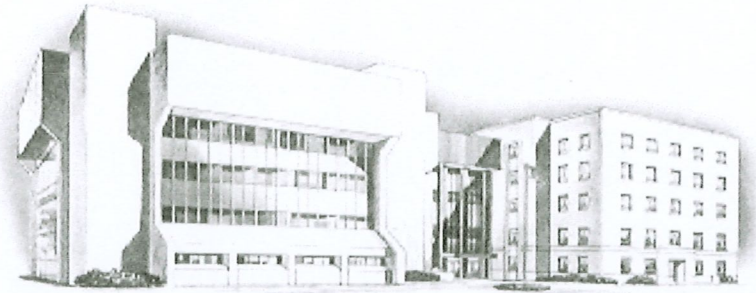


JOE K. RIPPLE
FLOODPLAIN ADMINISTRATOR, CFM
SOFIA GARCIA GIBSON
FLOODPLAIN / BUILDING PERMITS
OFFICE ASSISTANT SR.
BELINDA HOWELL
FLOODPLAIN / BUILDING PERMITS
PERMIT TECHNICIAN
VICKIE THOMAS
FLOODPLAIN/BUILDING PERMITS
FLOODPLAIN CONSULTANT



PHONE:
(979) 864-1295
(979) 388-1295
(281) 756-1295

BRAZORIA COUNTY

451 North Velasco, Suite #210
Angleton, Texas, 77515

June 24, 2024

Mei Ling Valdes
Planning, Permitting & Technical Services
Coastal Resources Division
Texas General Land Office
P.O. Box 12873
Austin, TX 78711-2873

Re: Beach front construction application for 5150 Bluewater Hwy (CR 257) Freeport, TX

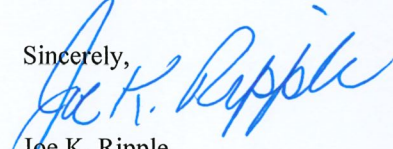
Dear Ms. Valdes,

This application is for a residential structure with 3329 Square feet of living area with (5) bedrooms and (4.5) baths built upon pilings certified by a professional engineer.

After construction a final elevation certificate will be turned into this office to show compliance with County and FEMA elevation requirements.

This beachfront construction application does not include a walkover and it complies with and promotes Brazoria County's beach access policies and requirements, particularly the dune protection and beach access policies relation to public beach ingress/egress, off beach parking and avoidance of reduction in the size of the public beach due to erosion.

Sincerely,


Joe K. Ripple
Floodplain Department

Enclosures



TEXAS GENERAL LAND OFFICE
COMMISSIONER DAWN BUCKINGHAM, M.D.

October 4, 2024

Via Electronic Mail

Joe Ripple, CFM
Floodplain Administrator
Brazoria County
451 N Velasco, Suite #210
Angleton, Texas 77515

Beachfront Construction Certificate and Dune Protection Permit in Brazoria County

Site Address: 5150 Bluewater Hwy (CR 257), Freeport
Legal Description: Seahorse Estates (A0029 S F Austin) Lot 13
Lot Applicant: Speich Custom Homes c/o Seahorse Beach Club
GLO ID No.: BDBC-24-0130a

Dear Mr. Ripple:

The General Land Office (GLO) has reviewed the application materials for a beachfront construction certificate and dune protection permit for the above-referenced location. The applicant proposes to construct a single-family residence with concrete paving beneath the habitable structure, a concrete driveway, and a septic system. The proposed construction is located more than 200 feet landward of the line of vegetation. According to the Bureau of Economic Geology, the area is stable.

Based on the materials forwarded to our office for review, we have the following comments:

- Paving or altering the ground below the lowest habitable floor in the area between the line of vegetation and 25 feet landward of the north toe of the dune is not proposed in this application and is prohibited.¹
- The County must ensure the proposed construction is located as far landward as is practicable.² It appears the proposed driveway could be reduced, allowing the structure to be located farther landward.
- The applicant proposes to construct the habitable structure seaward of the Building Setback Line, which is prohibited without an exemption from Brazoria County.³ To qualify for an exemption, the applicant must demonstrate to the satisfaction of the County that no practicable alternatives to construction seaward of the Building Setback Line exist.⁴

¹ Brazoria County Dune Protection and Beach Access Plan § 3(II)(I).

² 31 Tex. Admin. Code § 15.6(b).

³ Brazoria County Erosion Response Plan § 5.

⁴ Brazoria County Erosion Response Plan § 5.1.

Mr. Ripple
October 4, 2024
Page 2 of 2

- Cisterns, septic tanks, and septic fields are prohibited from being constructed seaward of any structure serviced by the cisterns, septic tanks, and septic fields.⁵ As proposed, the septic system appears to comply with this requirement.
- The County must limit the area of enclosures below BFE to 299 square feet.⁶
- The County must ensure the proposed construction is consistent with the FEMA-approved county commissioners court order.⁷

Any deviations from what is proposed in this permit application requires a new or amended beachfront construction certificate and dune protection permit and further GLO review. If you have any questions, please contact me at (512) 463-5720 or at meiling.valdes@glo.texas.gov.

Sincerely,



Mei Ling Valdes
Beach Access & Dune Protection Program
Coastal Resources Division
Texas General Land Office

cc: Vickie Thomas, Brazoria County

⁵ Brazoria County Dune Protection and Beach Access Plan § 3(II)(K) & 31 Tex. Admin. Code § 15.4(c)(10).

⁶ Brazoria County Erosion Response Plan § 5.3.

⁷ 31 Tex. Admin. Code § 15.6(e)(3).

**BRAZORIA COUNTY
DEVELOPMENT/BUILDING PERMIT APPLICATION**

Angleton 979-864-1295

451 North Velasco, Suite 210, Angleton, TX 77515

Houston/Alvin 281-756-1295

OWNERSHIP INFORMATION:

Name: Seahorse Beach Club, LLC Phone: 832-687-5152

Current/Mailing Address: 5135 Bluewater, Freeport TX 77541
Street or PO Box City/State Zip

Building Contractors Information: Spaich Custom Homes Address: 20235 Edin Pkwy, 77388 Phone: 281-794-5662

LOCATION OF CONSTRUCTION:

Subdivision: <u>Seahorse Estates</u>		SITE ADDRESS (Where Structure Will Be Placed or Constructed)			
Street Address: <u>5130 Mount Holly</u>		City (required): <u>Freeport</u>			
Section:	Block:	Lot:	Abstract No.:	Acreage:	PID #:
<u>N/A</u>	<u>1</u>	<u>13</u>	<u>29</u>	<u>.95</u>	<u>575555</u>

TYPE OF IMPROVEMENT Check Appropriate Box(es)	PROPOSED USE Fill Out and Check Any That Apply to Your Application	OWNERSHIP Check Appropriate Box(es) Fill Out Cost & Sq. Ft.	TYPE OF WATER SUPPLY Check Appropriate Box	TYPE OF SEWAGE DISPOSAL Check Appropriate Box(es)
<input checked="" type="checkbox"/> New Building <input type="checkbox"/> Addition to Building <input type="checkbox"/> Manufactured Home <input type="checkbox"/> Mobile Home <input type="checkbox"/> Residential RV <input type="checkbox"/> Levee Construction <input type="checkbox"/> Relocated Building - <input type="checkbox"/> <i>Came from Outside County</i> <input type="checkbox"/> Mobile Home Park or RV Park # of Spaces _____	<input checked="" type="checkbox"/> Residential Number of Bedrooms: <u>5</u> Number of Bathrooms: <u>4</u> Full <u>4</u> Partial <u>1</u> <input checked="" type="checkbox"/> One Family <input type="checkbox"/> Multi Family - # of Units: _____ <input type="checkbox"/> Non Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Other: _____ (Type of Building)	<input checked="" type="checkbox"/> Private (Individual, Corp, Non Profit) <input type="checkbox"/> Public (Federal, State, etc...) Cost: \$ <u>800,000</u> Floor Area Sq. Ft. (including garage): <u>3329</u> sq. ft.	<input checked="" type="checkbox"/> Public/Private Company <input type="checkbox"/> Individual (Water Well)	<input type="checkbox"/> Public/Private Company <input checked="" type="checkbox"/> Individual (Septic) Copy of Environmental Health Permit attached: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No #: <u>2024-223</u>

Fee: Application fee of \$75.00 for Residential permits. If the property lies within the Special Flood Hazard Area of the County, an additional fee of \$0.04 per square foot for Inspection fees will be charged. A natural ground elevation certificate and copy of floor plan are also required for Flood Zone areas. Any application for property of less than ten (10) acres shall obtain an Environmental Permit approval before a County building permit will be issued. UNLESS otherwise specified. MAKE CHECKS PAYABLE TO TREASURER OF BRAZORIA COUNTY - NO REFUNDS.

ALL COMMERCIAL BUILDINGS will require approvals from the local Drainage District, Environmental Health and a Fire Code permit by the County Emergency Management Coordinator. Special flood hazard areas require additional documents. All commercial construction in Pearland's ETJ is required to contact Pearland City Hall. Fees Vary According To Type of Business.

