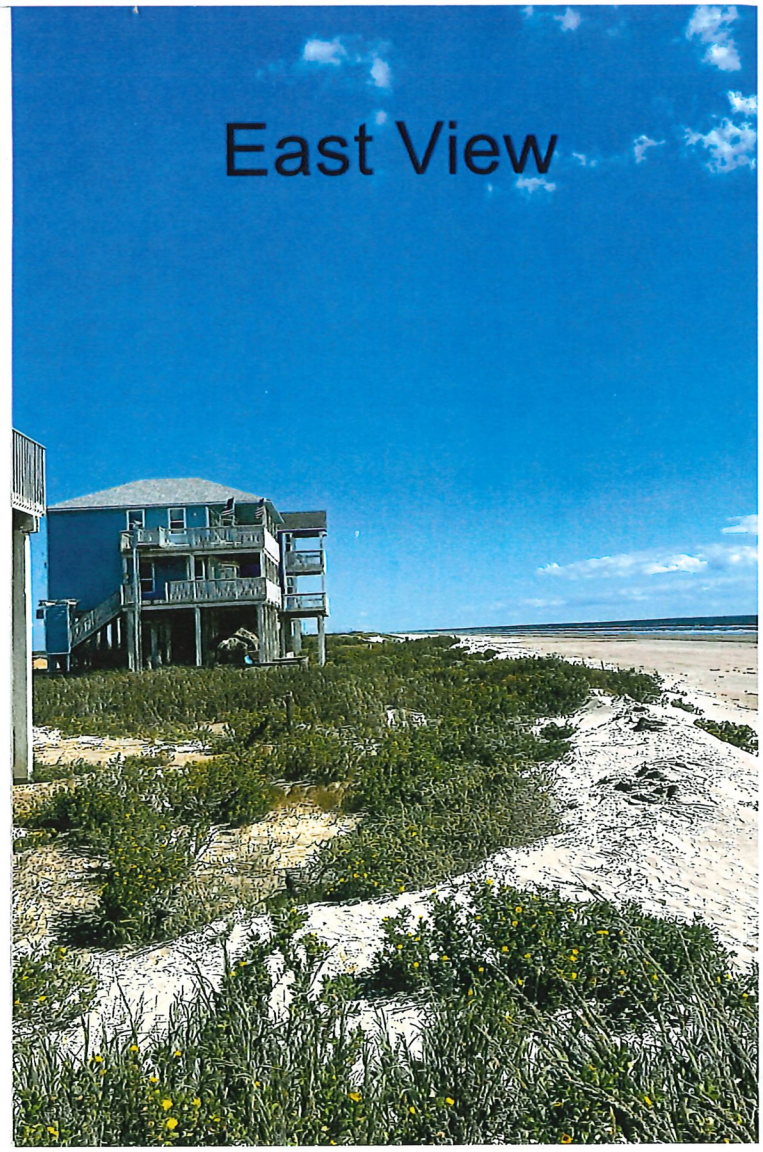
1. ALL COORDINATES AND BEARINGS ARE RELATIVE TO THE TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH CENTRAL ZONE (NAD 83).
2. ALL DISTANCES ARE HORIZONTAL SURFACE LEVEL LENGTHS (SF = 0.9999710).
3. THIS PROPERTY IS LOCATED WITHIN THE LIMITS OF ZONE "VE" PER FEMA FLOOD INSURANCE RATE MAP NUMBER 48039C0457J, DATED SEPTEMBER 20, 2018.
4. NO TITLE COMMITMENT WAS PROVIDED FOR THIS SURVEY. THERE MAY BE ITEMS OF RECORD WHICH AFFECT THIS PROPERTY, NOT SHOWN HEREON.
5. BUILDING LINES ARE ESTABLISHED IN COUNTY OFFICIAL RECORDS, 20' OFFSETS OF THE BRAZORIA COUNTY OFFICIAL RECORDS.
6. THERE IS AN INSTRUMENT REGARDING SUBDIVISION RESTRICTIONS RECORDED IN COUNTY CLERK'S FILE NO. 2017-042444 OF THE BRAZORIA COUNTY OFFICIAL RECORDS.

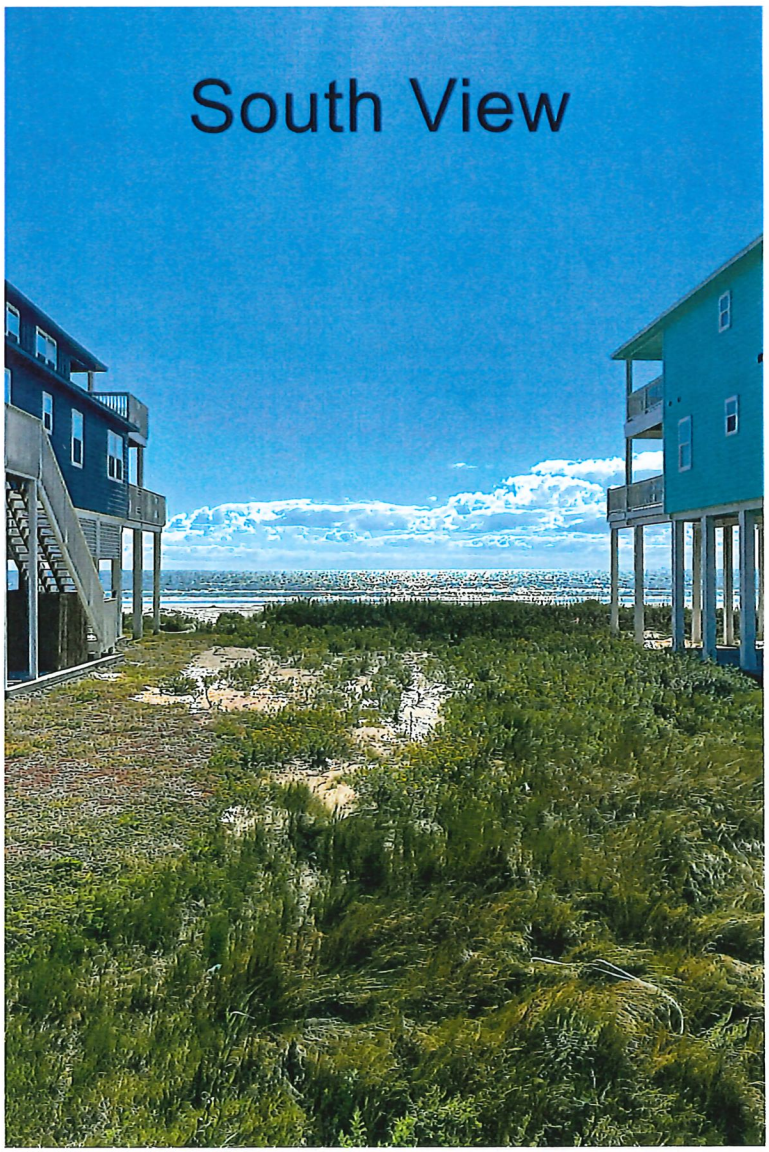
LEGEND

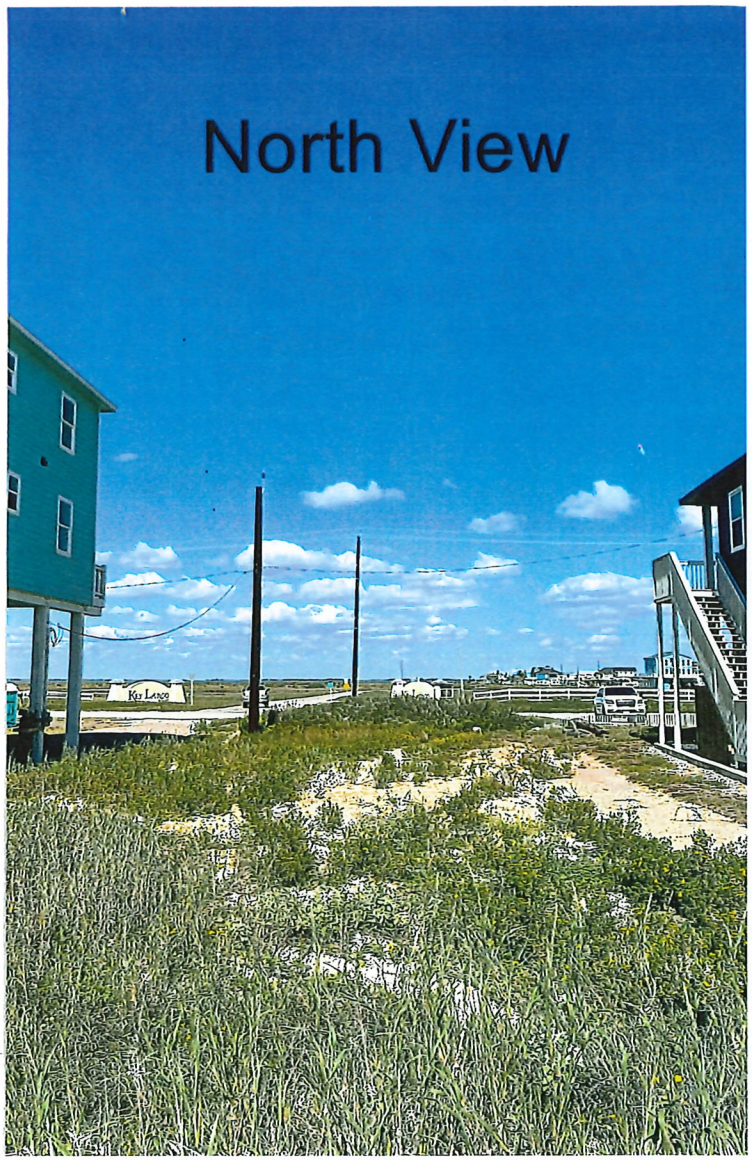
●	FOUND IRON REBAR/PIPE
○	SET 5/8" IRON ROD W/ TRS CAP
———	BUILDING LINE
— · — · —	LOT LINE
═══	PROPERTY LINE

Doyle & Wachsteiter, Inc.
Surveying and Mapping Services
[illegible]


West View

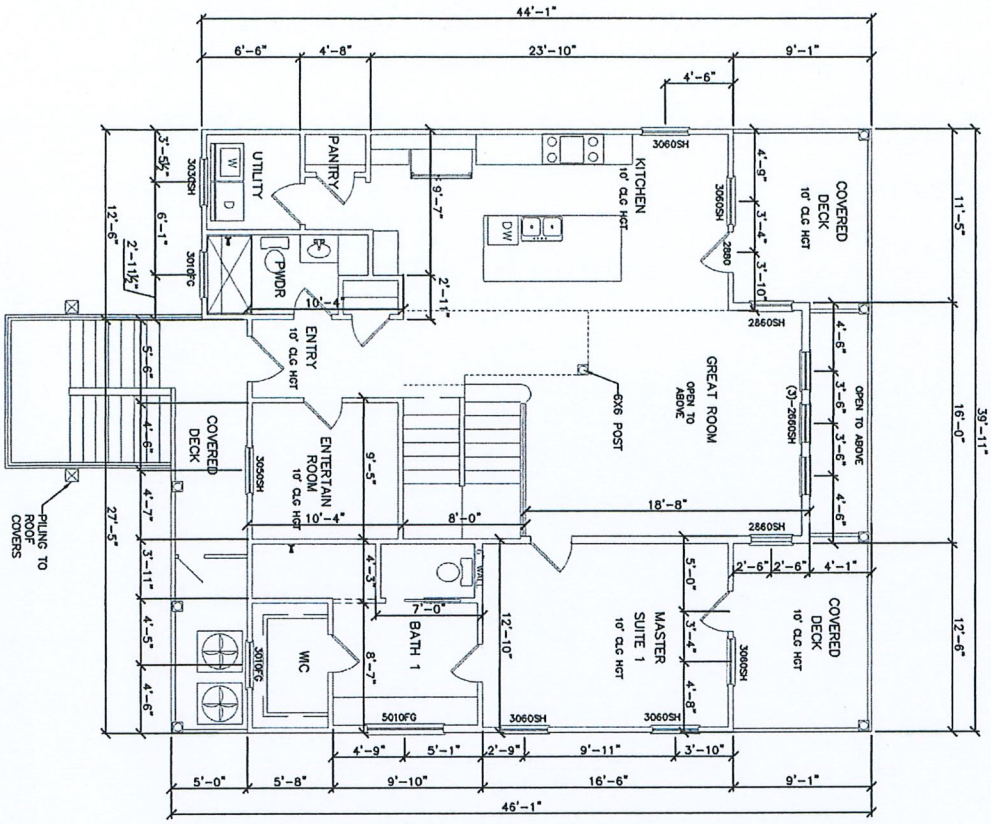

East View


South View

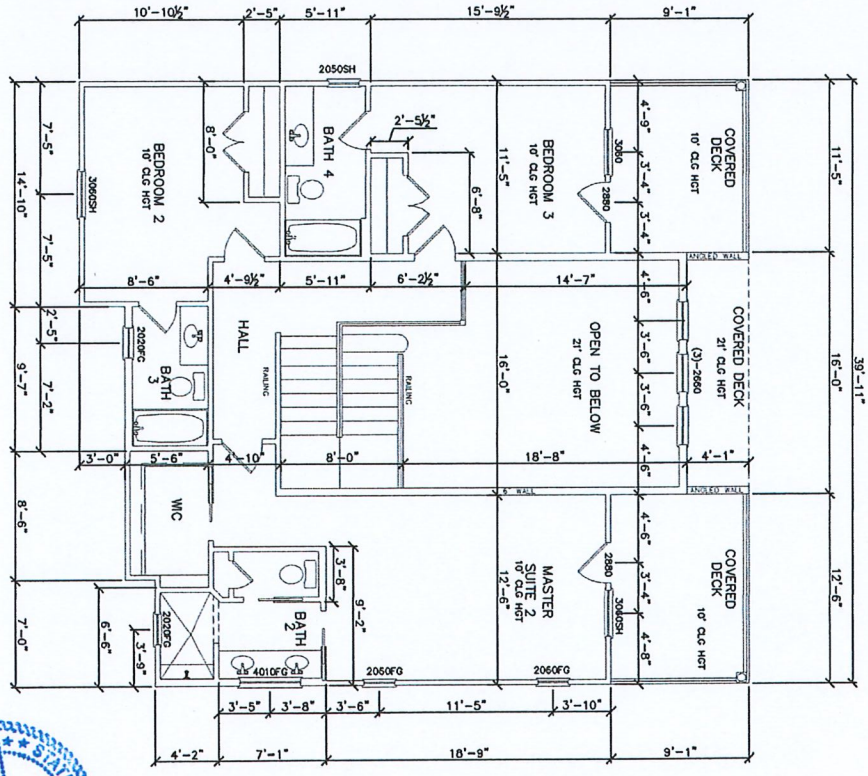

North View

SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN

NOTE: THIS DESIGN MEETS THE REQUIREMENTS OF THE 2018 IRC (INTERNATIONAL RESIDENTIAL CODE). DESIGN WIND VELOCITY = 150 MPH (3 SEC GUSTS, USD). EXPOSURE D, RISK CATAGORY II.