ANY construction located on a proposed County and/or Municipal Thoroughfare in Pearland's ETJ is required to contact Pearland City Hall

Signature: [Signature] Date: 6-24-24

DO NOT WRITE BELOW THIS LINE

Approved By: <u>Vukie Shuman</u>	Highest Natural Ground is <u>4.0</u> ft. Certified By: <u>Terry Singletary</u> RPLS # <u>4808</u> on <u>11/8/23</u>	Permit Fee \$ <u>75</u>	Inspection Fee \$ <u>133.14</u>	Date Of Permit	Permit Number
Electric <u>CP</u>	Mailbox Ltr <u>Yes</u>	Setback Ltr <u>40</u>	Thoroughfare <u>Major</u>	Total Fee: \$ <u>208.14</u>	Check # <u>4709</u>
ETJ <u>No</u>	Inspection Ltr <u>Yes</u>	Ack Ltr <u>No</u>	Mobile Home Information <u>No</u>	FEMA Zone: <u>AF</u> <u>142</u> Elevation: <u>10</u> MSL	Panel No.: <u>67514</u>
				Map Date: <u>12/30/20</u>	Receipt No. <u>19836</u>
					Class <u>B</u>

Special Provisions: _____

Mail Email To: pspaich@comcast.net Pick Up



Brazoria County Floodplain Receipt

(979) 864-1295

(281) 756-1295

111 East Locust Bldg. A-29
Angleton, Texas 77515

Floodplain Administrator

Receipt No 00019836 Receipt Date 6/24/2024 Receipt Time 02:04:39 PM
NO REFUND(S)

Received From: SPEICH CUSTOM HOMES LLC

Trans Type: RPR75 Permit Fee - NC - Residential, Mobile Homes and Barns HUD / County Exempt: N
Misc. Descr: Qty: 1 Price: \$75.00

Permit No: Square Footage: 0 Amount Sq. Ft \$0.00

Contractor:

Owner:

Amount Owed: \$75.00

Trans Type: SQFTG Square Footage HUD / County Exempt: N
Misc. Descr: Qty: 1 Price: \$0.04

Permit No: Square Footage: 0 Amount Sq. Ft \$0.00

Contractor:

Owner:

Amount Owed: \$133.16

Comments: 5150 BLUEWATER HWY FREEPORT CK #4709

Payment Information

Payment Type: CHK Check# / MO#: 4709 Pay Amount: \$208.16

Payment Type: Check# / MO#: Pay Amount: \$0.00

Office Use Only Posted: N

Total Amount Received: \$208.16

Rec. By: 14554

Void: N Void By

Void Date:

Void Reason: Void Time:

STATEMENT OF COMMISSIONER'S COURT
OF BRAZORIA COURT
TO CONFORM TO REQUIREMENTS OF
CLASS "B" BUILDING PERMIT

STATE OF TEXAS

COUNTY OF BRAZORIA

The undersigned holder of **Development Permit No.** _____ (whether acting individually or through a duly authorized agent or attorney) does hereby certify to Commissioners' Court of Brazoria County, Texas as follows.

The undersigned permittee:

1. Accepted **Development Permit No.** _____.
2. Is familiar with all plans, specifications and other written material attached to or filed with the **Development Permit Application** on file with the County Floodplain Administrator.
3. Acknowledges that the plans, specifications and other written material filed with **Development Permit Application** is incorporated by reference and made part of this Certificate for purposes.
4. Acknowledges self (itself) to be strictly bound to Commissioners' Court to construct the work permitted under the above described building permit in strict conformity with the plans, specifications and other written material incorporated by reference of this Certificated.
5. Hereby binds himself to establish the required construction elevation to a National Geodetic Survey Marker and have same certified by Texas Registered Surveyor (or agreeable alternate). **The original Finished Construction Elevation certificate with registered surveyor's stamp, signature, date and pictures shall be forwarded to the County Floodplain Administrator's office verifying top of bottom floor reading upon completion of the structure. It must indicate that it is the "Finished Construction" certificate showing (a) top of bottom floor reading and (e) lowest elevation of machinery or equipment in Section C of the certificate.**

If the Finished Construction Elevation Certificate is not received, your building permit will be put in violation in the Brazoria County Floodplain Administrator's office.

6. Is required to notify the County Floodplain Administrator when construction progresses to the point necessary for the foundation inspection (after certification) and later for the electrical/plumbing to verify the electrical and plumbing facility are above the base flood.
7. Shall not have a valid permit until this agreed upon and signed original document is on file and in possession of the County Floodplain Administrator.
8. If at anytime an Engineering Study was required and the data submitted is found to be inaccurate, **Brazoria County or the County Floodplain Administrator** cannot be held liable. The responsibility shall fall back on the property owner and/or Engineering Firm submitting the information.
9. Any structure that is used for commercial or a public facility must adhere to the International Fire Codes. Contact the Emergency Management Coordinator of Brazoria County for inspections required.

Applicant/Permittee Signature

RECEIVED
 FEB 12 2024
 ENVIRONMENTAL
 HEALTH DEPT.

ON-SITE SEWAGE FACILITY PERMIT APPLICATION
BRAZORIA COUNTY ENVIRONMENTAL HEALTH DEPT
 111 East Locust Bldg A-29, Suite 270 ANGLETON, TX 77515
 HOUSTON (281)756-1600 ANGLETON (979)864-1600 CLUTE (979)388-1600

2024-223
 Permit Number
 \$250 Single Family
 \$450 All Others
 New
 Replacement
 Alteration
 Type Drip w/ emitter
 BCEHD USE ONLY

This application will expire one year from the application date if inspection not complete. No refunds once permit is issued.
 Attach Copy of Legal Description (i.e. Deed, Plat, Survey, Appraisal)

PROPERTY OWNER Seahorse Beach Club, L.L.C. John Hartman
 (NAME ON DEED) (LAST) (FIRST) (INT)
 PHONE NUMBERS 832-687-5156 EMAIL JOHN@SeahorseTX.com

MAILING ADDRESS 5134 Bluewater Highway, Freeport, TX 77541
CR 257

SITE ADDRESS 5150 Bluewater Hwy, Freeport, Texas 77541 Acres _____

WATER SOURCE Private Public Seahorse Estates (Name) Water Saving Devices: Yes No

SINGLE FAMILY RESIDENCE: # of Bedrooms 5 Living Area(Sq Ft) < 4500 Daily Wastewater Usage Rate 360

COMMERCIAL/MULTI FAMILY: Type _____ # of Employees/Units _____ Days/Wk Occupied _____

DESIGNER Garry Gana, R.S. Reg# RS 3207 Phone# 281-235-4201

SITE EVALUATOR Garry Gana, R.S. Reg# OS10343 Phone# 281-235-4201

INSTALLER Tony's Septic Reg# 21347 Phone# 979-299-0750

MAINTENANCE PROVIDER Tony's Trenching Reg# 758 Phone# 979-299-0750

TREATMENT TANK(S):

Tank	# of Compartments	Size	Manufacturer	Model
#1	<u>4</u>	<u>600 gpd</u>	<u>ProFlow or Equal</u>	<u>600 SLPT</u>
#2	_____	_____	_____	_____
#3	_____	_____	_____	_____
#4	_____	_____	_____	_____

DISPOSAL TYPE (check one):
 Standard Gravelless Leaching Chamber Low Pressure Dosing Surface Irrigation Drip Emitter
 Disposal Area 1280 sq ft Disposal Length 640 lin feet Trench Depth 6"-12" Trench width _____

I certify that the above statements are true and correct to the best of my knowledge. Authorization is hereby given to the Authorized Agent to enter upon the above described property for the purpose of lot evaluation and inspection of the OSSF. I also acknowledge that inspection of the OSSF is required prior to all components being covered and use of the system.

Signature of Owner (Name on Deed) [Signature] Date 1-19-24

DEPARTMENT USE ONLY BELOW THIS LINE

APPLICATION: APPROVAL DISAPPROVAL DATE 5-23-24 INSPECTOR [Signature] LIC# 33419

Well Log or Plugging Reports Required? Yes No Recorded Plat Required? Yes No Flood Zone Yes No

Brazoria County Appraisal ID # 575555 ETJ _____ Flood Plain Info: New Construction Upgrade

Legal Description: SUB Seahorse Estates Ab. 29 Sec. _____ Block _____ Lot 13 Precinct 1