1ST FLOOR PLAN



2ND FLOOR PLAN

DIMENSIONED FLOOR PLANS

SCALE: 1/8" = 1' 0"

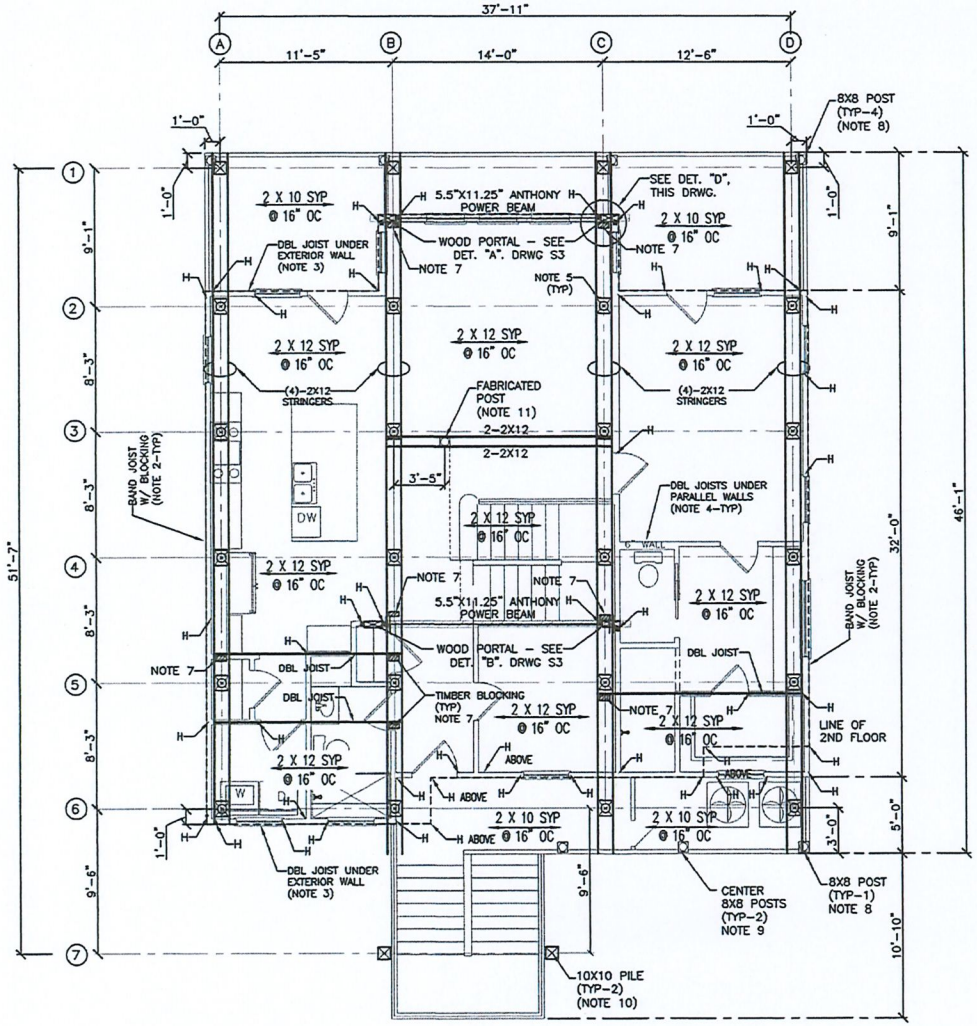
STATE OF TEXAS
MICHAEL WYNNE LEVERIDGE
64512
LICENSED
PROFESSIONAL ENGINEER

29 MARCH 23

JOB # 101-01827-076

Engineers of Brazosport, LLC TBPE REG. NO. F-008007 122 West Way Street, Suite 401 Lake Jackson, Texas 77566 (979) 265-3383	REV: 0 DATE: 03/28/23	A1		JOE TORNBERG RESIDENCE 8004 BLUEWATER HWY FREEPORT, TEXAS

File Copy - Scanned 4/14/23

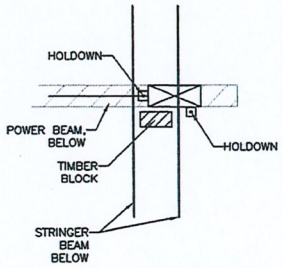


LEGEND:

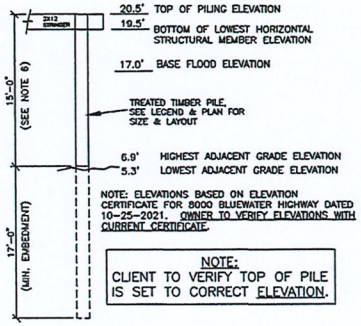
- = 12X12 PILING
- = 10X10 PILING
- H = HOLDOWN (SEE NOTE 1)
- = 8X8 POST
- = 4X8 MIN. TIMBER BLOCKING

NOTES:

1. SEE LEGEND ON WIND FORCE RESISTING PLAN (DRWG. S3) FOR TYPE OF HOLDOWN.
2. INSTALL BAND JOIST WITH SOLID BLOCKING BETWEEN JOISTS AT EXTERIOR WALLS PARALLEL TO STRINGER BEAMS. SEE DETAIL 625162.
3. INSTALL DOUBLE JOIST UNDER EXTERIOR WALL. SEE DETAIL 625161.
4. INSTALL DOUBLE JOIST UNDER PARALLEL WALLS ABOVE.
5. TYPICAL STRINGER/PILE CONNECTION (SEE DET 625220).
6. PILE LENGTH & EMBEDMENT, SEE TYPICAL PILE DETAIL THIS DRWG. NOTE, GROUND ELEVATIONS VARY, CLIENT TO VERIFY ELEVATIONS, FILL REQUIREMENTS AND REQUIRED PILING LENGTH PRIOR TO PILING INSTALLATION. SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN.
7. PROVIDE SOLID BLOCKING (MIN. 4X8 TIMBER) BETWEEN STRINGERS TO TOP OF FLOOR JOISTS AT INDICATED LOCATIONS. BOLT BLOCKING TO STRINGERS AND FLOOR JOISTS USING (2) 3/4" DIA. GALV. MACH. BOLTS WITH NUTS & WASHERS AT EACH CONNECTION.
8. OUTSIDE POSTS - BOTTOM OF 8X8 DECK POSTS ARE TO BE NOTCHED TO EXTEND ALONG OUTSIDE OF STRINGER BEAMS BELOW. NOTCH BOTTOM OF POST LEAVING 5" REMAINING THICKNESS WHERE POSTS BEAR UPON STRINGER. BOLT THROUGH STRINGER BEAMS USING (2) 3/4" GALV. BOLTS WITH NUTS & WASHERS. PROVIDE SOLID BLOCKING BETWEEN STRINGER BEAMS AT BOLTING LOCATION. NOTCH TOP OF POST PER NOTE 8, DRWG S3.
9. CENTER POSTS - NOTCH BOTTOM OF 8X8 POSTS AND BOLT BETWEEN DBL DECK JOISTS (2-2X10's EACH SIDE) USING (2) 3/4" GALV. BOLTS WITH NUTS & WASHERS. DO NOT NOTCH MORE THAN 50% OF THICKNESS OF POST. NOTCH TOP OF POST PER NOTE 8, DRWG S3.
10. INDICATED 10X10 PILES EXTEND TO COVERED DECK ROOF FRAMING. NOTCH TOP OF PILE AND BOLT TO ROOF BEAM USING (2) 3/4" GALV. BOLTS, NUTS & WASHERS.
11. 6X6 POST UNDER INTERIOR BALCONY - BOLT BOTTOM OF 6X6 POST BETWEEN DBL 2X12 JOISTS USING (2) 3/4" GALV. BOLTS WITH NUTS & WASHERS. FABRICATE POST USING FRAMING MATERIAL (SEE NOTE 9, DRWG.S4)



DETAIL "D"
N.T.S.



TYPICAL PILE DETAIL
N.T.S.

STATE OF TEXAS
MICHAEL WYNNE LEVERIDGE
64512
LICENSED
PROFESSIONAL ENGINEER
29 Mar 23

PILING FOUNDATION PLAN

SCALE: 1/8" = 1' 0"

SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN

NOTE: THIS DESIGN MEETS THE REQUIREMENTS OF THE 2018 IRC (INTERNATIONAL RESIDENTIAL CODE), DESIGN WIND VELOCITY = 150 MPH (3 SEC GUSTS, USD), EXPOSURE D, RISK CATAGORY II.

JOB # 101-01827-076

JOE TORNBERG RESIDENCE
8004 BLUEWATER HWY
FREEPORT, TEXAS

S1

REV: 0
DATE: 03/28/23

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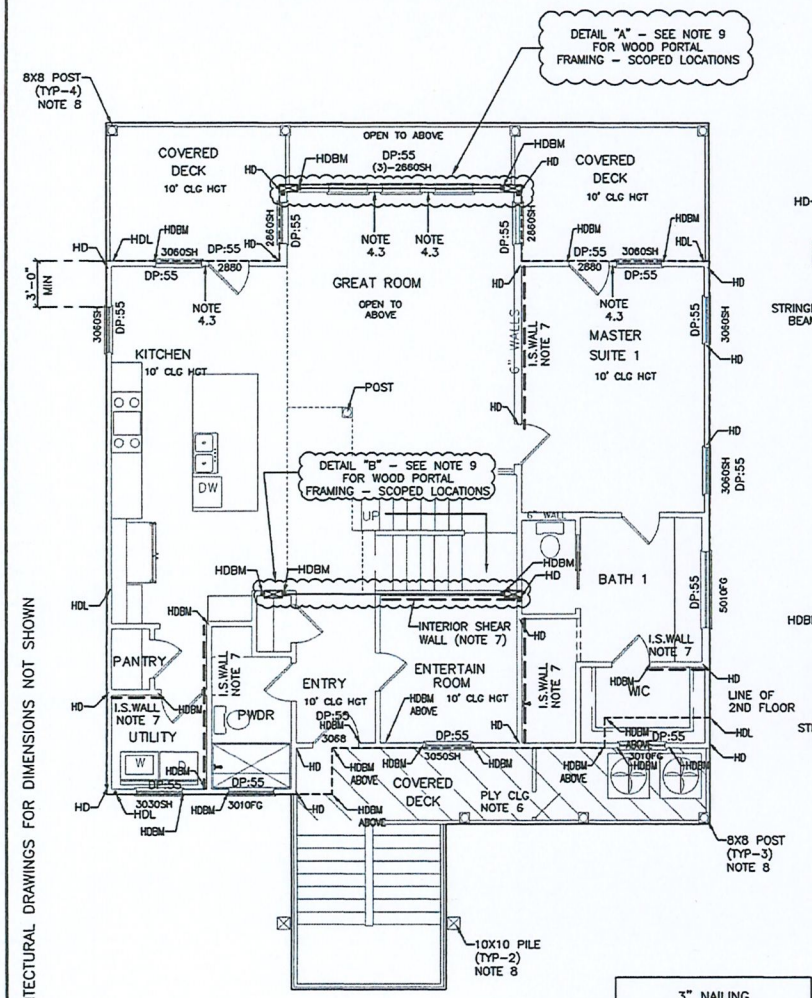
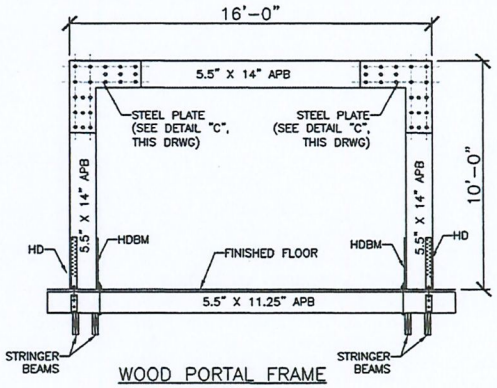
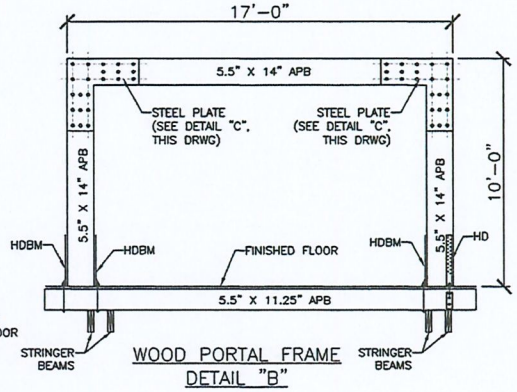


1ST FLOOR PLAN

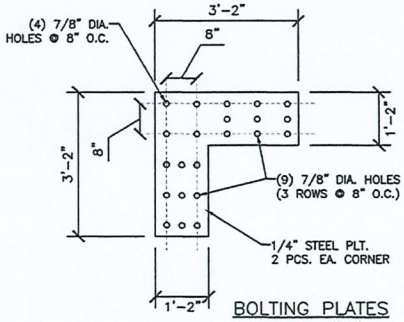
SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN



WOOD PORTAL FRAME DETAIL "A"



WOOD PORTAL FRAME DETAIL "B"



BOLTING PLATES DETAIL "C"

LEGEND:

HD = HTT5 HOLDOWN (TOP SIDE) WITH BP5/8-2" WASHER ATTACHED TO MIN. (2) FULL STUDS W/ (26) SDS #10" X 2.5" SCREWS. USE (2) LSTA 18" STRAPS (STUD TO BAND JOIST / TOP SIDE), HD5B (BOTTOM SIDE) BOLT TO MIN. (2) STRINGERS W/ SOLID BLOCKING. USE 5/8" GALV. ROD TO CONNECT HOLDOWNS. INSTALLATION PER DETAIL 625260 (CAP=6170#).