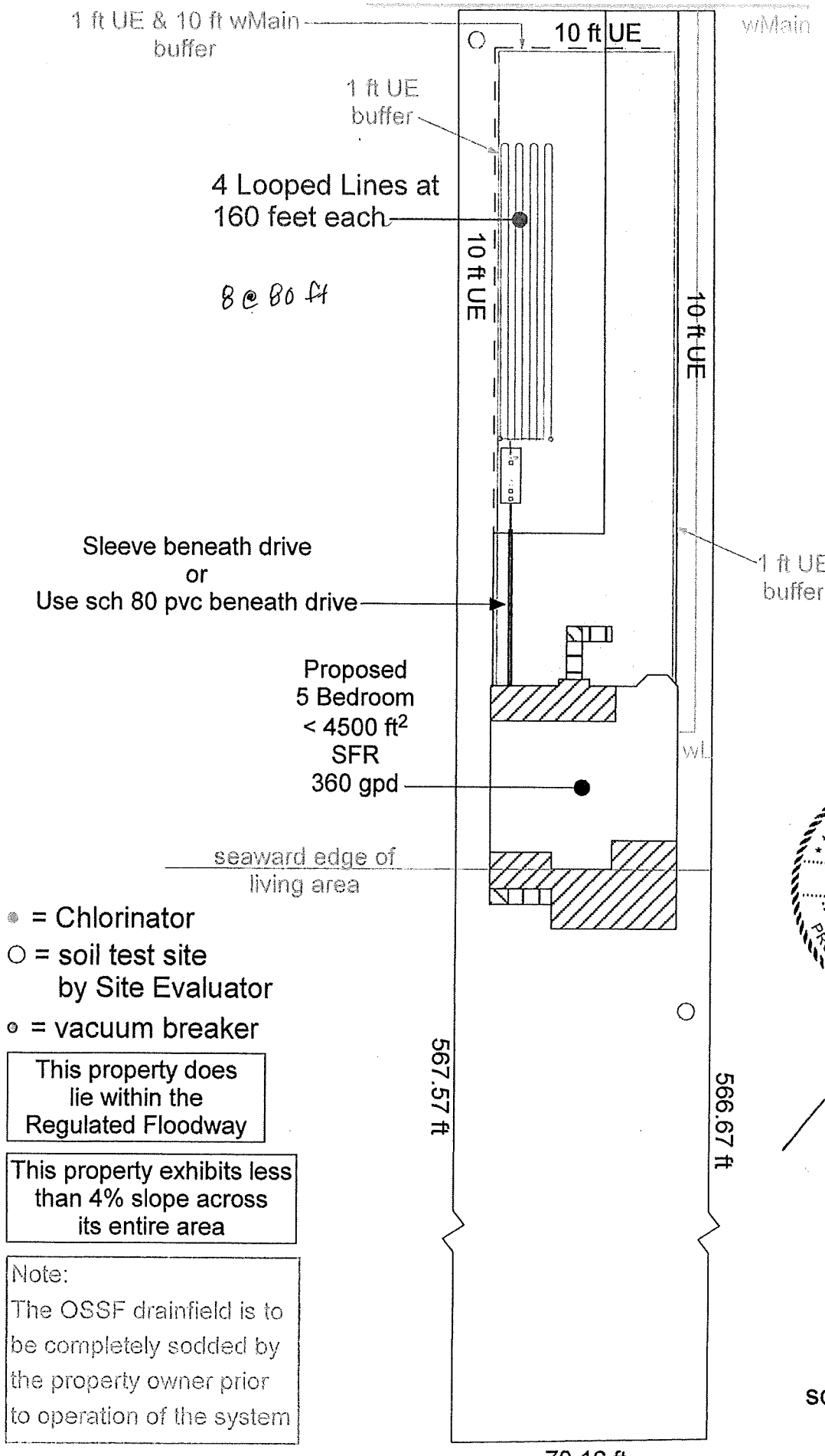
Authorization to Construct Provided to Installer: Tony Smith (Rep) Date: 5/24/24 In person Fax Mail By: CM

INSPECTION: APPROVAL DISAPPROVAL DATE _____ INSPECTOR _____ LIC# _____

Final Permit Copies Provided to Installer: _____ Date: _____ In person Fax Mail By: _____

Provided to Maintenance Prov: _____ Date: _____ In person Fax Mail By: _____

5150 BLUEWATER HWY



- = Chlorinator
- = soil test site by Site Evaluator
- = vacuum breaker

This property does lie within the Regulated Floodway

This property exhibits less than 4% slope across its entire area

Note:
The OSSF drainfield is to be completely sodded by the property owner prior to operation of the system



G. Gana
1-8-24

scale 1" = 40'

ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A – PROPERTY INFORMATION	FOR INSURANCE COMPANY USE
A1. Building Owner's Name: <u>Seahorse Beach Club</u>	Policy Number: _____
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.: <u>5150 County Road 257 (Blue Water Highway)</u>	Company NAIC Number: _____
City: <u>Freeport</u> State: <u>TX</u> ZIP Code: <u>77541</u>	
A3. Property Description (e.g., Lot and Block Numbers or Legal Description) and/or Tax Parcel Number: <u>Lot 13, Seahorse Estates (06-048912 B.C.O.R.), S.F. Austin Peninsular League, Abstract 29</u>	
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.): <u>Residential Pre-Construction</u>	
A5. Latitude/Longitude: Lat. <u>29°00'03.09" N</u> Long. <u>95°13'32.17" W</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input type="checkbox"/> NAD 1983 <input type="checkbox"/> WGS 84	
A6. Attach at least two and when possible four clear photographs (one for each side) of the building (see Form pages 7 and 8).	
A7. Building Diagram Number: _____	
A8. For a building with a crawlspace or enclosure(s): a) Square footage of crawlspace or enclosure(s): _____ sq. ft. b) Is there at least one permanent flood opening on two different sides of each enclosed area? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A c) Enter number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade: Non-engineered flood openings: _____ Engineered flood openings: _____ d) Total net open area of non-engineered flood openings in A8.c: _____ sq. in. e) Total rated area of engineered flood openings in A8.c (attach documentation – see Instructions): _____ sq. ft. f) Sum of A8.d and A8.e rated area (if applicable – see Instructions): _____ sq. ft.	
A9. For a building with an attached garage: a) Square footage of attached garage: _____ sq. ft. b) Is there at least one permanent flood opening on two different sides of the attached garage? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A c) Enter number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade: Non-engineered flood openings: _____ Engineered flood openings: _____ d) Total net open area of non-engineered flood openings in A9.c: _____ sq. in. e) Total rated area of engineered flood openings in A9.c (attach documentation – see Instructions): _____ sq. ft. f) Sum of A9.d and A9.e rated area (if applicable – see Instructions): _____ sq. ft.	

SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1.a. NFIP Community Name: <u>Brazoria County Unincorporated</u> B1.b. NFIP Community Identification Number: _____			
B2. County Name: <u>Brazoria</u>	B3. State: <u>TX</u>	B4. Map/Panel No.: <u>485458</u>	B5. Suffix: <u>K</u>
B6. FIRM Index Date: <u>06/05/1989</u>		B7. FIRM Panel Effective/Revised Date: <u>12/30/2020</u>	
B8. Flood Zone(s): <u>AE</u>		B9. Base Flood Elevation(s) (BFE) (Zone AO, use Base Flood Depth): <u>14.0'</u>	
B10. Indicate the source of the BFE data or Base Flood Depth entered in Item B9: <input type="checkbox"/> FIS <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other: _____			
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____			
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Designation Date: <u>10/01/1983</u> <input checked="" type="checkbox"/> CBRS <input type="checkbox"/> OPA			
B13. Is the building located seaward of the Limit of Moderate Wave Action (LiMWA)? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			

ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.:
5150 County Road 257 (Blue Water Highway)

City: Freeport State: TX ZIP Code: 77541

FOR INSURANCE COMPANY USE

Policy Number: _____

Company NAIC Number: _____

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction

*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, AO, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO, A99. Complete Items C2.a–h below according to the Building Diagram specified in Item A7. In Puerto Rico only, enter meters.

Benchmark Utilized: RTCM-REF 2521 Vertical Datum: NAVD 88

Indicate elevation datum used for the elevations in items a) through h) below.

NGVD 1929 NAVD 1988 Other: _____

Datum used for building elevations must be the same as that used for the BFE. Conversion factor used? Yes No

If Yes, describe the source of the conversion factor in the Section D Comments area.

Check the measurement used:

a) Top of bottom floor (including basement, crawlspace, or enclosure floor): _____ feet meters

b) Top of the next higher floor (see Instructions): _____ feet meters

c) Bottom of the lowest horizontal structural member (see Instructions): _____ feet meters

d) Attached garage (top of slab): _____ feet meters

e) Lowest elevation of Machinery and Equipment (M&E) servicing the building (describe type of M&E and location in Section D Comments area): _____ feet meters

f) Lowest Adjacent Grade (LAG) next to building: Natural Finished 3.50 feet meters

g) Highest Adjacent Grade (HAG) next to building: Natural Finished 4.00 feet meters

h) Finished LAG at lowest elevation of attached deck or stairs, including structural support: _____ feet meters

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by state law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor? Yes No

Check here if attachments and describe in the Comments area.

Certifier's Name: Terry Singletary License Number: 4808

Title: Registered Professional Land Surveyor

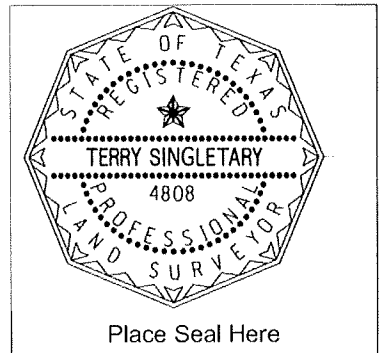
Company Name: Doyle & Wachtstetter Inc.

Address: 131 Commerce St.

City: Clute State: TX ZIP Code: 77531

Signature: Terry Singletary Date: 11/08/2023

Telephone: (979) 265-3622 Ext.: 1042 Email: t.singletary@dw-surveyor.com



Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including source of conversion factor in C2; type of equipment and location per C2.e; and description of any attachments):
A PVC pipe was set along the common line between Lot 9 and Lot 10 for benchmark at elevation 7.00 feet.

ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.:

5150 County Road 257 (Blue Water Highway)

City: Freeport

State: TX

ZIP Code: 77541

FOR INSURANCE COMPANY USE

Policy Number: _____

Company NAIC Number: _____

SECTION E – BUILDING MEASUREMENT INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO, ZONE AR/AO, AND ZONE A (WITHOUT BFE)

For Zones AO, AR/AO, and A (without BFE), complete Items E1–E5. For Items E1–E4, use natural grade, if available. If the Certificate is intended to support a Letter of Map Change request, complete Sections A, B, and C. Check the measurement used. In Puerto Rico only, enter meters.

Building measurements are based on: Construction Drawings* Building Under Construction* Finished Construction

*A new Elevation Certificate will be required when construction of the building is complete.

E1. Provide measurements (C.2.a in applicable Building Diagram) for the following and check the appropriate boxes to show whether the measurement is above or below the natural HAG and the LAG.

a) Top of bottom floor (including basement, crawlspace, or enclosure) is: _____ feet meters above or below the HAG.

b) Top of bottom floor (including basement, crawlspace, or enclosure) is: _____ feet meters above or below the LAG.