HDBM = HOLDOWN, HTT5 (TOP SIDE), ATTACHED TO MIN. (2) FULL STUDS WITH (26) 16d (0.162" DIA X 2.5" LONG) NAILS, ATTACH THRU DBL. JOIST, BEAM OR TRUSS BELOW USING 5/8" GALV. BOLT & 2" SQUARE WASHER @ BOT., SEE DETAIL 625211 (CAP=5090#)

HDL = LOWER FLOOR HOLDOWN – HTT5 (TOP SIDE) ATTACHED TO MIN. (2) FULL STUDS W/ (26) 16d (0.162" DIA X 2.5" LONG) NAILS, HD5B (BOTTOM SIDE) ATTACH TO STRINGERS. ALIGNED – ATTACH TO SAME STUD PACK AS HOLDOWN FROM FLOOR ABOVE. INSTALLATION PER DETAIL 625260 (CAP=4935#).

DP:XX = MINIMUM REQUIRED DESIGN PRESSURE (PSF) FOR WINDOWS & DOORS (SEE NOTE 4.1)

NOTES: WIND FORCE RESISTING SYSTEM PLAN

1. FULL HT. STUDS AT ALL EXTERIOR WALLS (NO PONY WALLS). 2X6 WALL FRAMING REQUIRED FOR STUD LENGTHS 12 FT & LONGER. CONSULT ENGINEER FOR MINIMUM STUD SIZE REQUIREMENTS FOR STUDS OVER 16 FT (SUCH AS GABLE END WALLS).
2. ROOFING:
   - 2.1. ROOFING PRODUCTS SHALL BE LISTED AS APPROVED PRODUCTS IN THE PRODUCT EVALUATION INDEX MAINTAINED BY THE TEXAS DEPARTMENT OF INSURANCE. ASPHALT SHINGLE ROOF COVERINGS MUST BE TESTED IN ACCORDANCE WITH ASTM D 7158 CLASS H OR ASTM D 3161 CLASS F AND INSTALLED IN ACCORDANCE WITH PACKAGE INSTRUCTIONS.
   - 2.2. SINGLE-TAB SHINGLES: APPLY SHINGLES AND STARTERS EXACTLY AS PRESCRIBED BY MANUFACTURER FOR HIGHEST WIND WARRANTY.
   - 2.3. FOR LOW PITCH COMPOSITION ROOF (FROM 2:12 TO 4:12) DOUBLE UNDERLAYMENT IS REQUIRED AND INSTALLED PER CODE REQUIREMENTS.
3. WALL SHEATHING TO BE NAILED AT 3" O.C. (PERIMETER) AND 6" O.C. (FIELD) ON SIDES INDICATED.
4. WINDOWS AND DOORS:
   - 4.1. WINDOWS AND DOORS MUST MEET PRESSURE REQUIREMENTS AS NOTED NEXT TO OPENING, BE LISTED AS AN APPROVED PRODUCT IN THE PRODUCT EVALUATIONS LIST MAINTAINED BY THE TEXAS DEPARTMENT OF INSURANCE AND BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE TDI PRODUCT EVALUATION.
   - 4.2. WINDBORN DEBRIS PROTECTION – ALL PRODUCTS WITH GLAZING MUST USE AN IMPACT RATED PRODUCT OR HAVE AN APPROVED IMPACT PROTECTION SYSTEM. DOORS WITH GLAZING MUST BE IMPACT RATED (DOOR AND GLASS ASSEMBLY) OR HAVE AN APPROVED IMPACT PROTECTION SYSTEM FOR THE ENTIRE DOOR OPENING.
   - 4.3. INSTALL MULTIPLE WINDOW UNITS WITH 6" MINIMUM FRAMING (DBL. 2X KING STUDS + 2 JACK STUDS) BETWEEN UNITS OR USE TESTED AND APPROVED FACTORY MULLED UNITS.
5. SEE DETAILS WITH TRANSMITTAL DOCUMENT. REFER TO DRAWING S4 FOR CEILING FRAMING..
6. INSTALL 1/2" SHEATHING ON UNDERSIDE OF CEILING JOISTS IN AREA INDICATED, NAIL 3" O.C. (PERIMETER) AND 6"O.C. (FIELD). AS AN ALTERNATIVE (FOR PORCH AREAS) HARDIE PANEL MAY BE USED PROVIDED PANELS ARE INSTALLED AS FOLLOWS: PANELS SHALL BE INSTALLED WITH LONG AXIS ACROSS JOISTS AND WITH ALL PANEL EDGES BLOCKED WITH MIN. 3.5" WIDE FRAMING, NAIL 4" O.C. AT PANEL EDGES AND 6" O.C. IN FIELD USING 8d NAILS.
7. INSTALL INTERIOR SHEARWALLS (IN LOCATIONS INDICATED) PER DETAIL 633111. NOTE, INTERIOR SHEARWALLS ARE TO EXTEND INTO ATTIC SPACE AND CONNECTED TO RAFTERS ABOVE.
8. NOTCH TOP OF POST/PILE AND BOLT TO COVERED DECK ROOF BEAMS WITH (2) 3/4" GALV. MACH. BOLTS W/ NUTS & WASHERS ON EACH SIDE OF BOLT. DO NOT NOTCH MORE THAN 50% OF THICKNESS OF POST/PILE.
9. WOOD PORTALS – INSTALL WOOD PORTAL (MOMENT FRAMES) AT INDICATED LOCATIONS PER DETAILS "A" & "B", THIS DRWG. NOTE – PORTAL FRAMES ARE TO BE FABRICATED USING ANTHONY POWER BEAMS WITH CORNERS CONNECTED USING BOLTING PLATES, ONE PLATE EACH SIDE (SEE DET. "C", THIS DRWG.). BOLT PLATES TOGETHER USING 3/4" BOLTS W/ NUTS & WASHERS. BOLT TIMBER BLOCKING (NOT SHOWN ON DETAILS) BETWEEN STRINGER BEAMS AND LOWER (5.5"X11.25") POWER BEAM (SEE DRWG. S1).

STATE OF TEXAS
MICHAEL WYNNE LEVERIDGE
64512
LICENSED PROFESSIONAL ENGINEER
29 MAR 23

WIND FORCE RESISTING SYSTEM PLAN 1ST FLOOR

SCALE: 1/8" = 1' 0"

NOTE: THIS DESIGN MEETS THE REQUIREMENTS OF THE 2018 IRC (INTERNATIONAL RESIDENTIAL CODE). DESIGN WIND VELOCITY = 150 MPH (3 SEC GUSTS, USD), EXPOSURE D, RISK CATAGORY II.

JOB # 101-01827-076

JOE TORNBERG RESIDENCE
8004 BLUEWATER HWY
FREEPORT, TEXAS

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DATE: 03/28/23

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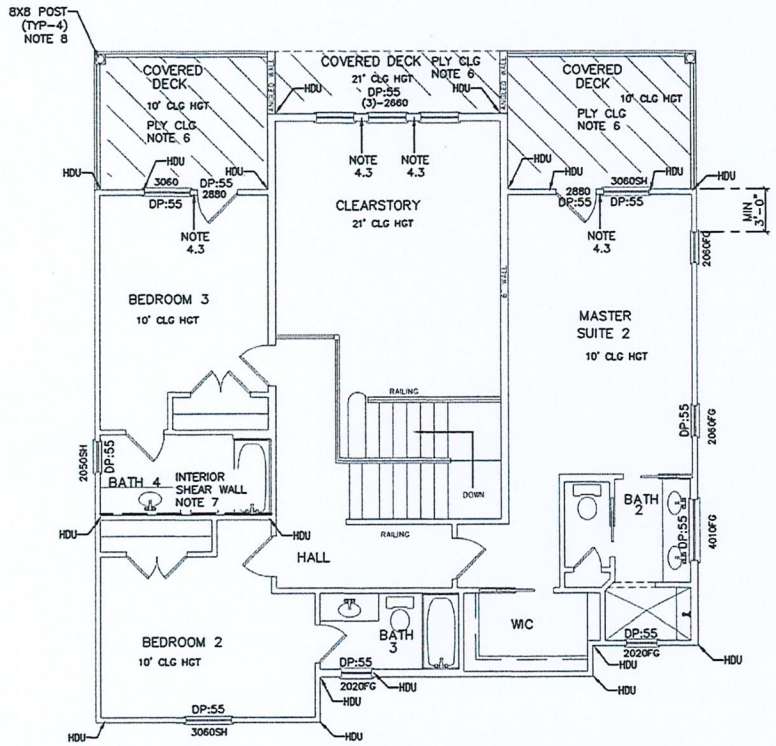

2ND FLOOR PLAN

SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN

LEGEND:

HDU = UPPER FLOOR HOLDOWNS – (2) HTT5 HOLDOWNS (1 TOP / 1 BOTTOM), ATTACH TO MIN. (2) FULL STUDS W/ 16d (0.162" DIA X 2.5" LONG) NAILS, ATTACH TO SAME STUD PACK BELOW AS LOWER HOLDOWN ON FLOOR BELOW. SEE DETAIL 625210 (CAP=5090#)

DP:XX = MINIMUM REQUIRED DESIGN PRESSURE (PSF) FOR WINDOWS & DOORS (SEE NOTE 4.1)

NOTES: WIND FORCE RESISTING SYSTEM PLAN

1. FULL HT. STUDS AT ALL EXTERIOR WALLS (NO PONY WALLS). 2X6 WALL FRAMING REQUIRED FOR STUD LENGTHS 12 FT & LONGER. CONSULT ENGINEER FOR MINIMUM STUD SIZE REQUIREMENTS FOR STUDS OVER 16 FT (SUCH AS GABLE END WALLS).
2. ROOFING:
   - 2.1. ROOFING PRODUCTS SHALL BE LISTED AS APPROVED PRODUCTS IN THE PRODUCT EVALUATION INDEX MAINTAINED BY THE TEXAS DEPARTMENT OF INSURANCE. ASPHALT SHINGLE ROOF COVERINGS MUST BE TESTED IN ACCORDANCE WITH ASTM D 7158 CLASS H OR ASTM D 3161 CLASS F AND INSTALLED IN ACCORDANCE WITH PACKAGE INSTRUCTIONS.
   - 2.2. SINGLE-TAB SHINGLES: APPLY SHINGLES AND STARTERS EXACTLY AS PRESCRIBED BY MANUFACTURER FOR HIGHEST WIND WARRANTY.
   - 2.3. FOR LOW PITCH COMPOSITION ROOF (FROM 2:12 TO 4:12) DOUBLE UNDERLAYMENT IS REQUIRED AND INSTALLED PER CODE REQUIREMENTS.
3. WALL SHEATHING TO BE NAILED AT 3" O.C. (PERIMETER) AND 6" O.C. (FIELD) ON SIDES INDICATED.
4. WINDOWS AND DOORS:
   - 4.1. WINDOWS AND DOORS MUST MEET PRESSURE REQUIREMENTS AS NOTED NEXT TO OPENING, BE LISTED AS AN APPROVED PRODUCT IN THE PRODUCT EVALUATIONS LIST MAINTAINED BY THE TEXAS DEPARTMENT OF INSURANCE AND BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE TDI PRODUCT EVALUATION.
   - 4.2. WINDBORN DEBRIS PROTECTION – ALL PRODUCTS WITH GLAZING MUST USE AN IMPACT RATED PRODUCT OR HAVE AN APPROVED IMPACT PROTECTION SYSTEM. DOORS WITH GLAZING MUST BE IMPACT RATED (DOOR AND GLASS ASSEMBLY) OR HAVE AN APPROVED IMPACT PROTECTION SYSTEM FOR THE ENTIRE DOOR OPENING.
   - 4.3. INSTALL MULTIPLE WINDOW UNITS WITH 6" MINIMUM FRAMING (DBL. 2X KING STUDS + 2 JACK STUDS) BETWEEN UNITS OR USE TESTED AND APPROVED FACTORY MULLED UNITS.
5. SEE DETAILS WITH TRANSMITTAL DOCUMENT. REFER TO DRAWING S4 FOR CEILING FRAMING..
6. INSTALL 1/2" SHEATHING ON UNDERSIDE OF CEILING JOISTS IN AREA INDICATED, NAIL 3" O.C. (PERIMETER) AND 6"O.C. (FIELD). AS AN ALTERNATIVE (FOR PORCH AREAS) HARDIE PANEL MAY BE USED PROVIDED PANELS ARE INSTALLED AS FOLLOWS: PANELS SHALL BE INSTALLED WITH LONG AXIS ACROSS JOISTS AND WITH ALL PANEL EDGES BLOCKED WITH MIN. 3.5" WIDE FRAMING, NAIL 4" O.C. AT PANEL EDGES AND 6" O.C. IN FIELD USING 8d NAILS.
7. INSTALL INTERIOR SHEARWALLS (IN LOCATIONS INDICATED) PER DETAIL 633111. NOTE, INTERIOR SHEARWALLS ARE TO EXTEND INTO ATTIC SPACE AND CONNECTED TO RAFTERS ABOVE.
8. NOTCH TOP OF POST AND BOLT TO COVERED DECK ROOF BEAMS WITH (2) 3/4" GALV. MACH. BOLTS W/ NUTS & WASHERS ON EACH SIDE OF BOLT. DO NOT NOTCH MORE THAN 50% OF THICKNESS OF POST.