E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (C.2.b in applicable Building Diagram) of the building is: _____ feet meters above or below the HAG.

E3. Attached garage (top of slab) is: _____ feet meters above or below the HAG.

E4. Top of platform of machinery and/or equipment servicing the building is: _____ feet meters above or below the HAG.

E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? Yes No Unknown The local official must certify this information in Section G.

SECTION F – PROPERTY OWNER (OR OWNER'S AUTHORIZED REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without BFE) or Zone AO must sign here. *The statements in Sections A, B, and E are correct to the best of my knowledge*

Check here if attachments and describe in the Comments area.

Property Owner or Owner's Authorized Representative Name: _____

Address: _____

City: _____ State: _____ ZIP Code: _____

Signature: _____ Date: _____

Telephone: _____ Ext.: _____ Email: _____

Comments:

ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.:
5150 County Road 257 (Blue Water Highway)

City: Freeport State: TX ZIP Code: 77541

FOR INSURANCE COMPANY USE

Policy Number: _____

Company NAIC Number: _____

SECTION G – COMMUNITY INFORMATION (RECOMMENDED FOR COMMUNITY OFFICIAL COMPLETION)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Section A, B, C, E, G, or H of this Elevation Certificate. Complete the applicable item(s) and sign below when:

- G1. The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by state law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2.a. A local official completed Section E for a building located in Zone A (without a BFE), Zone AO, or Zone AR/AO, or when item E5 is completed for a building located in Zone AO.
- G2.b. A local official completed Section H for insurance purposes.
- G3. In the Comments area of Section G, the local official describes specific corrections to the information in Sections A, B, E and H.
- G4. The following information (Items G5–G11) is provided for community floodplain management purposes.
- G5. Permit Number: _____ G6. Date Permit Issued: _____
- G7. Date Certificate of Compliance/Occupancy Issued: _____
- G8. This permit has been issued for: New Construction Substantial Improvement
- G9.a. Elevation of as-built lowest floor (including basement) of the building: _____ feet meters Datum: _____
- G9.b. Elevation of bottom of as-built lowest horizontal structural member: _____ feet meters Datum: _____
- G10.a. BFE (or depth in Zone AO) of flooding at the building site: _____ feet meters Datum: _____
- G10.b. Community's minimum elevation (or depth in Zone AO) requirement for the lowest floor or lowest horizontal structural member: _____ feet meters Datum: _____
- G11. Variance issued? Yes No If yes, attach documentation and describe in the Comments area.

The local official who provides information in Section G must sign here. *I have completed the information in Section G and certify that it is correct to the best of my knowledge. If applicable, I have also provided specific corrections in the Comments area of this section.*

Local Official's Name: _____ Title: _____

NFIP Community Name: _____

Telephone: _____ Ext.: _____ Email: _____

Address: _____

City: _____ State: _____ ZIP Code: _____

Signature: _____ Date: _____

Comments (including type of equipment and location, per C2.e; description of any attachments; and corrections to specific information in Sections A, B, D, E, or H):

ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.: 5150 County Road 257 (Blue Water Highway)	FOR INSURANCE COMPANY USE
City: Freeport State: TX ZIP Code: 77541	Policy Number: _____ Company NAIC Number: _____

SECTION H – BUILDING'S FIRST FLOOR HEIGHT INFORMATION FOR ALL ZONES (SURVEY NOT REQUIRED) (FOR INSURANCE PURPOSES ONLY)

The property owner, owner's authorized representative, or local floodplain management official may complete Section H for all flood zones to determine the building's first floor height for insurance purposes. Sections A, B, and I must also be completed. Enter heights to the nearest tenth of a foot (nearest tenth of a meter in Puerto Rico). **Reference the Foundation Type Diagrams (at the end of Section H Instructions) and the appropriate Building Diagrams (at the end of Section I Instructions) to complete this section.**

H1. Provide the height of the top of the floor (as indicated in Foundation Type Diagrams) above the Lowest Adjacent Grade (LAG):

a) For Building Diagrams 1A, 1B, 3, and 5–9. Top of bottom _____ feet meters above the LAG floor (include above-grade floors only for buildings with subgrade crawlspaces or enclosure floors) is:

b) For Building Diagrams 2A, 2B, 4, and 6–9. Top of next _____ feet meters above the LAG higher floor (i.e., the floor above basement, crawlspace, or enclosure floor) is:

H2. Is all Machinery and Equipment servicing the building (as listed in Item H2 instructions) elevated to or above the floor indicated by the H2 arrow (shown in the Foundation Type Diagrams at end of Section H instructions) for the appropriate Building Diagram?

Yes No

SECTION I – PROPERTY OWNER (OR OWNER'S AUTHORIZED REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and H must sign here. *The statements in Sections A, B, and H are correct to the best of my knowledge.* **Note:** If the local floodplain management official completed Section H, they should indicate in Item G2.b and sign Section G.

Check here if attachments are provided (including required photos) and describe each attachment in the Comments area.

Property Owner or Owner's Authorized Representative Name: _____

Address: _____

City: _____ State: _____ ZIP Code: _____

Signature: _____ Date: _____

Telephone: _____ Ext.: _____ Email: _____

Comments: _____

ELEVATION CERTIFICATE
IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19
BUILDING PHOTOGRAPHS

See Instructions for Item A6.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.:
5150 County Road 257 (Blue Water Highway)

City: Freeport State: TX ZIP Code: 77541

FOR INSURANCE COMPANY USE

Policy Number: _____

Company NAIC Number: _____

Instructions: Insert below at least two and when possible four photographs showing each side of the building (for example, may only be able to take front and back pictures of townhouses/rowhouses). Identify all photographs with the date taken and "Front View," "Rear View," "Right Side View," or "Left Side View." Photographs must show the foundation. When flood openings are present, include at least one close-up photograph of representative flood openings or vents, as indicated in Sections A8 and A9.

Photo One

Photo One Caption:

Clear Photo One

Photo Two

Photo Two Caption:

Clear Photo Two

ELEVATION CERTIFICATE
IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19
BUILDING PHOTOGRAPHS

Continuation Page

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.:

5150 County Road 257 (Blue Water Highway)

City: Freeport

State: TX

ZIP Code: 77541

FOR INSURANCE COMPANY USE

Policy Number: _____

Company NAIC Number: _____

Insert the third and fourth photographs below. Identify all photographs with the date taken and "Front View," "Rear View," "Right Side View," or "Left Side View." When flood openings are present, include at least one close-up photograph of representative flood openings or vents, as indicated in Sections A8 and A9.

Photo Three

Photo Three Caption:

Clear Photo Three

Photo Four

Photo Four Caption:

Clear Photo Four

note: While every attempt has been made to avoid mistakes in this drawing, the designer can not guarantee against human error. The user of this drawing shall be responsible for the same. Notify the designer immediately if an error is discovered and correction is required.

NOTES:

LIVING AREA CEILING HEIGHTS TO BE 10'

PLAN NAME
 STANFISH

PROJECT ADDRESS:
 LOT-13
 5150 BLUEWATER HWY
 CR 257
 FREEPORT, TX 77541

AREA CALCULATIONS FIRST FLOOR

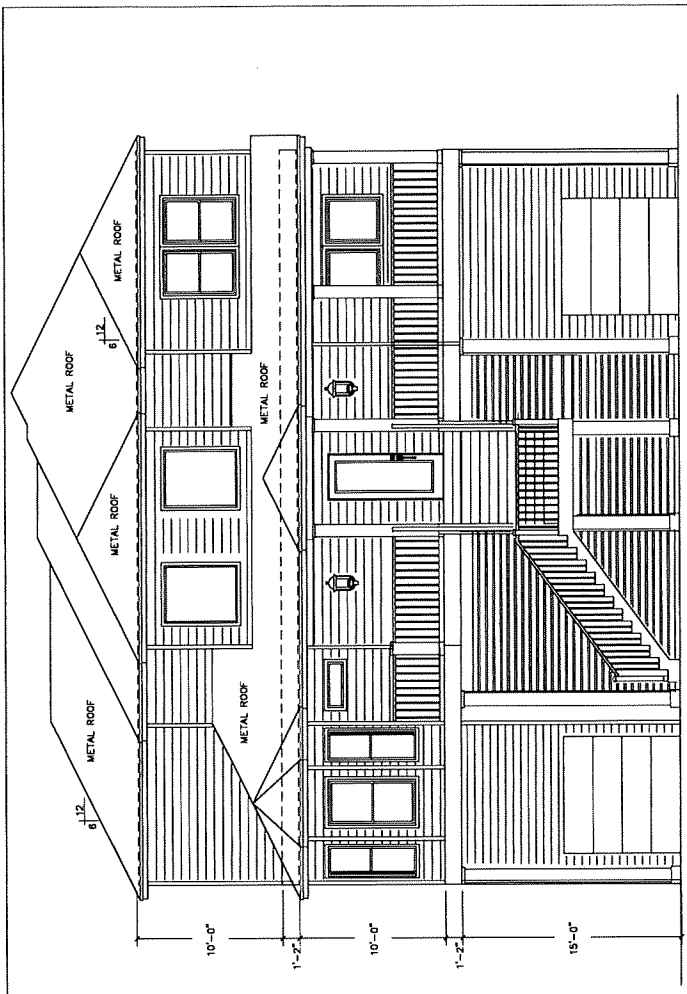
BASE LEVEL	834
FIRST FLOOR FINISH	1044
UNCOVERED PORCH	104
COVERED PORCH	215
COVERED BALCONY	879
UNCOVERED BALCONY	1044
TOTAL	2276
SECOND FLOOR FINISH	1444
UNCOVERED BALCONY	324
TOTAL	2600

DATE: 12-8-23

SHEET NAME:
 FRONT-REAR ELEVATIONS

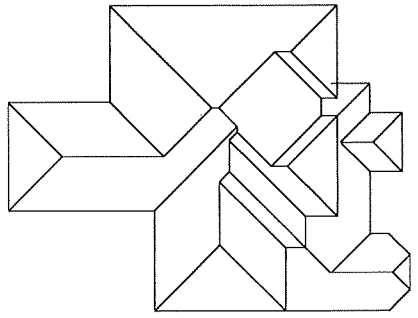
SHEET NUMBER
 A-1

SCALE: 1/4"=1'-0"



LOUVERS PER SPEC.