3" NAILING
ALL EXTERIOR WALLS
(SEE NOTE 3)

STATE OF TEXAS
MICHAEL WYNNE LEVERIDGE
64512
LICENSED
PROFESSIONAL ENGINEER

25 MAR 23

WIND FORCE RESISTING SYSTEM PLAN 2ND FLOOR

SCALE: 1/8" = 1' 0"

NOTE: THIS DESIGN MEETS THE REQUIREMENTS OF THE 2018 IRC (INTERNATIONAL RESIDENTIAL CODE), DESIGN WIND VELOCITY = 150 MPH (3 SEC GUSTS, USD), EXPOSURE D, RISK CATAGORY II.

JOB # 101-01827-076

JOE TORNBERG RESIDENCE
8004 BLUEWATER HWY
FREEPORT, TEXAS

S3A

REV: 0
DATE: 03/28/23

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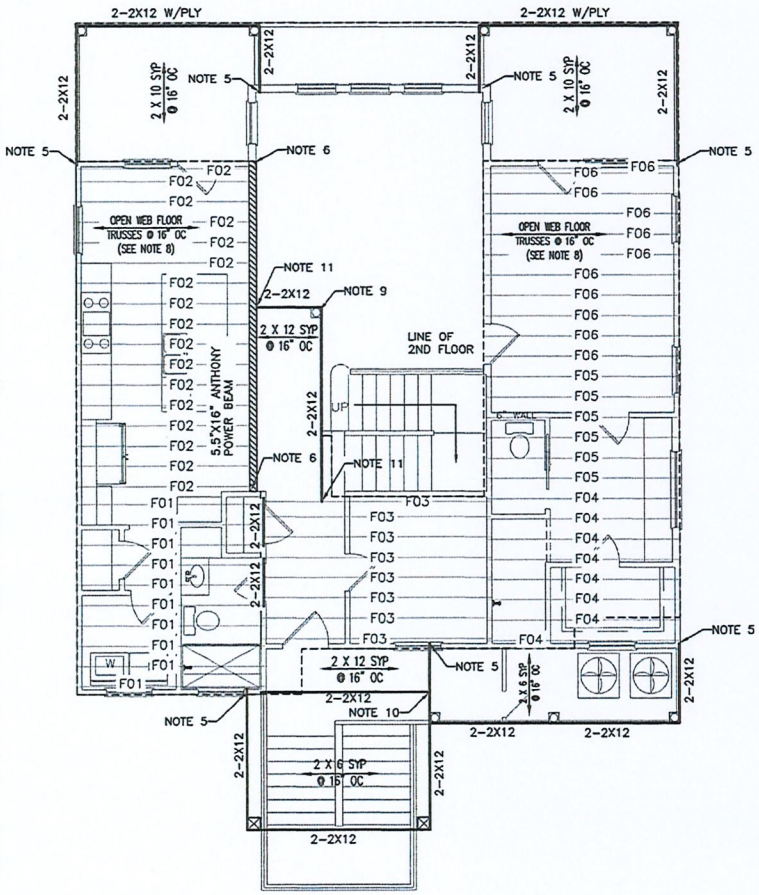
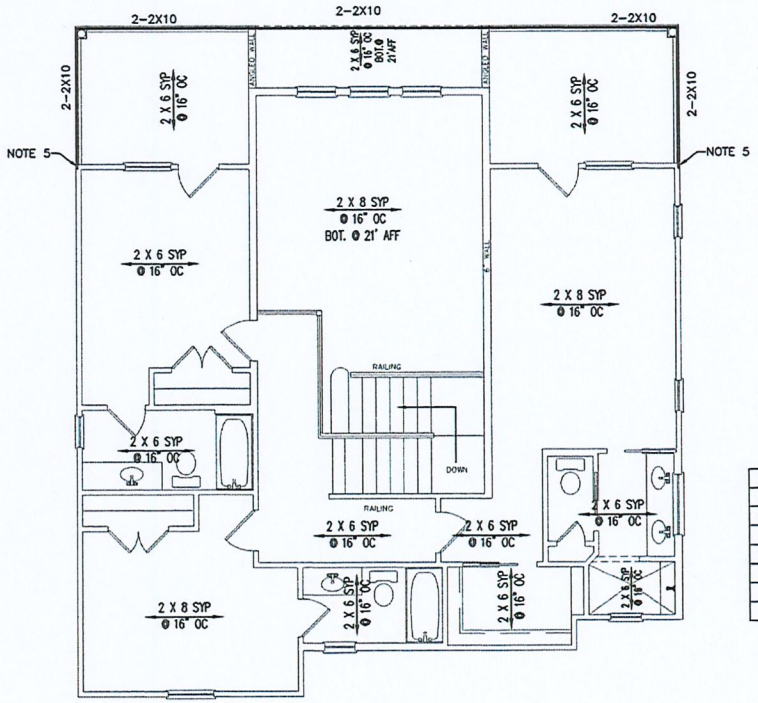
Lake Jackson, Texas 77566
(979) 265-3383

NOTES:

1. CEILING JOISTS ARE 2X6 @ 16" O.C. #2 SYP UNLESS NOTED.
2. ALL CEILING AND FLOOR JOISTS TO BE #2 SYP UNLESS NOTED.
3. ATTACH CEILING JOISTS TO FLUSH BEAMS WITH SIMPSON FACE MOUNT HANGERS, LU/HU SERIES OR EQUAL.
4. INSTALL DOUBLE FRAMING AT ATTIC ACCESS.
5. NOTCH PORCH BEAMS INTO WALL FRAMING OR ATTACH USING TYPE 316L STAINLESS STEEL CONCEALED FLANGE FACE MOUNT HANGERS (SIMPSON HUC SERIES OR EQUAL). PROVIDE STUD PACK IN WALL AT ATTACHMENT LOCATION. MAINTAIN DBL. TOP PLATE IN WALL AT BEAM LOCATION.
6. PROVIDE MIN. (3) STUDS IN WALL FRAMING UNDER ENDS OF BEAM.
7. PROVIDE 2X6 FRAMING AT EXTERIOR WALLS WHERE PLUMBING RISERS ARE LOCATED.
8. SUBMIT TRUSS DESIGN DRAWINGS TO ENGINEER FOR APPROVAL PRIOR TO FABRICATION. FLOOR TRUSSES TO BE ENGINEERED FOR 30 PSF LIVE / 10 PSF DEAD LOADS.
9. PROVIDE POST TO SUPPORT BALCONY ABOVE GREAT ROOM. FABRICATE POST FROM (4) 2X6'S USING FRAMING MATERIAL.
10. ATTACH DBL 2X12 BEAM AT COVERED DECK USING SIMPSON HANGER HU212-2.
11. ATTACH DBL 2X12 BEAM ABOVE GREAT ROOM USING SIMPSON HANGER HU212-2.



1ST FLOOR PLAN



2ND FLOOR PLAN

Floor Trusses		
Qty	Truss	Span
10	F01	12'-4 1/2"
17	F02	11'-4 3/4"
8	F03	15'-3"
8	F04	12'-9 1/4"
6	F05	12'-8 1/2"
11	F06	12'-10 1/2"

STATE OF TEXAS
MICHAEL WYNNE LEVERIDGE
64512
LICENSED
PROFESSIONAL ENGINEER

29 MARCH 23

CEILING FRAMING PLAN

SCALE: 1/8" = 1' 0"

SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN

NOTE: THIS DESIGN MEETS THE REQUIREMENTS OF THE 2018 IRC (INTERNATIONAL RESIDENTIAL CODE). DESIGN WIND VELOCITY = 150 MPH (3 SEC GUSTS, USD). EXPOSURE D, RISK CATAGORY II.

JOB # 101-01827-076

JOE TORNBERG RESIDENCE
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DATE: 03/28/23

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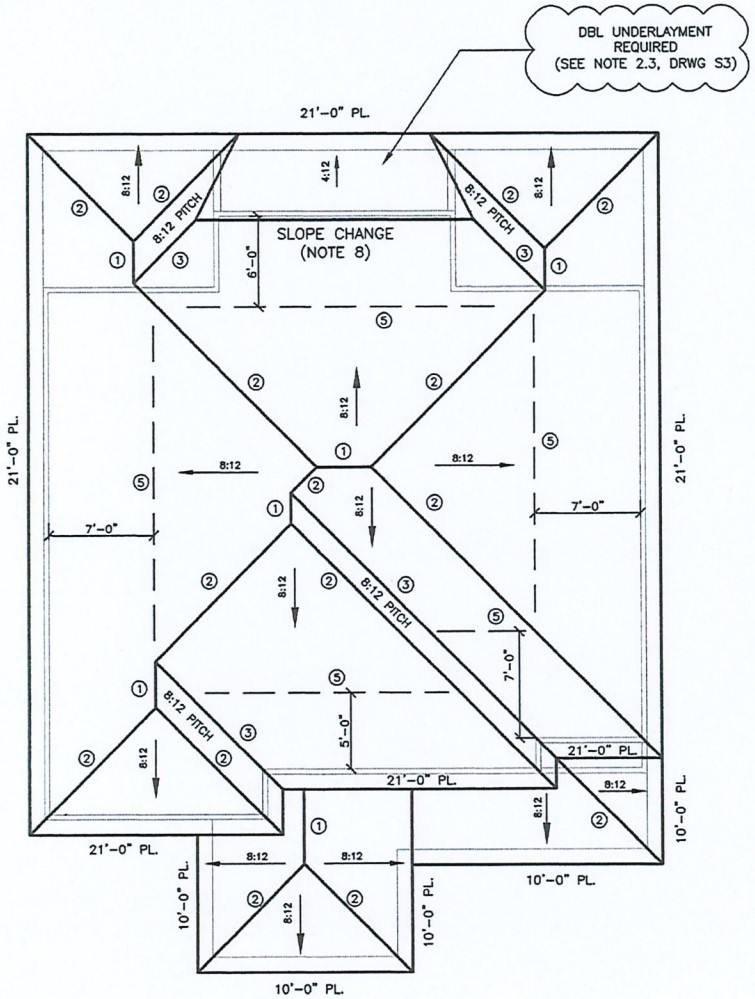

LEGEND:

1. RIDGE
2. HIP
3. VALLEY
4. CRICKET
5. PURLIN

NOTES: ROOF FRAMING PLAN

1. RAFTERS ARE 2 X 6 @ 16" O.C. #2 OR #3 SYP UNLESS NOTED.
2. PURLINS AND BRACING –SEE DETAIL 622030.
3. CONNECTORS–SEE DETAIL 622030.
4. CRICKETS TO BE APPLIED TO ROOF DECK AND CONNECTED TO FRAMING WITH 3/8" X 4" GALVANIZED LAG SCREWS WITH WASHER.
5. DOUBLE FRAMING AROUND CHIMNEYS, DORMERS, SKYLIGHTS, AND OTHER MAJOR ROOF OPENINGS.
6. OUTLOOKERS TO BE 2 X 4 @ 16" ON CENTER.
7. INSTALL 18" LONG COIL STRAPPING ACROSS TOP OF RAFTERS AT RIDGE IN INDICATED LOCATIONS.
8. LAP COV DECK (LOW SLOPE) RAFTERS TO SIDE OF MAIN HOUSE RAFTERS. ATTACH WITH MIN. (6) 10d COMMON (0.148" X 3" LONG) NAILS. PROVIDE LOAD BLOCKS AT ATTACHMENT LOCATION.

STATE OF TEXAS
MICHAEL WYNNE LEVERIDGE
64512
LICENSED
PROFESSIONAL ENGINEER
29 MAR 23

ROOF FRAMING PLAN

SCALE: 1/8" = 1' 0"

SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN

NOTE: THIS DESIGN MEETS THE REQUIREMENTS OF THE 2018 IRC (INTERNATIONAL RESIDENTIAL CODE), DESIGN WIND VELOCITY = 150 MPH (3 SEC GUSTS, USD), EXPOSURE D, RISK CATAGORY II.

JOB # 101-01827-076

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DATE: 03/28/23

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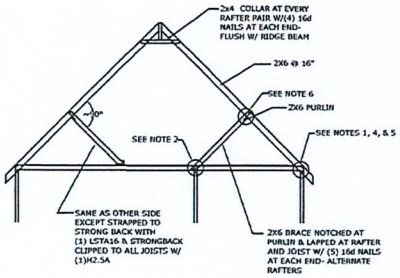
JOE TORNBERG RESIDENCE
8004 BLUEWATER HWY
FREEPORT, TEXAS

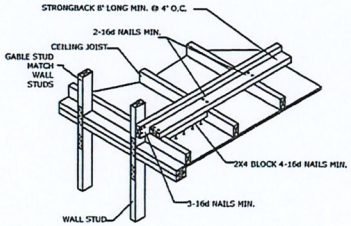
NOTE: USE DETAILS THAT APPLY TO A PARTICULAR PROJECT



NOTES:
1. (1) H2.5A CONNECTOR AT EACH RAFTER
2. (1) H2.5A CONNECTOR AT EACH BRACE ATTACHING JOIST TO WALL
3. MAXIMUM RAFTER SPAN W/O BRACE = 12'.
4. RAFTERS MUST REST UPON DOUBLE TOP PLATE OF WALL.
5. WALL MUST HAVE CONTINUOUS STUDS (NO PONY WALLS)
6. RAFTERS W/O BRACE TO BE CONNECTED TO PURLIN W/ H2.5A

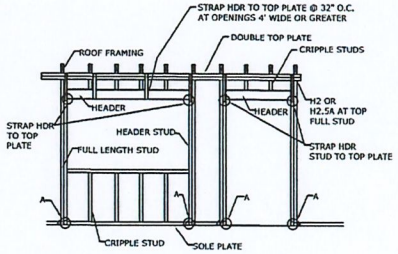
RAFTER BRACING
AND HOLD-DOWN SYSTEM
(2X6 RAFTERS @ 16"O.C.)