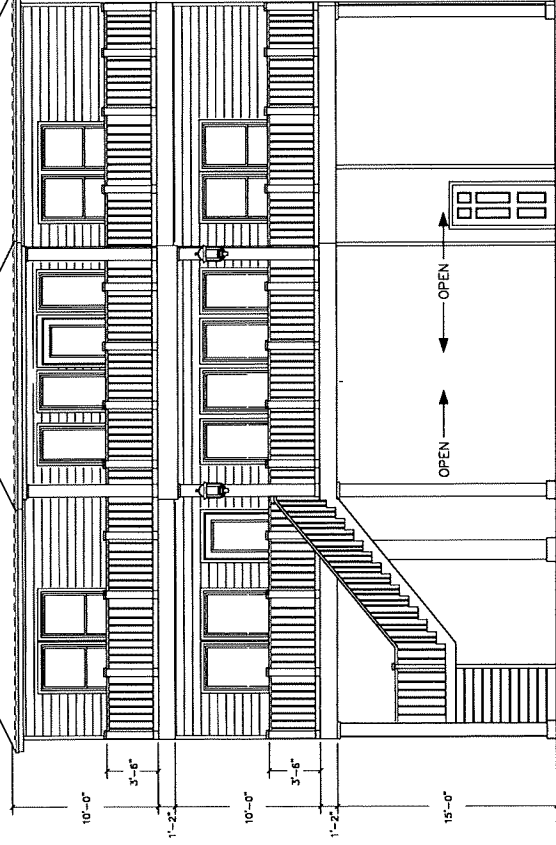
FRONT



REAR

NOTE: WIND FORCE RESISTING SYSTEM PLAN

1. FULL JET STUDS AT ALL EXTERIOR WALLS (NO PONY WALLS).
2. ROOFING PRODUCTS SHALL BE LISTED AS APPROVED PRODUCTS IN THE PRODUCT EVALUATION INDEX AND LIST OF ASPHALT SHINGLES MAINTAINED BY THE TEXAS DEPARTMENT OF INSURANCE.
3. THREE-TAB SHINGLES: APPLY ROOFING FOR "HIGH WIND AREA" WITH 6 NAILS PER SHINGLE AND STARTERS EXACTLY AS PRESCRIBED BY MANUFACTURER.
4. SINGLE-TAB SHINGLES: APPLY SHINGLES AND STARTERS EXACTLY AS PRESCRIBED BY MANUFACTURER FOR HIGHEST WIND WARRANTY.
5. FOR LOW PITCH COMPOSITION ROOF (FROM 2:12 TO 4:12) DOUBLE UNDERLAYMENT IS REQUIRED AND INSTALLED PER CODE REQUIREMENTS. METAL ROOFING PRODUCTS SHALL BE TESTED AND APPROVED PRODUCT SUITABLE FOR ROOF PITCH.
6. GUTTER: VERIFY REQUIREMENTS (TYPE & THICKNESS) FOR METAL ROOF PRODUCTS PRIOR TO WALL SHEATHING TO BE NAILED AT 3" O.C. (PERIMETER) AND 6" O.C. (FIELD) ON SIDES INDICATED.
7. WINDOWS AND DOORS: MUST MEET PRESSURE REQUIREMENTS FOR 130 MPH WINDS. WINDOWS AND DOORS MUST BE LISTED AS AN APPROVED PRODUCT IN THE PRODUCT EVALUATION LIST MAINTAINED BY THE TEXAS DEPARTMENT OF INSURANCE AND BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE TDJ PRODUCT EVALUATION.
8. ALL OPENINGS IN SEAWARD LOCATIONS MUST USE AN IMPACT RATED PRODUCT OR HAVE A TESTED AND APPROVED IMPACT PROTECTION SYSTEM. NOTE: PLYWOOD COVERS ARE NOT APPROVED FOR IMPACT PROTECTION IN SEAWARD LOCATIONS.
9. DOORS IN THE SEAWARD ZONE MUST BE IMPACT RATED (DOOR AND GLASS ASSEMBLY) OR HAVE A TESTED & APPROVED IMPACT PROTECTION SYSTEM FOR THE ENTIRE DOOR OPENING.
10. INSTALL MULTIPLE WINDOW UNITS WITH 6" MINIMUM FRAMING (OBL. 2X KING STUDS + 2 JACK STUDS) BETWEEN UNITS OR USE TESTED AND APPROVED FACTORY MULLED UNITS.
11. SET DETAILS WITH TRANSMITTAL DOCUMENT. REFER TO DRAWING SA FOR CEILING FRAMING.
12. INSTALL 1/2" SHEATHING ON UNDERSIDE OF CEILING JOISTS IN AREA INDICATED, NAIL 3" O.C. (PERIMETER) AND 6" O.C. (FIELD). AS AN ALTERNATIVE (FOR PORCH AREAS) HARDBE PANEL MAY BE USED PROVIDED PANELS ARE INSTALLED AS FOLLOWS: PANELS SHALL BE INSTALLED WITH LONG AXIS ACROSS JOISTS AND WITH ALL PANEL EDGES BLOCKED WITH MIN. 3.5" WIDE FRAMING, NAIL 4" O.C. AT PANEL EDGES AND 8" O.C. IN FIELD USING 8d NAILS.
13. METAL INTERIOR SHEATHING (IN LIBERATION INDICATED) PER DETAILS 633110 & 633111. NOTE: INTERIOR SHEATHING FOR UPPER FLOOR IS TO EXTEND INTO ATTIC SPACE AND CONNECTED TO RAFTERS ABOVE.
14. NOTCH OF POSTS AS REQUIRED. BRAT COVERED DECK ROOF BEAMS TO POSTS W/ (2) 3/4" GALV. INCH BOLTS W/ NUTS & WASHERS EACH SIDE.



- NOTES: ROOF FRAMING PLAN
1. RAFTERS ARE 2 X 6 @ 16" O.C. #2 OR #3 SYP UNLESS NOTED.
 2. PURLINS AND BRACING -SEE DETAIL 622030.
 3. CONNECTORS-SEE DETAIL 622030.
 4. CRICKETS TO BE APPLIED TO ROOF DECK ANDCONNECTED TO FRAMING WITH 3/8" X 4" GALVANIZED LAG SCREWS WITH WASHER, DOUBLE FRAMING AROUND CHIMNEYS, DORMERS, SKYLIGHTS, AND OTHER WAJDR ROOF OPENINGS.
 5. OUTLOOKERS TO BE 2 X 4 @ 16" ON CENTER

Level One Designers
 Residential Projects, Designer
 832-482-8922

NOTE: While every attempt has been made to avoid mistakes in the preparation of these plans, the contractor must check all details before proceeding if any error is noted. Notify the designer immediately if any error is noted and correction is required.

NOTES:

LIVING AREA CEILING HEIGHTS TO BE 10'

PLAN NAME
 STARFISH

PROJECT ADDRESS:
 LOT-13
 5150 BLUEWATER HWY
 CREEKVIEW
 FREETPORT, TX 77541

AREA CALCULATIONS
 FIRST FLOOR

FLOOR AREA	1144
PERIMETER	184
COVERED PORCH	134
COVERED PATIO	274
COVERED BALCONY	159
COVERED DECK	1000
TOTAL	2811
NET AREA	1144
COVERED BALCONY	159
COVERED DECK	1000
COVERED PATIO	274
COVERED PORCH	134
TOTAL	2811