DETAIL 622030



GABLE ENDWALL FRAMING
JOISTS PARALLEL TO ENDWALL

DETAIL 624010

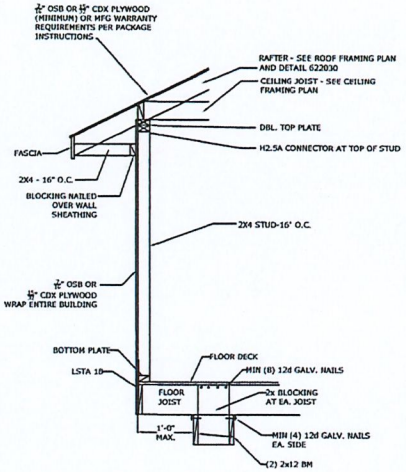


A = FULL STUD & HDR. STUD STRAPPED TO JOIST W/ LSTA18.

NOTES:
1. ALL EXT. STUDS TO HAVE LSTA18 STRAP AT BOTTOM TYING TO BAND JOIST.
2. ALL EXT. STUDS TO HAVE H2.5A AT TOP TYING TO 2 TOP PLATES.

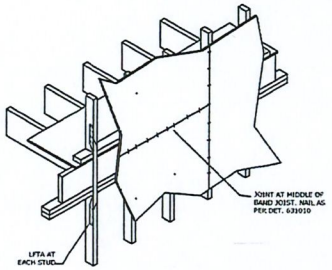
FRAMING AND CONNECTIONS FOR WALLS AND
OPENINGS FOR WOOD FOUNDATIONS

DETAIL 625111



TYPICAL EXTERIOR WALL

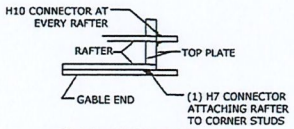
DETAIL 625114



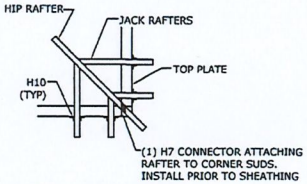
STUD CONNECTION AND
WALL SHEATHING APPLICATION FOR TWO
AND THREE STORY BUILDINGS

MULTI-STORY STUD WALL

DETAIL 625120



PLAN - GABLE END

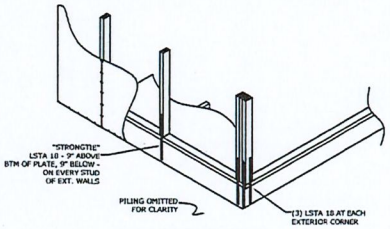


PLAN - HIP AT CORNER

NOTE: SIMILAR INSTALLATION AT VALLEYS

CORNER RAFTER TO PLATE CONNECTION
SEAWARD

DETAIL 625151



STUD HOLDOWN TO WOOD

DETAIL 625160

STATE OF TEXAS
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29 MAR 23

JOB # 101-01827-076

STRUCTURAL DETAILS
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REV: 0

DATE: 03/28/23

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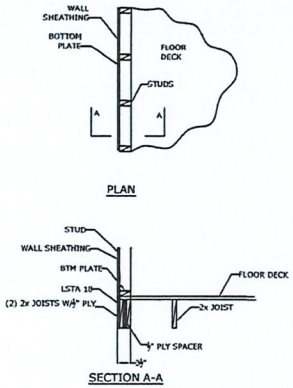
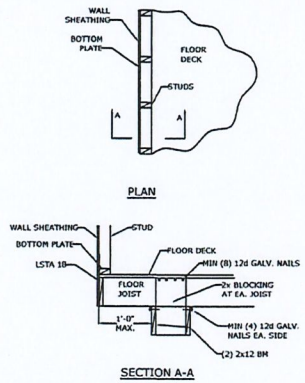
NOTE: USE DETAILS THAT APPLY TO A PARTICULAR PROJECT



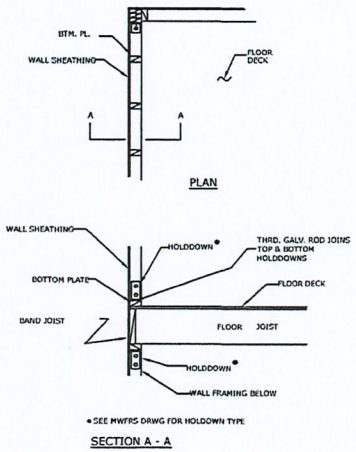
EXT. WALL PARALLEL TO JOISTS

DETAIL 625161



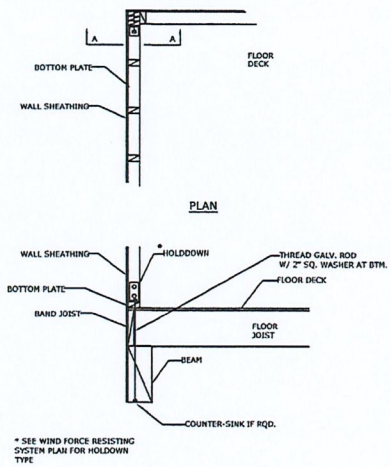
EXT. WALL PERPENDICULAR TO JOISTS

DETAIL 625162



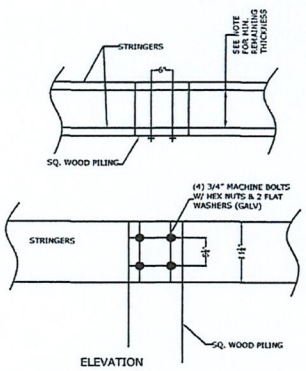
HOLDDOWN AT SECOND FLOOR CORNER

DETAIL 625210



HOLDDOWN AT SECOND FLOOR CORNER ON BEAM

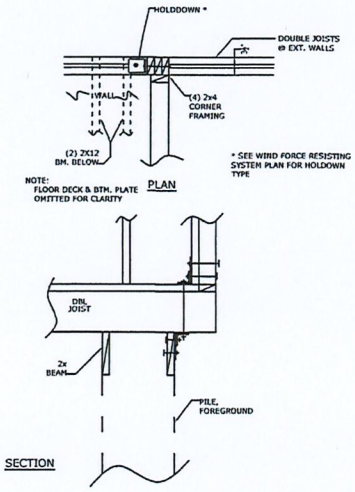
DETAIL 625211



NOTE: NOTCH PILING TO PROVIDE BEARING SUPPORT FOR STRINGER BEAMS LEAVING A MINIMUM REMAINING THICKNESS AS FOLLOWS:
10" PILING - MIN. REMAINING PILING THICKNESS = 5.5"
12" PILING - MIN. REMAINING PILING THICKNESS = 6.5"

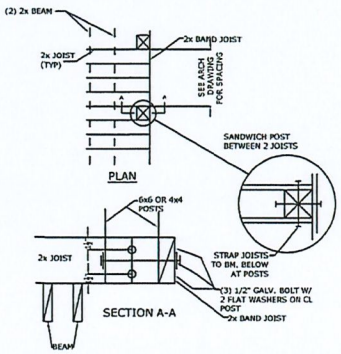
BEAM - PILE CONN.

DETAIL 625220



CORNER HOLDDOWN

DETAIL 625260



PORCH POST AND RAIL CONN. TO FLOOR JOISTS

DETAIL 625262

JOB # 101-01827-076

STRUCTURAL DETAILS
JOE TORNBERG
8004 BLUEWATER HWY.
FREEPORT , TEXAS

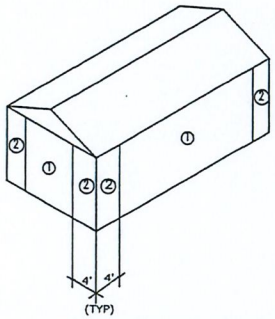
S6B

REV: 0

DATE: 03/28/23

Engineers of Brazosport, LLC
TBPE REG. NO. F-008007
122 West Way Street, Suite 401
Lake Jackson, Texas 77566
(979) 265-3383

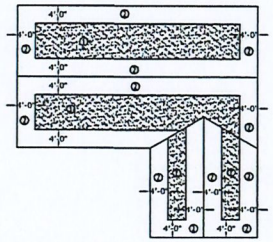
NOTE: USE DETAILS THAT APPLY TO A PARTICULAR PROJECT



1. SHEATHING FASTENED 3" O.C. AT EDGES, 6" O.C. ON CENTER STUDS W/8d COMMONS
2. SHEATHING FASTENED 3" O.C. AT EDGES, 6" O.C. ON CENTER STUDS W/8d COMMONS
3. 2x4 (FLAT) BLOCKING RQD AT HORIZONTAL SHEATHING JOINTS

WALL SHEATHING ATTACHMENT (SEAWARD)

DETAIL 631011

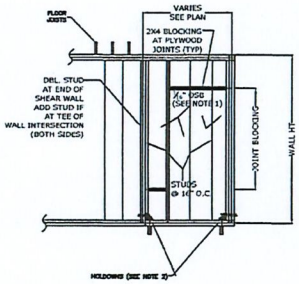


ZONE 1 : SHEATHING FASTENED 6" O.C. ALONG PANEL EDGES AND 12" O.C. ALONG INTERMEDIATE FRAMING

ZONE 2 : SHEATING FASTENED 4" O.C. ALONG PANEL EDGES AND 6" O.C. ALONG INTERMEDIATE FRAMING

ROOF SHEATHING ATTACHMENT

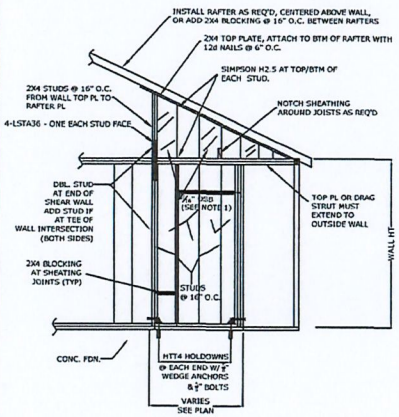
DETAIL 631012



NOTE:
1. NAIL OSB @ 3" AT EDGES, 6" IN FIELD.
2. SEE WIND FORCE RESISTING SYSTEM PLAN FOR HOLDOWN TYPE.
3. OPENINGS THROUGH SHEAR WALL ARE NOT PERMITTED EXCEPT AS SHOWN.
4. INSTALL PLATE BOLTS @ 32" O.C. PER DET. 625200.

INTERNAL SHEAR WALL DETAIL

DETAIL 633110



NOTE:
1. NAIL OSB @ 3" AT EDGES, 6" IN FIELD.
2. SHEATHING MUST BE CONTINUOUS ACROSS TOP PLATE, OR JOINT @ MIDDLE OF TOP PLATE.
3. OPENINGS THROUGH SHEAR WALL ARE NOT PERMITTED EXCEPT AS SHOWN.

INTERNAL SHEAR WALL DETAIL

DETAIL 633111

STATE OF TEXAS
MICHAEL WYNNE LEVERIDGE
64512
LICENSED
PROFESSIONAL ENGINEER

29 MAR 23

JOB # 101-01827-076

STRUCTURAL DETAILS
JOE TORNBERG
8004 BLUEWATER HWY.
FREEPORT , TEXAS

S6C

REV: 0

DATE: 03/28/23

Engineers of Brazosport, LLC
TBPE REG. NO. F-008007
122 West Way Street, Suite 401
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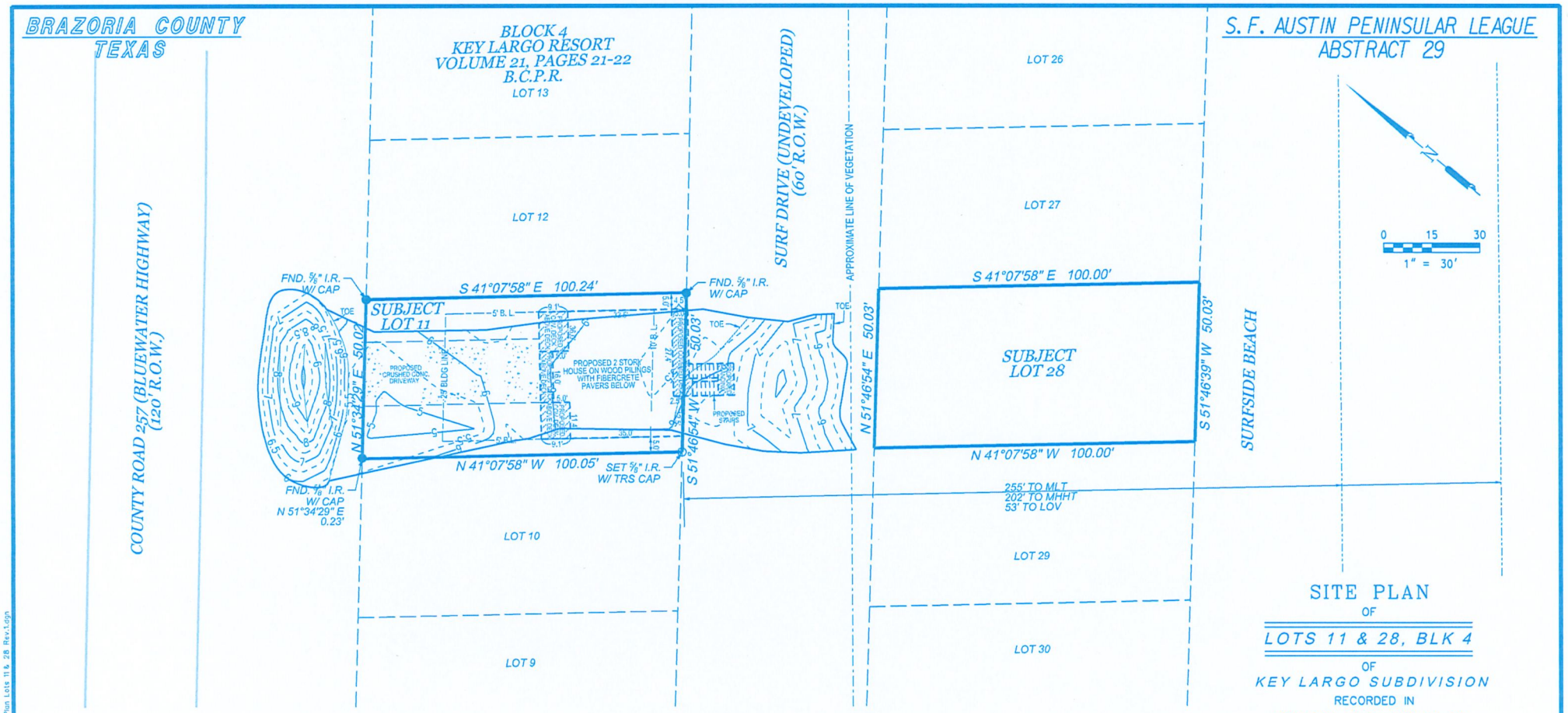
(979) 265-3383



SITE PLAN

OF

LOTS 11 & 28, BLK 4

OF

KEY LARGO SUBDIVISION

RECORDED IN

VOLUME 13, PAGES 21-22

OF THE

BRAZORIA COUNTY PLAT RECORDS

IN THE

S.F. AUSTIN PENINSULAR LEAGUE
ABSTRACT 29

OF

BRAZORIA COUNTY, TEXAS

FOR

JOE TORNBERG

BLUEWATER HIGHWAY (C.R. 257)

I, TERRY SINGLETARY, REGISTERED PROFESSIONAL LAND SURVEYOR DO HEREBY CERTIFY THAT THE ABOVE PLAT IS A TRUE REPRESENTATION OF A SURVEY MADE UNDER MY SUPERVISION, ON THE GROUND, AND THAT THERE ARE NO EXCESSES NOR INTRUSIONS ON THIS PROPERTY, EXCEPT AS SHOWN.
DATE SURVEYED: APRIL 3, 2023

STATE OF TEXAS
REGISTERED
TERRY SINGLETARY
4808
PROFESSIONAL
LAND SURVEYOR

Terry Singletary

TERRY SINGLETARY
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NUMBER 4808

NOTES:

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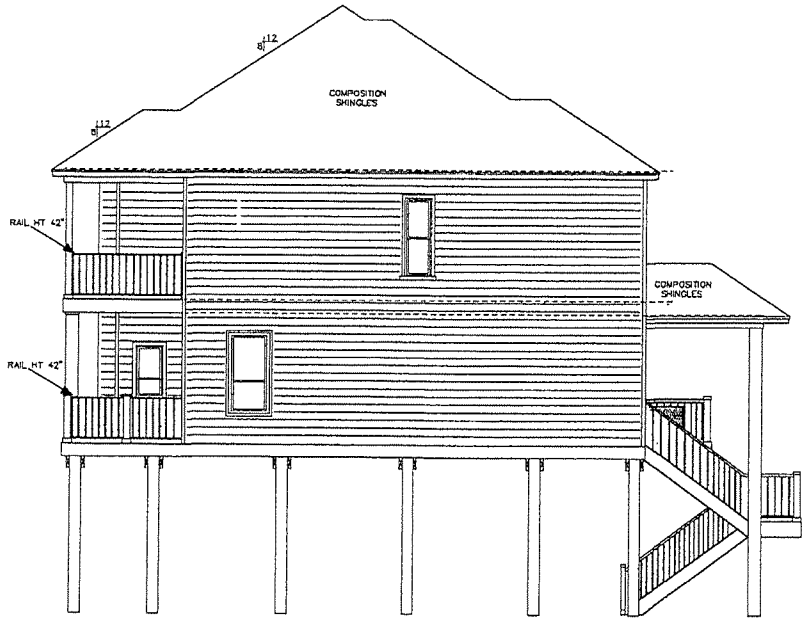
2. ALL DISTANCES ARE HORIZONTAL SURFACE LEVEL LENGTHS. (SF = 0.999877576)
3. THIS PROPERTY IS LOCATED WITHIN THE LIMITS OF ZONE "VE" PER FEMA FLOOD INSURANCE RATE MAP NUMBER 48039C0675K, DATED DECEMBER 30, 2020.
4. NO TITLE COMMITMENT WAS PROVIDED FOR THIS SURVEY, THERE MAY BE ITEMS OF RECORD WHICH AFFECT THIS PROPERTY, NOT SHOWN HEREON.
5. BUILDING LINES ARE RECORDED IN COUNTY CLERK'S FILE NO. 2001-048478 OF THE BRAZORIA COUNTY OFFICIAL RECORDS.
6. THERE IS AN INSTRUMENT REGARDING SUBDIVISION RESTRICTIONS RECORDED IN COUNTY CLERK'S FILE NO. 2017-024158 OF THE BRAZORIA COUNTY OFFICIAL RECORDS.

LEGEND

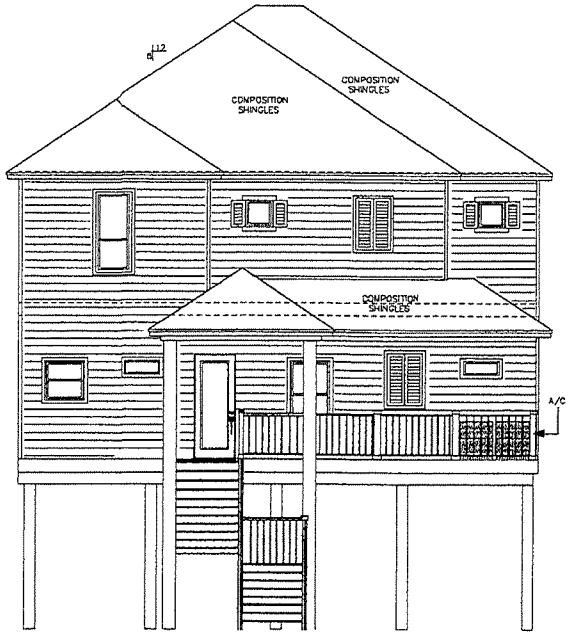
- ● FOUND IRON PIPE/ROD
- ○ SET 5/8" IRON ROD W/ TRS CAP
- BUILDING LINE
- LOT LINE
- PROPERTY LINE

Doyle & Wachtstetter, Inc.
Surveying and Mapping GPS/GIS
131 COMMERCE STREET, CLUTE, TEXAS 77531
OFFICE: 979.265.3622 FAX: 979.265.9940 FIRM NO.:10024500

SURVEYED:	AC/4-3-23	BOOK:	SURFSIDE VOL.	PROJ NO:	15354-23-02
DRAWN BY:	TRS-JMJ/4-17-23	CHECKED:	TRS/5-10-23	REVISED:	JMJ/5-10-23



LEFT



FRONT

Level One Designers

Randall Parks, Designer
832-452-8825
levelonedesigns@yahoo.com

note: While every attempt has been made to avoid mistakes in the preparation of these plans the designer can not guarantee against human error. The contractor must check all details and dimensions and be responsible for the same. Notify the owner before proceeding if any error is discovered and correction required.

It is not the responsibility for the designer to verify any lot dimensions, build lines or any other facet of the lot.

Client must approve all drawings prior to final payment. Final payment acknowledges acceptance of the plans.

NOTES:

BUILDER

SPEICH HOMES

Project Address:

Tornburg Res.

Date:
6-8-22

AREA CALCULATIONS

FIRST FLOOR:	1,407 SQ FT
COVERED DECK:	270 SQ FT
SECOND FLOOR:	1,530 SQ FT
COVERED DECK:	238 SQ FT
TOTAL LIVING AREA:	2,937 SQ FT

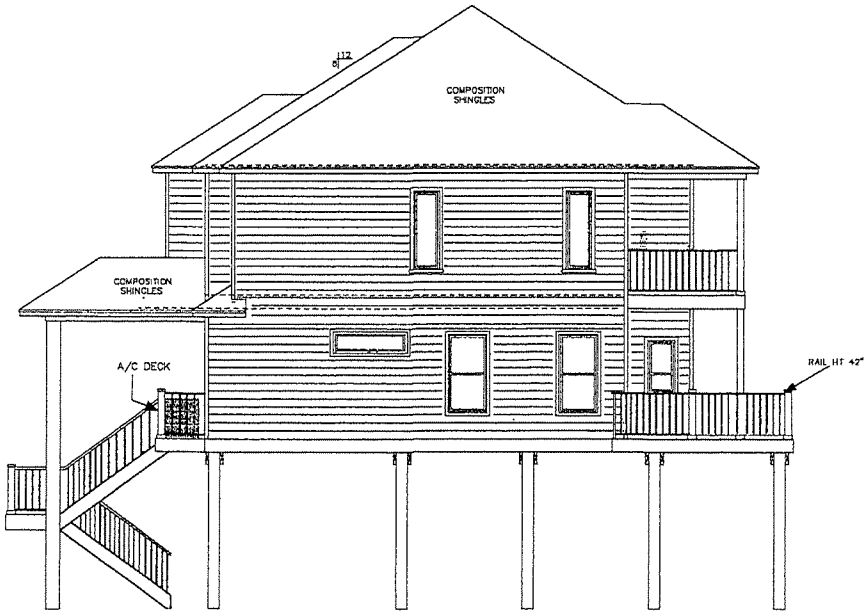
SCALE:
1/4"=1'-0"

SHEET NAME:

FRONT-LEFT ELEVATIONS

SHEET NUMBER

A-1



RIGHT

REAR

Level One Designers

Randall Parks, Designer
832-462-9902
levelone4designs@yahoo.com

note: While every attempt has been made to avoid mistakes in the preparation of these plans the designer can not guarantee against human error. The contractor must check all details and dimensions and be responsible for the same. Notify the owner before proceeding if any error is discovered and correction required.

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NOTES:

BUILDER

SPEICH HOMES

Project Address:

Tornburg Res.

Date:
5-6-22

AREA CALCULATIONS

FIRST FLOOR	1,409 SQ FT
COVERED DECK	378 SQ FT
SECOND FLOOR	1,030 SQ FT
COVERED DECK	230 SQ FT
TOTAL LIVING AREA	2,837 SQ FT

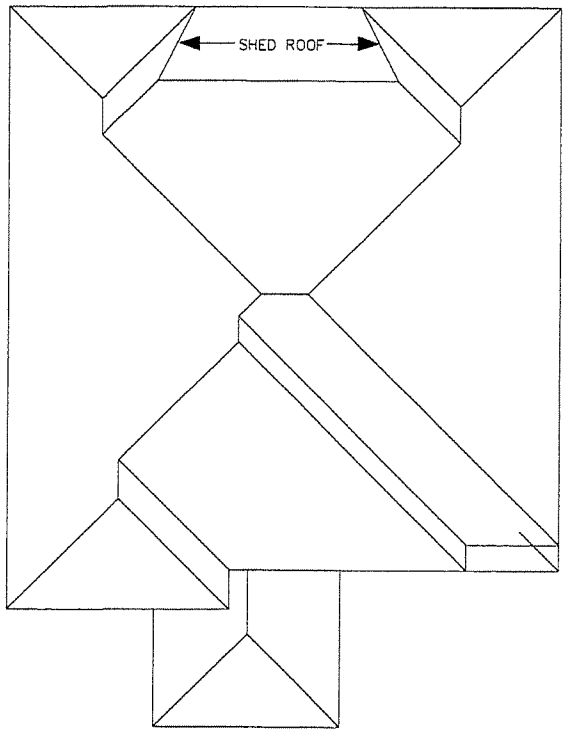
SCALE:
1/4"=1'-0"

SHEET NAME:

REAR-RIGHT ELEVATIONS

SHEET NUMBER

A-2



TYPICAL SOFFIT DEPTH 12"
TYPICAL ROOF PITCH 8:12
COMPOSITION SHINGLES

Level One Designers
Randall Parks, Designer
832-482-6902
levelonedesigns@yahoo.com

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It is not the responsibility for the designer to verify any lot dimensions, build lines or any other facet of the lot.

Client must approve all drawings prior to first payment. Final payment acknowledges acceptance of the plans.

NOTES:

BUILDER

SPEICH HOMES

Project Address:

Tornburg Res.