DATE: 12-8-23

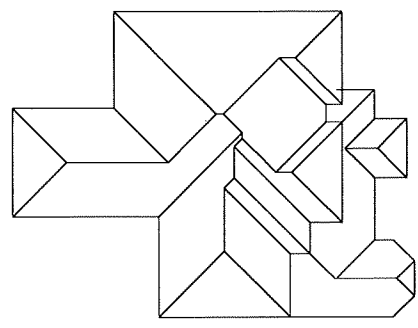
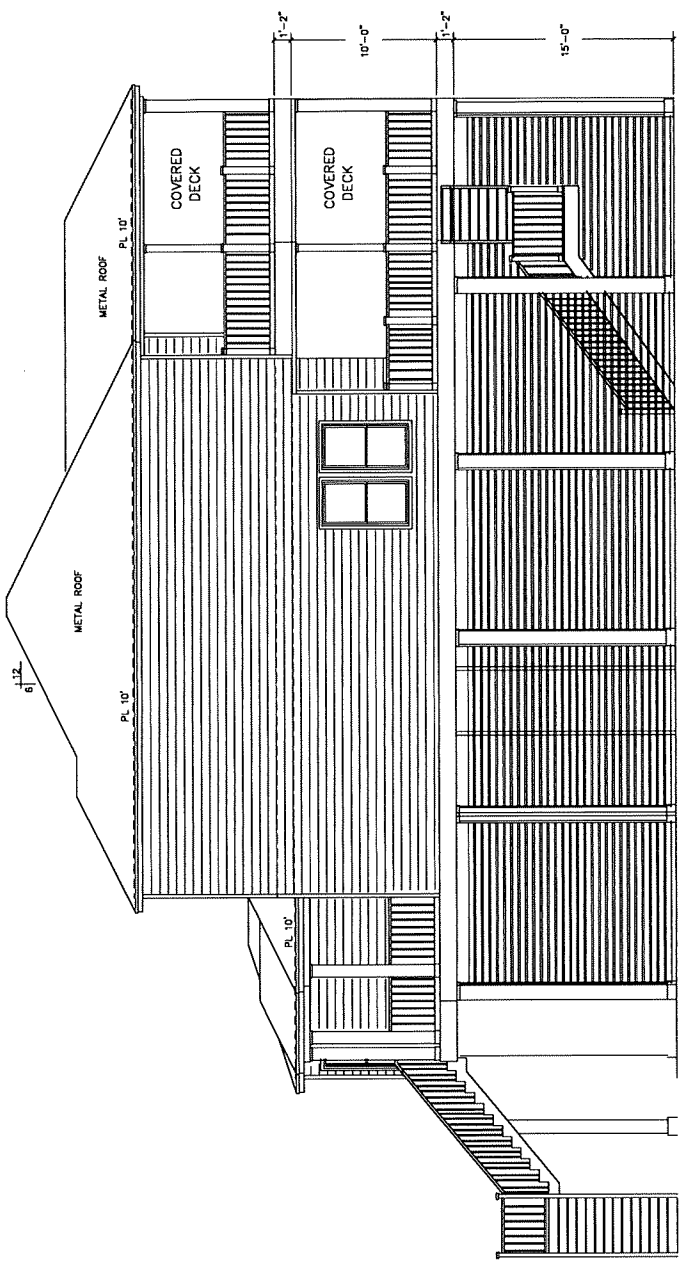
SHEET NAME:

RIGHT ELEVATION

SHEET NUMBER

A-2

SCALE: 1/4"=1'-0"



- NOTES: ROOF FRAMING PLAN
1. RAFTERS ARE 2 X 6 @ 16" O.C. #2 OR #3 SYP UNLESS NOTED.
 2. PURLINS AND BRACING -SEE DETAIL 622030.
 3. CONNECTORS-SEE DETAIL 622030.
 4. CRICKETS TO BE APPLIED TO ROOF DECK ANDCONNECTED TO FRAMING WITH 3/8" X 4" GALVANIZED LAG SCREWS WITH WASHER. OTHER MAJOR ROOF OPENINGS.
 5. DOUBLE FRAMING AROUND CHIMNEYS, DORMERS, SKYLIGHTS, AND OUTLOOKERS TO BE 2 X 4 @ 16" ON CENTER

- NOTES: WIND FORCE RESISTING SYSTEM PLAN
1. ALL STUDS AT ALL EXTERIOR WALLS (NO PONY WALLS).
 2. ROOFING PRODUCTS SHALL BE LISTED AS APPROVED PRODUCTS IN THE PRODUCT EVALUATION AND LIST OF ASPHALT SHINGLES MAINTAINED BY THE TEXAS DEPARTMENT OF INSURANCE.
 - 2.1. THREE-TAB SHINGLES: APPLY ROOFING FOR "HIGH WIND AREA" WITH 6 NAILS PER SHINGLE AND STARTERS EXACTLY AS PRESCRIBED BY MANUFACTURER.
 - 2.2. SINGLE-TAB SHINGLES: APPLY SHINGLES AND STARTERS EXACTLY AS PRESCRIBED BY MANUFACTURER FOR HIGHEST WIND WARRANTY.
 - 2.3. FOR LOW PITCH COMPOSITION ROOF (FROM 2:12 TO 4:12) DOUBLE UNDERLAYMENT IS REQUIRED AND INSTALLED PER CODE REQUIREMENTS.
 - 2.4. METAL ROOFING PRODUCTS SHALL BE TESTED AND APPROVED PRODUCT SUITABLE FOR ROOF PITCH.
 - 2.5. VERIFY DECKING REQUIREMENTS (TYPE & THICKNESS) FOR METAL ROOF PRODUCTS PRIOR TO INSTALLATION.
 3. WALL SHEATHING TO BE NAILED AT 3" O.C. (PERIMETER) AND 6" O.C. (FIELD) ON SIDES INDICATED.
 4. WINDOWS AND DOORS: MUST MEET PRESSURE REQUIREMENTS FOR 130 MPH WINDS.
 - 4.1. WINDOWS AND DOORS MUST BE LISTED AS AN APPROVED PRODUCT IN THE PRODUCT EVALUATION LIST MAINTAINED BY THE TEXAS DEPARTMENT OF INSURANCE AND BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE TDJ PRODUCT EVALUATION.
 - 4.2. ALL OPENINGS IN SEAWARD LOCATIONS MUST USE AN IMPACT RATED PRODUCT OR HAVE A TESTED AND APPROVED IMPACT PROTECTION SYSTEM. NOTE: PLYWOOD COVERS ARE NOT APPROVED FOR IMPACT PROTECTION IN SEAWARD LOCATIONS.
 - 4.3. DOORS IN THE SEAWARD ZONE MUST BE IMPACT RATED (DOOR AND GLASS ASSEMBLY) OR HAVE A TESTED & APPROVED IMPACT PROTECTION SYSTEM FOR THE ENTIRE DOOR OPENING.
 - 4.4. INSTALL MULTIPLE WINDOW UNITS WITH 6" MINIMUM FRAMING (OEL 2X KING STUDS + 2 JACK STUDS) BETWEEN UNITS OR USE TESTED AND APPROVED FACTORY MULLED UNITS.
 5. SEE DETAILS WITH TRANSMITTAL DOCUMENT. REFER TO DRAWING 54 FOR CEILING FRAMING.
 6. INSTALL 1/2" SHEATHING ON UNDERSIDE OF CEILING JOISTS IN AREA INDICATED. NAIL 3" O.C. (PERIMETER) AND 6" O.C. (FIELD). AS AN ALTERNATIVE (FOR PORCH AREAS) HARDIE PANEL MAY BE USED PROVIDED PANELS ARE INSTALLED AS FOLLOWS: PANELS SHALL BE INSTALLED WITH LONG AXIS ACROSS JOISTS AND WITH ALL PANEL EDGES BLOCKED WITH MIN. 3.5" WIDE FRAMING. NAIL 4" O.C. AT PANEL EDGES AND 6" O.C. IN FIELD USING 8d NAILS.
 7. METAL INTERIOR SHEATHINGS (IN LOCATIONS INDICATED) PER DETAILS E33110 & E33111. NOTE: INTERIOR SHEATHING FOR UPPER FLOOR IS TO EXTEND INTO ATTIC SPACE AND CONNECTED TO RAFTERS ABOVE. NOTCH DOORS & POSTS AS REQUIRED. BOLTS & WASHERS EACH SIDE.
 8. METAL INTERIOR SHEATHINGS (IN LOCATIONS INDICATED) PER DETAILS E33110 & E33111. NOTE: INTERIOR SHEATHING FOR UPPER FLOOR IS TO EXTEND INTO ATTIC SPACE AND CONNECTED TO RAFTERS ABOVE. NOTCH DOORS & POSTS AS REQUIRED. BOLTS & WASHERS EACH SIDE.

Level One Designers
Residential Plans, Designer
532-482-8802

note: While every attempt has been made to avoid mistakes in the preparation of these plans, the architect assumes no liability for errors or omissions. The contractor must check all details for accuracy and notify the owner before proceeding if any error is found and correction is required.

NOTES:

LIVING AREA CEILING HEIGHTS TO BE 10'

PLAN NAME
STARFISH

PROJECT ADDRESS:
LOT 13 BLUEWATER HWY
CR 267
FREETPORT, TX 77541

AREA CALCULATIONS

FIRST FLOOR	324
SECOND FLOOR	1884
COVERED PORCH	154
COVERED PATIO	321
COVERED WALK DECK	158
UNCOVERED WALK DECK	158
TOTAL	3200
SECOND FLOOR LIVER	1144
UNCOVERED WALK DECK	158
COVERED WALK DECK	158
TOTAL LIVING	2260