Date:
6-8-22

AREA CALCULATIONS

FIRST FLOOR:	1,407.52 FT
COVERED DECK:	270.90 FT
SECOND FLOOR:	1,108.38 FT
COVERED DECK:	292.30 FT
TOTAL LIVING AREA:	2,927.90 FT

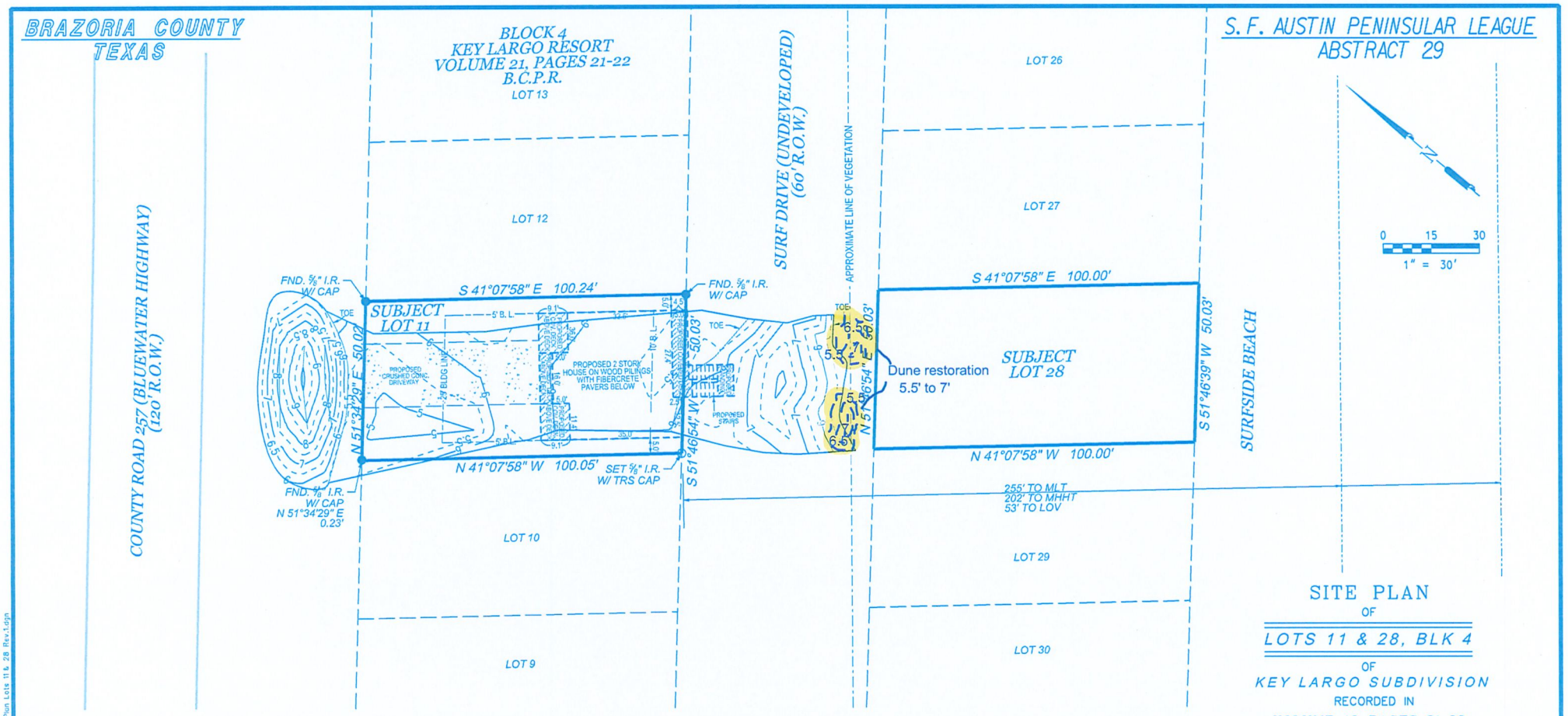
SCALE:
1/4"=1'-0"

SHEET NAME:

ROOF PLAN

SHEET NUMBER

A-5



SITE PLAN

OF

LOTS 11 & 28, BLK 4

OF

KEY LARGO SUBDIVISION

RECORDED IN

VOLUME 13, PAGES 21-22

OF THE

BRAZORIA COUNTY PLAT RECORDS

IN THE

S.F. AUSTIN PENINSULAR LEAGUE

ABSTRACT 29

OF

BRAZORIA COUNTY, TEXAS

FOR

JOE TORNBERG

BLUEWATER HIGHWAY (C.R. 257)

I, TERRY SINGLETARY, REGISTERED PROFESSIONAL LAND SURVEYOR DO HEREBY CERTIFY THAT THE ABOVE PLAT IS A TRUE REPRESENTATION OF A SURVEY MADE UNDER MY SUPERVISION, ON THE GROUND, AND THAT THERE ARE NO EXCESSES NOR INTRUSIONS ON THIS PROPERTY, EXCEPT AS SHOWN.
DATE SURVEYED: APRIL 3, 2023

STATE OF TEXAS REGISTERED TERRY SINGLETARY 4808 PROFESSIONAL LAND SURVEYOR

Terry Singletary

TERRY SINGLETARY
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NUMBER 4808

NOTES:

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2. ALL DISTANCES ARE HORIZONTAL SURFACE LEVEL LENGTHS. (SF = 0.999877576)
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6. THERE IS AN INSTRUMENT REGARDING SUBDIVISION RESTRICTIONS RECORDED IN COUNTY CLERK'S FILE NO. 2017-024158 OF THE BRAZORIA COUNTY OFFICIAL RECORDS.

LEGEND

- ● FOUND IRON PIPE/ROD
- ○ SET 5/8" IRON ROD W/ TRS CAP
- BUILDING LINE
- LOT LINE
- PROPERTY LINE

Doyle & Wachtstetter, Inc.
Surveying and Mapping GPS/GIS
131 COMMERCE STREET, CLUTE, TEXAS 77531
OFFICE: 979.265.3622 FAX: 979.265.9940 FIRM NO.:10024500

SURVEYED:	AC/4-3-23	BOOK:	SURFSIDE VOL.	PROJ NO:	15354-23-02
DRAWN BY:	TRS-JMJ/4-17-23	CHECKED:	TRS/5-10-23	REVISED:	JMJ/5-10-23

USER: Untitled Workspace
DATE: 5/11/2023 TIME: 11:21:39 AM
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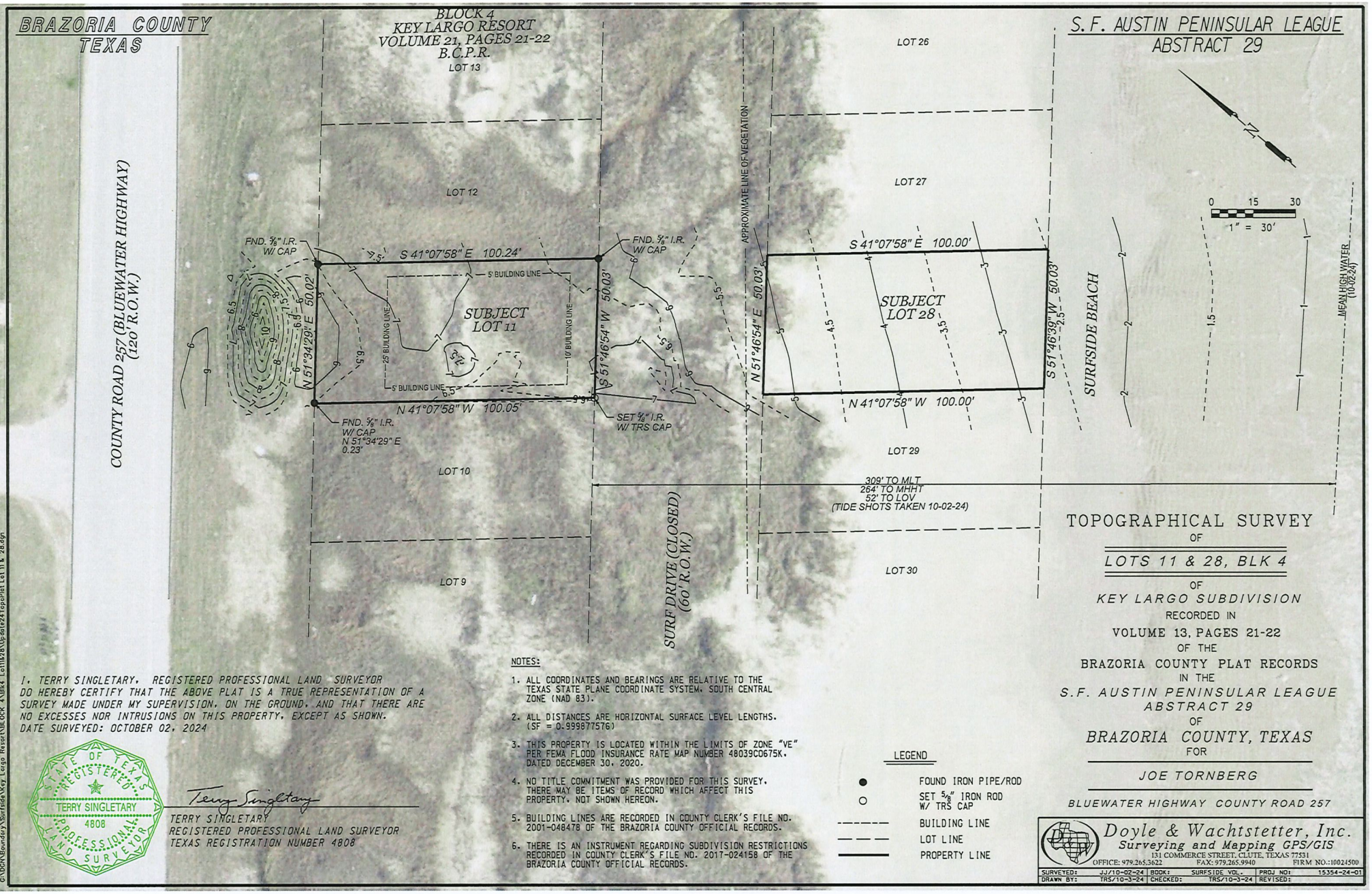

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DATE SURVEYED: OCTOBER 02, 2024

STATE OF TEXAS REGISTERED TERRY SINGLETARY 4808 PROFESSIONAL LAND SURVEYOR

Terry Singletary
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REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NUMBER 4808

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TOPOGRAPHICAL SURVEY

OF

LOTS 11 & 28, BLK 4

OF

KEY LARGO SUBDIVISION

RECORDED IN

VOLUME 13, PAGES 21-22

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S.F. AUSTIN PENINSULAR LEAGUE
ABSTRACT 29

OF

BRAZORIA COUNTY, TEXAS

FOR

JOE TORNBERG

BLUEWATER HIGHWAY COUNTY ROAD 257

Doyle & Wachtstetter, Inc.
Surveying and Mapping GPS/GIS
131 COMMERCE STREET, CLUTE, TEXAS 77531
OFFICE: 979.265.3622 FAX: 979.265.9940 FIRM NO.:10024500

SURVEYED:	JJ/10-02-24	BOOK:	SURFSIDE VOL.-	PROJ NO:	15354-24-01
DRAWN BY:	TRS/10-3-24	CHECKED:	TRS/10-3-24	REVISED:	

USER: Unlicd Workspace
DATE: 10/3/2024 2:04:26 PM
G:\DGN\Boundary\Surfside\Key Largo Resort\BLOCK 4\Blk4 Lot11&28\Update24TopoPlat Lot 11 & 28.dgn


Lot 11, South View
8000


Lot 11 West View
10/7/2024


Lot 11, beach view
10/7/2024

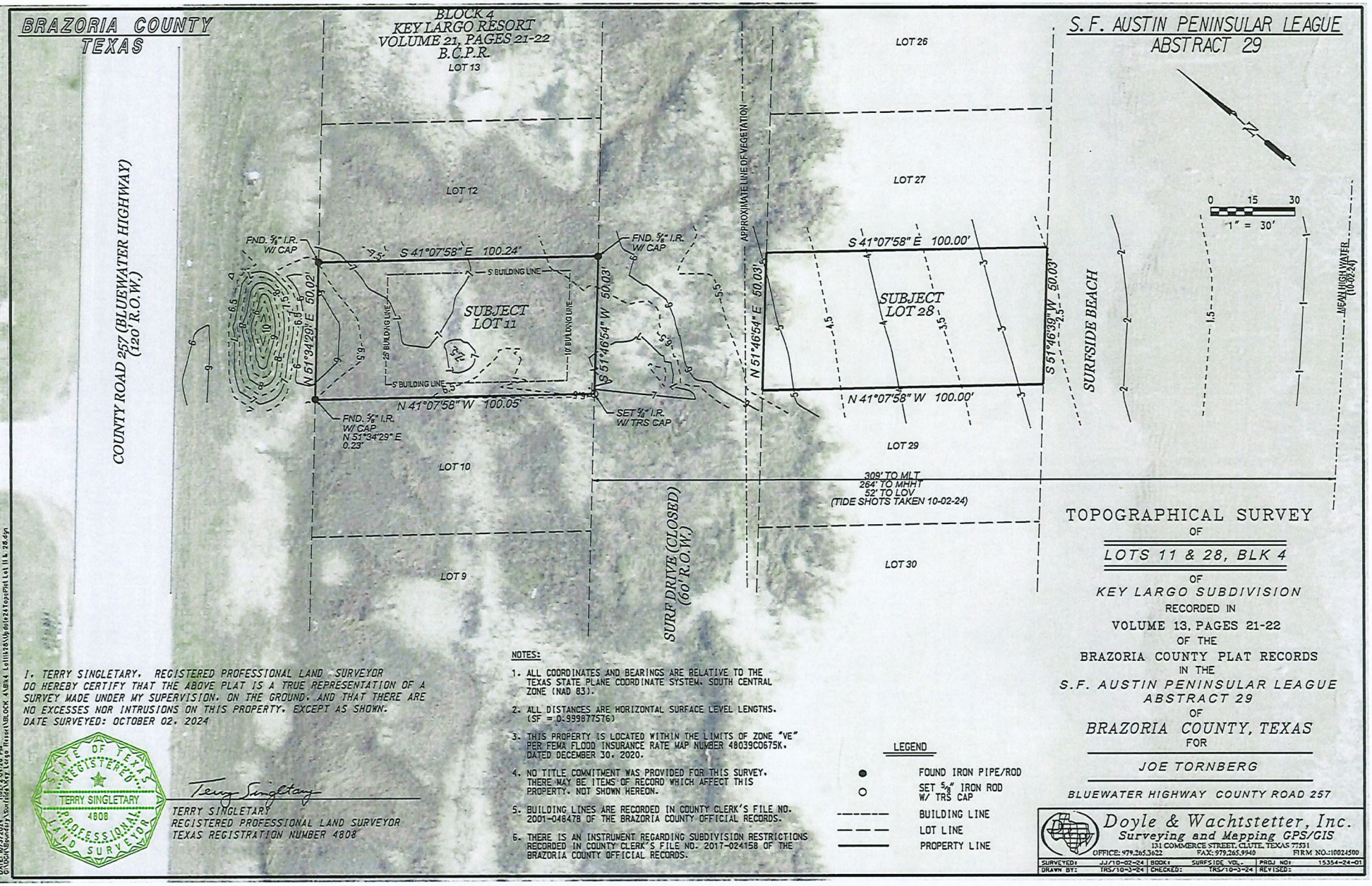

East vegitation view


west vegitation view

lot 11 North View
10/7/2024

lot 11 East View

10/7/2024



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DATE SURVEYED: OCTOBER 02, 2024

STATE OF TEXAS REGISTERED TERRY SINGLETARY 4808 PROFESSIONAL LAND SURVEYOR

Terry Singletary
TERRY SINGLETARY
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NUMBER 4808

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LEGEND

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- ○ SET 5/8" IRON ROD W/ TRS CAP
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TOPOGRAPHICAL SURVEY
OF
LOTS 11 & 28, BLK 4
OF
KEY LARGO SUBDIVISION
RECORDED IN
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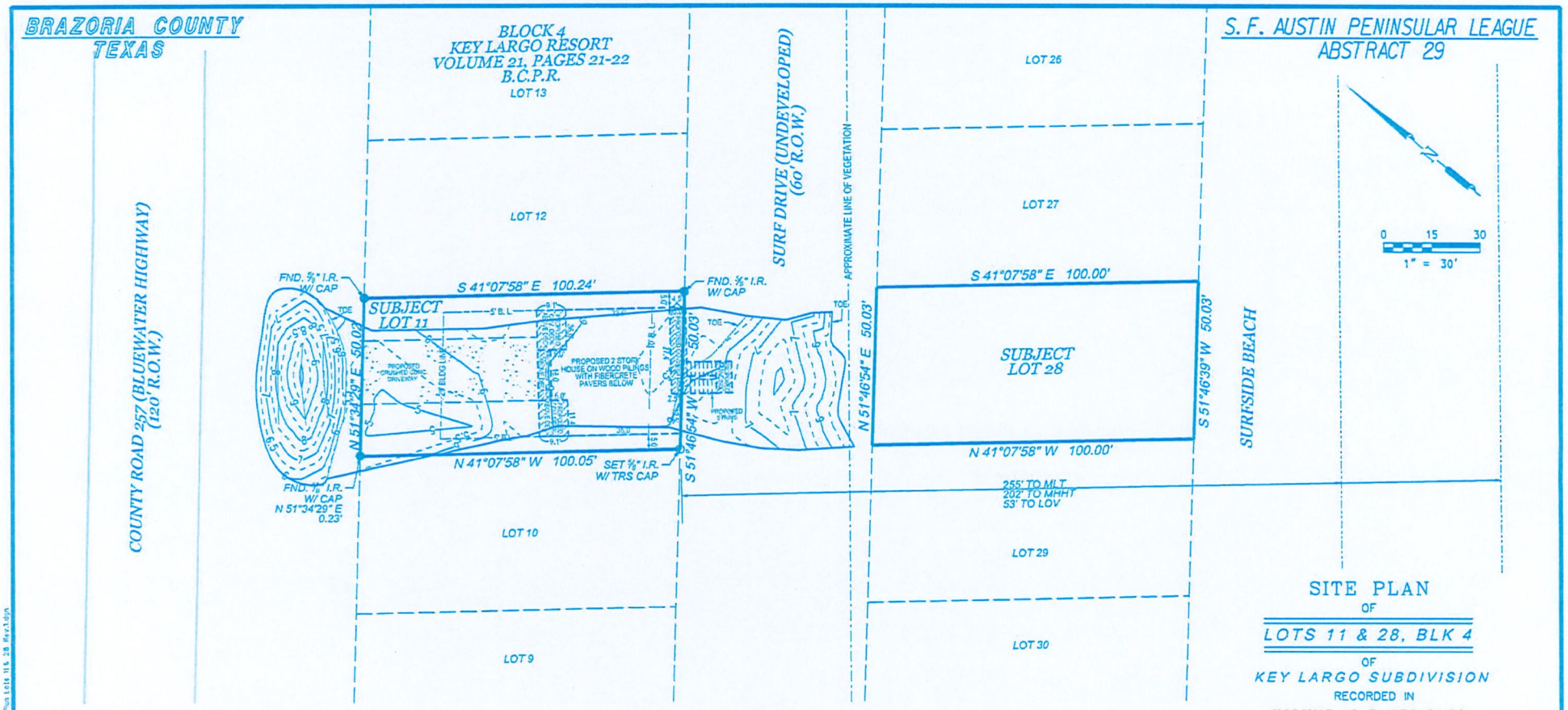
BLUEWATER HIGHWAY COUNTY ROAD 257

Doyle & Wachtstetter, Inc.
Surveying and Mapping GPS/GIS
131 COMMERCE STREET, CLUTE, TEXAS 77531
OFFICE: 979.265.3622 FAX: 979.265.9940 FIRM NO.:10024500

SURVEYED:	JJ/10-02-24	BOOK:	SURFSIDE VOL.	PROJ NO:	15354-24-01
DRAWN BY:	TRS/10-3-24	CHECKED:	TRS/10-3-24	REVISED:	



SITE PLAN

OF

LOTS 11 & 28, BLK 4

OF

KEY LARGO SUBDIVISION

RECORDED IN

VOLUME 13, PAGES 21-22

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BRAZORIA COUNTY PLAT RECORDS

IN THE

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ABSTRACT 29

OF

BRAZORIA COUNTY, TEXAS

FOR

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STATE OF TEXAS REGISTERED TERRY SINGLETARY 4808 PROFESSIONAL LAND SURVEYOR

Terry Singletary

TERRY SINGLETARY
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NUMBER 4808

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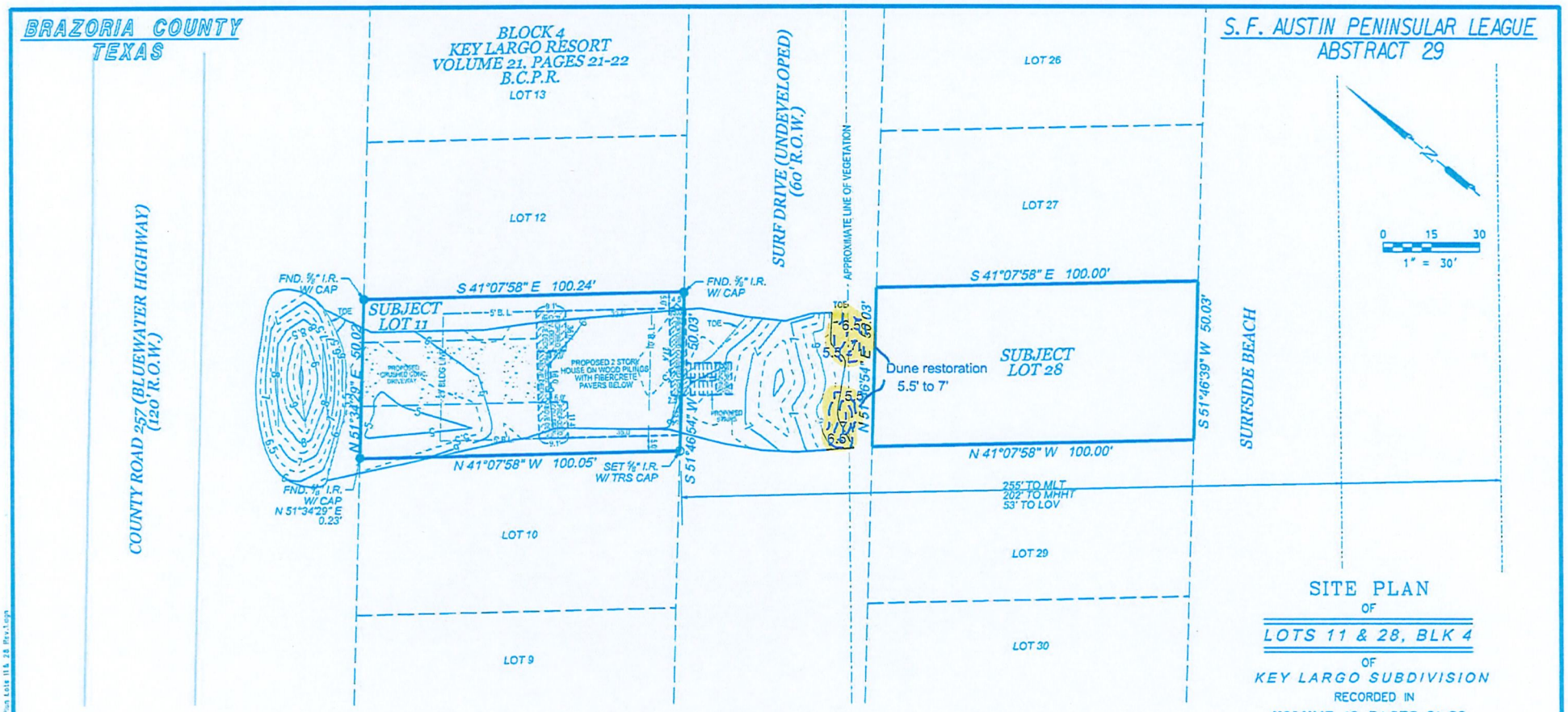
LEGEND

- ● FOUND IRON PIPE/ROD
- ○ SET 5/8" IRON ROD W/ TRS CAP
- BUILDING LINE
- LOT LINE
- PROPERTY LINE

Doyle & Wachtstetter, Inc.
Surveying and Mapping GPS/GIS
131 COMMERCE STREET, CLUTE, TEXAS 77531
OFFICE: 979.265.2602 FAX: 979.265.9940 FIRM NO: 10024500

SURVEYED:	4/3-23	BOOK:	SURFSIDE VOL.	PROJ NO:	19354-23-02		
DRAWN BY:	TRS-JMJ/4-11-23	CHECKED:	TRS/5-10-23	REVISED:	JMJ/5-10-23		

USER: JUSTIN W Wachtstetter
DATE: 5/11/2023 TIME: 10:31:39 AM
DWG: C:\Acad\Boundary\Surfside\Key Largo Resort\BLOCK 4\Blk4 Lot11&28\Site Plan Lots 11 & 28 Rev1.dgn



SITE PLAN

OF

LOTS 11 & 28, BLK 4

OF

KEY LARGO SUBDIVISION

RECORDED IN

VOLUME 13, PAGES 21-22

OF THE

BRAZORIA COUNTY PLAT RECORDS

IN THE

S.F. AUSTIN PENINSULAR LEAGUE

ABSTRACT 29

OF

BRAZORIA COUNTY, TEXAS

FOR

JOE TORNBERG

BLUEWATER HIGHWAY (C.R. 257)

I, TERRY SINGLETARY, REGISTERED PROFESSIONAL LAND SURVEYOR DO HEREBY CERTIFY THAT THE ABOVE PLAT IS A TRUE REPRESENTATION OF A SURVEY MADE UNDER MY SUPERVISION, ON THE GROUND, AND THAT THERE ARE NO EXCESSES NOR INTRUSIONS ON THIS PROPERTY, EXCEPT AS SHOWN.
DATE SURVEYED: APRIL 3, 2023

STATE OF TEXAS REGISTERED TERRY SINGLETARY 4808 PROFESSIONAL LAND SURVEYOR

Terry Singletary

TERRY SINGLETARY
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NUMBER 4808

NOTES:

1. ALL COORDINATES AND BEARINGS ARE RELATIVE TO THE TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH CENTRAL ZONE (NAD 83).
2. ALL DISTANCES ARE HORIZONTAL SURFACE LEVEL LENGTHS. (SF = 0.999877576)
3. THIS PROPERTY IS LOCATED WITHIN THE LIMITS OF ZONE "VE" PER FEMA FLOOD INSURANCE RATE MAP NUMBER 48039C0675K, DATED DECEMBER 30, 2020.
4. NO TITLE COMMITMENT WAS PROVIDED FOR THIS SURVEY. THERE MAY BE ITEMS OF RECORD WHICH AFFECT THIS PROPERTY, NOT SHOWN HEREON.
5. BUILDING LINES ARE RECORDED IN COUNTY CLERK'S FILE NO. 2001-048478 OF THE BRAZORIA COUNTY OFFICIAL RECORDS.
6. THERE IS AN INSTRUMENT REGARDING SUBDIVISION RESTRICTIONS RECORDED IN COUNTY CLERK'S FILE NO. 2017-024158 OF THE BRAZORIA COUNTY OFFICIAL RECORDS.

LEGEND

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Surveying and Mapping GPS/GIS
131 COMMERCE STREET, CLUTE, TEXAS 77531
OFFICE: 979.265.3622 FAX: 979.265.9940 FIRM NO.: 10021500

SURVEYED:	AC/4-3-23	BOOK:	SURFSIDE VOL.	PROJ NO:	15354-23-02
DRAWN BY:	TRS-JMJ/4-17-23	CHECKED:	TRS/5-10-23	REVISED:	JMJ/5-10-23

USER: Dylan Blackburn
DATE: 5/17/2023 2:06:31:39 AM
C:\DGN\Boundary\Surfside\Key Largo Resort\BLOCK 4\Blk4 Lots\28\Site Plan Lots 11 & 28 Rev.dgn

BRAZORIA COUNTY

NOTICE OF RESIDENTIAL CONSTRUCTION INSPECTION COMPLIANCE IN UNINCORPORATED AREA

Received

2024-68
Related OSSF Application #

(TO BE SUBMITTED BY BUILDER)

Permit #

100
IRC #

BUILDERS NAME: Speich Custom Homes, L.L.C.

PROJECT INFORMATION

TYPE OF CONSTRUCTION: (Check One)

1) New Residential Construction on a vacant lot [✓]

2) Addition to an Existing Residential Unit [ ]

NOTE: *If a property lies in an ETJ it is required to contact the city hall for appropriate building codes.*

LOCATION:

Address 8004 Blue Water Hwy

Lot and Block # 11 | 4 Subdivision Keylargo

or

Survey _____ Tract/Acreage _____

or

Deed Reference _____ Property ID (MCAD)# 219756

RESIDENTIAL CODE USED IN CONSTRUCTION:

1) INTERNATIONAL RESIDENTIAL CODE – published 2021 (date) [X]