DATE: 12-8-23

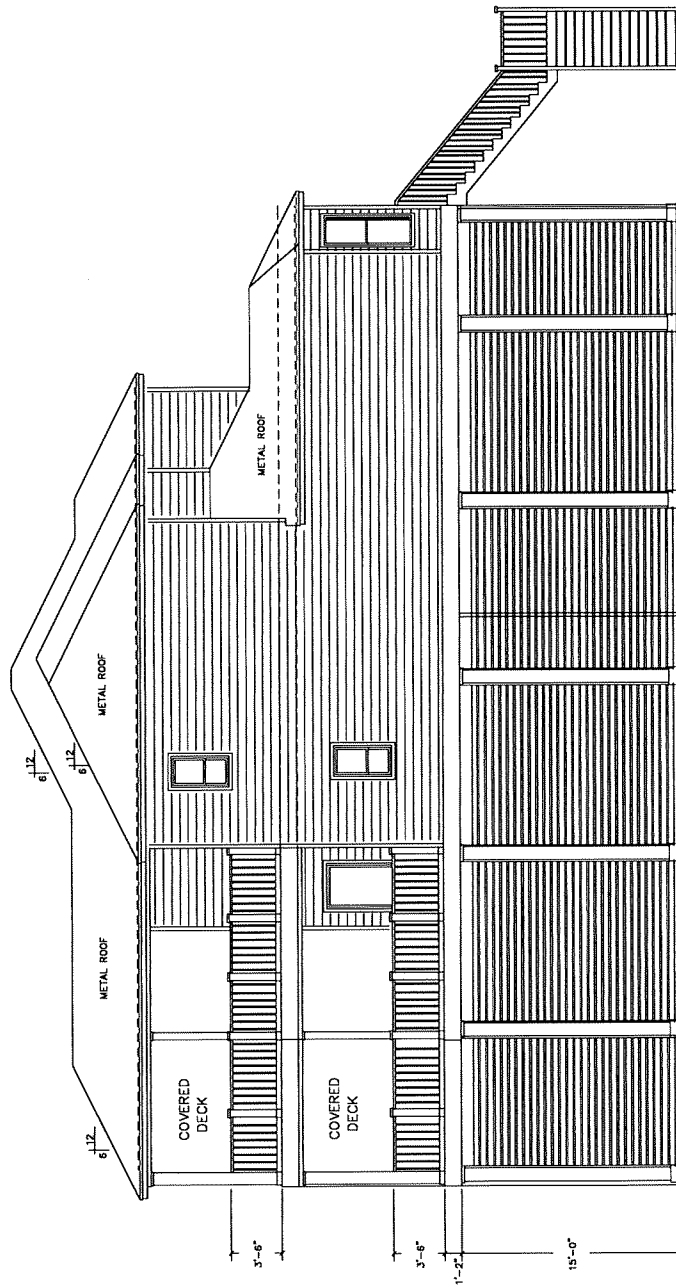
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LEFT ELEVATION

SHEET NUMBER

A-3

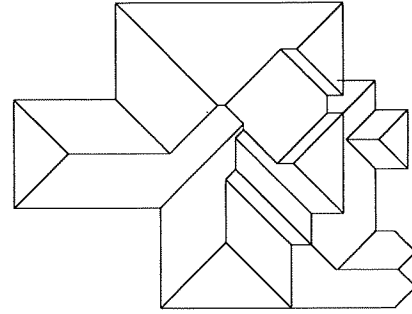
SCALE: 1/4"=1'-0"



LEFT

LOUVERS PER SPEC.

LOUVERS PER SPEC.



NOTES: ROOF FRAMING PLAN

1. RAFTERS ARE 2 X 6 @ 16" O.C. #2 OR #3 SYP UNLESS NOTED.
2. PURLINS AND BRACING -SEE DETAIL 622030.
3. CONNECTORS-SEE DETAIL 622030.
4. CRICKETS TO BE APPLIED TO ROOF DECK ANDCONNECTED TO FRAMING WITH 3/8" X 4" GALVANIZED LAG SCREWS WITH WASHER.
5. DOUBLE FRAMING AROUND CHIMNEYS, DORMERS, SKYLIGHTS, AND OTHER MAJOR ROOF OPENINGS.
6. OUTLOOKERS TO BE 2 X 4 @ 16" ON CENTER

NOTES: WIND FORCE RESISTING SYSTEM PLAN

1. FULL I.F. STUDS AT ALL EXTERIOR WALLS (NO PONY WALLS).
2. ROOFING PRODUCTS SHALL BE LISTED AS APPROVED PRODUCTS IN THE PRODUCT EVALUATION INDEX AND LIST OF ASPHALT SHINGLES MAINTAINED BY THE TEXAS DEPARTMENT OF INSURANCE.
- 2.1. THREE-TAB SHINGLES: APPLY ROOFING FOR "HIGH WIND AREA" WITH 6 NAILS PER SHINGLE AND STARTERS EXACTLY AS PRESCRIBED BY MANUFACTURER.
- 2.2. SINGLE-TAB SHINGLES: APPLY SHINGLES AND STARTERS EXACTLY AS PRESCRIBED BY MANUFACTURER FOR HIGHEST WIND WARRANTY.
- 2.3. FOR LOW PITCH COMPOSITION ROOF (FROM 2:12 TO 4:12) DOUBLE UNDERLAYMENT IS REQUIRED AND INSTALLED PER CODE REQUIREMENTS.
- 2.4. METAL ROOFING PRODUCTS SHALL BE TESTED AND APPROVED PRODUCT SUITABLE FOR ROOF PITCH.
- 2.5. GULCH: VERIFY DECKINGREQUIREMENTS (TYPE & THICKNESS) FOR METAL ROOF PRODUCTS PRIOR TO INSTALLATION.
3. WALL SHEATHING TO BE NAILED AT 3" O.C. (PERMETER) AND 6" O.C. (FIELD) ON SIDES INDICATED.
4. WINDOWS AND DOORS MUST MEET PRESSURE REQUIREMENTS FOR 130 MPH WINDS.
- 4.1. WINDOWS AND DOORS MUST BE LISTED AS AN APPROVED PRODUCT IN THE PRODUCT EVALUATIONS LIST MAINTAINED BY THE TEXAS DEPARTMENT OF INSURANCE AND BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE TDI PRODUCT EVALUATION.
- 4.2. ALL OPENINGS IN SEAWARD LOCATIONS MUST USE AN IMPACT-RATED PRODUCT OR HAVE A TESTED AND APPROVED IMPACT PROTECTION SYSTEM. NOTE: PLYWOOD COVERS ARE NOT APPROVED FOR IMPACT PROTECTION IN SEAWARD LOCATIONS.
- 4.3. DOORS IN THE SEAWARD ZONE MUST BE IMPACT RATED (DOOR AND GLASS ASSEMBLY) OR HAVE A TESTED & APPROVED IMPACT PROTECTION SYSTEM FOR THE ENTIRE DOOR OPENING.
- 4.4. INSTALL MULTIPLE WINDOW UNITS WITH 6" MINIMUM FRAMING (6BL 2X KING STUDS + 2 JACK STUDS) BETWEEN UNITS OR USE TESTED AND APPROVED FACTORY MULLION UNITS.
5. SEE DETAILS WITH TRANSMITTAL DOCUMENT. REFER TO DRAWING 54 FOR CEILING FRAMING.
6. INSTALL 1/2" SHEATHING ON UNDERSIDE OF CEILING JOISTS IN AREA INDICATED, NAIL 3" O.C. (PERMETER) AND 6" O.C. (FIELD). AS AN ALTERNATIVE (FOR PORCH AREAS) HARDIE PANEL MAY BE USED PROVIDED PANELS ARE INSTALLED AS FOLLOWS: PANELS SHALL BE INSTALLED WITH LONG AXIS ACROSS JOISTS AND WITH ALL PANEL EDGES BLOCKED WITH MIN. 3.5" WIDE FRAMING, NAIL 4" O.C. AT PANEL EDGES AND 6" O.C. IN FIELD USING B4 NAILS.
7. INSTALL INTERIOR SUB-WALLS (IN LOCATIONS INDICATED) PER DETAILS 633110 & 633111. NOTE: INTERIOR SHEARWALL FOR UPPER FLOOR IS TO EXTEND INTO ATTIC SPACE AND CONNECTED TO RAFTERS ABOVE.
8. MATCH END OF RAFTERS AS REQUIRED. BOLT CAGED DECK ROOF BEAMS TO POSTS W/ (2) 3/4" GALV. WASH. BOLTS W/ NUTS & WASHERS EACH SIDE.

**Level One
Designers**

4161 West Loop West, Suite 1000
Houston, Texas 77027
Tel: 713-862-9822
Fax: 713-862-9823

We warrant that the information has been made to good measure in the preparation of these plans. The designer can not guarantee the accuracy of the information. The contractor must check all details and dimensions and be responsible for any errors. The designer is not responsible for any errors in the drawings and construction.

NOTES:

LIVING AREA CEILING HEIGHTS TO BE 10'

PLAN NAME
STARFISH

PROJECT ADDRESS:

LOT-13
5150 BLUEWATER HWY
CR 257
FREEPORT, TX 77541

**AREA CALCULATIONS
FIRST FLOOR**

BASE LINE	818
FIRST FLOOR AREA	1044
COVERED DECK AREA	134
UNCOVERED DECK AREA	678
UNCOVERED BALCONY	103
TOTAL	2033
COVERED DECK LINEAR	1444
UNCOVERED DECK LINEAR	300
UNCOVERED BALCONY LINEAR	200
TOTAL LINEAR	3044

DATE: 12-8-23

SHEET NAME:

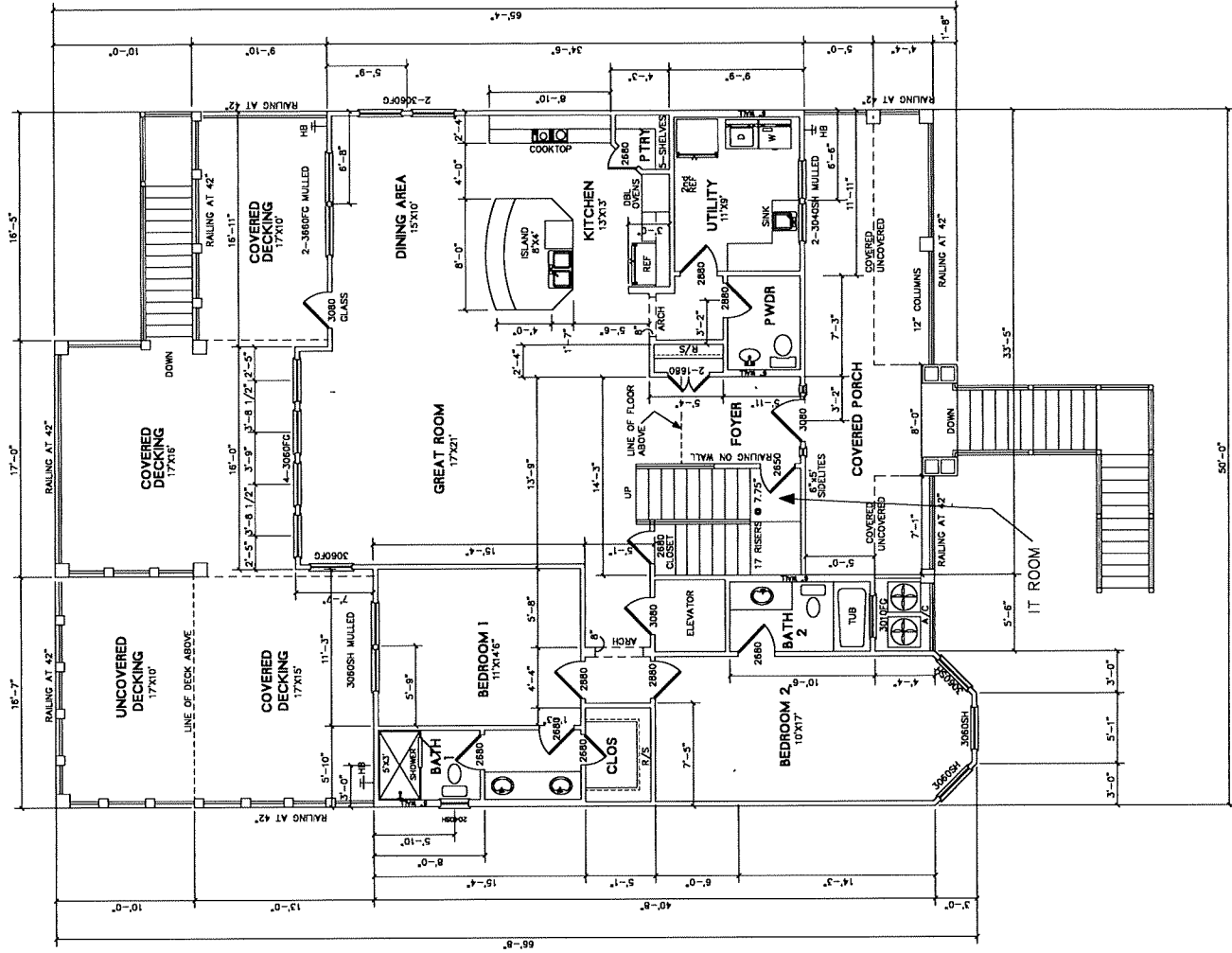
**FIRST FLOOR
LIVING PLAN**

SHEET NUMBER

A-5

SCALE:

SCALE: 1/4" = 1'-0"



Level One
Designers

While every attempt has been made to avoid mistakes in the preparation of these plans, the designer assumes no liability for errors or omissions. The contractor must check all details for the same. Notify the architect before proceeding if any error is discovered and correction is required.

NOTES:

LIVING AREA CEILING HEIGHTS TO BE 10'

PLAN NAME
STARFISH

PROJECT ADDRESS:
LOT-13
5150 BLUEWATER HWY
DALLAS, TX 75244
FRESFORD, TX 77541

AREA CALCULATIONS FIRST FLOOR

FLOOR AREA	1084
WALL AREA	184
CEILING AREA	1268
COVERED REAR DECK	233
UNCOVERED REAR DECK	158
TOTAL	2007
CEILING LOADS	1000
COVERED REAR DECK	300
UNCOVERED REAR DECK	200
TOTAL LOADS	2500

DATE: 12-8-23

SHEET NAME:

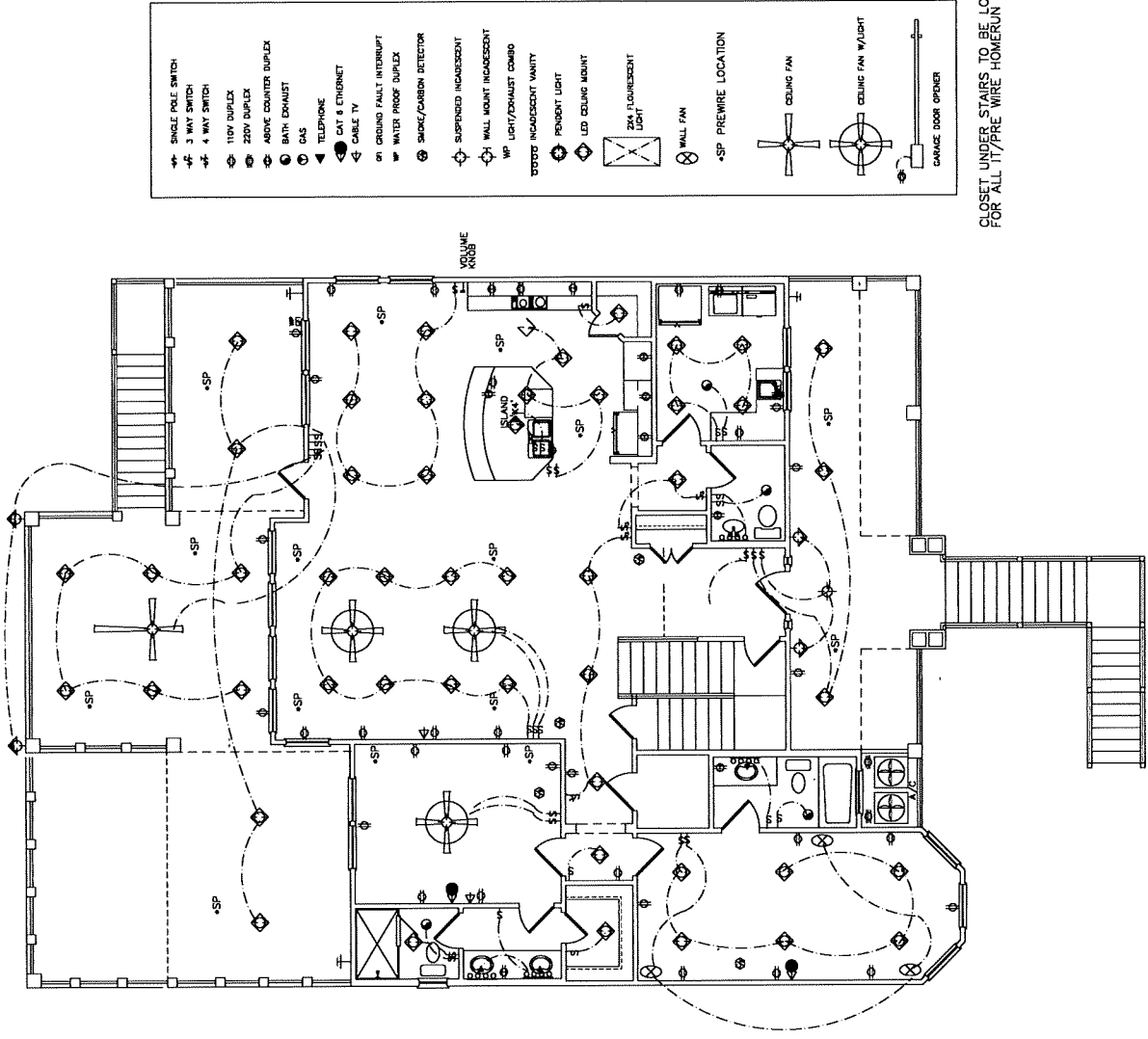
FIRST FLOOR ELECTRICAL

SHEET NUMBER

A-6

SCALE:

SCALE: 1/4" = 1'-0"



CLOSET UNDER STAIRS TO BE LOCATION FOR ALL TYPED WIRE HOMERUN

ELECTRICAL NOTES FOR INTERIORS:

1. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.
2. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.
3. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.
4. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.
5. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.
6. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.
7. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.
8. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.
9. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.
10. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.

NOTE:

- ALL LIGHT SWITCHES TO BE PLACED AT 48" CENTER ABOVE FLOOR
- ALL RECESSED LIGHTS TO BE CO-RATED DESIGN AND AIR-TIGHT DESIGN
- 75% PAR 30, E26 BASE

Level One
Designers

Residential Design
832-422-8822

While this sheet reflects the design of the project, it has been made to avoid mistakes in the preparation of these plans. It is the responsibility of the contractor to verify all dimensions and conditions on site before proceeding. If any error is discovered and correction is required.

NOTES:

LIVING AREA CEILING HEIGHTS TO BE 10'

PLAN NAME
STARFISH

PROJECT ADDRESS:
LOT-13
5190 BLUEWATER HWY
CR 257
FREETPORT, TX 77541

AREA CALCULATIONS
FIRST FLOOR

BASE FLOOR	884
COVERED DECK	134
UNCOVERED DECK	134
COVERED PORCH	134
UNCOVERED PORCH	134
COVERED PATIO	134
UNCOVERED PATIO	134
COVERED BALCONY	134
UNCOVERED BALCONY	134
COVERED TERRACE	134
UNCOVERED TERRACE	134
COVERED PORCH	134
UNCOVERED PORCH	134
COVERED PATIO	134
UNCOVERED PATIO	134
COVERED TERRACE	134
UNCOVERED TERRACE	134
TOTAL	3088

DATE: 12-8-23

SHEET NAME:

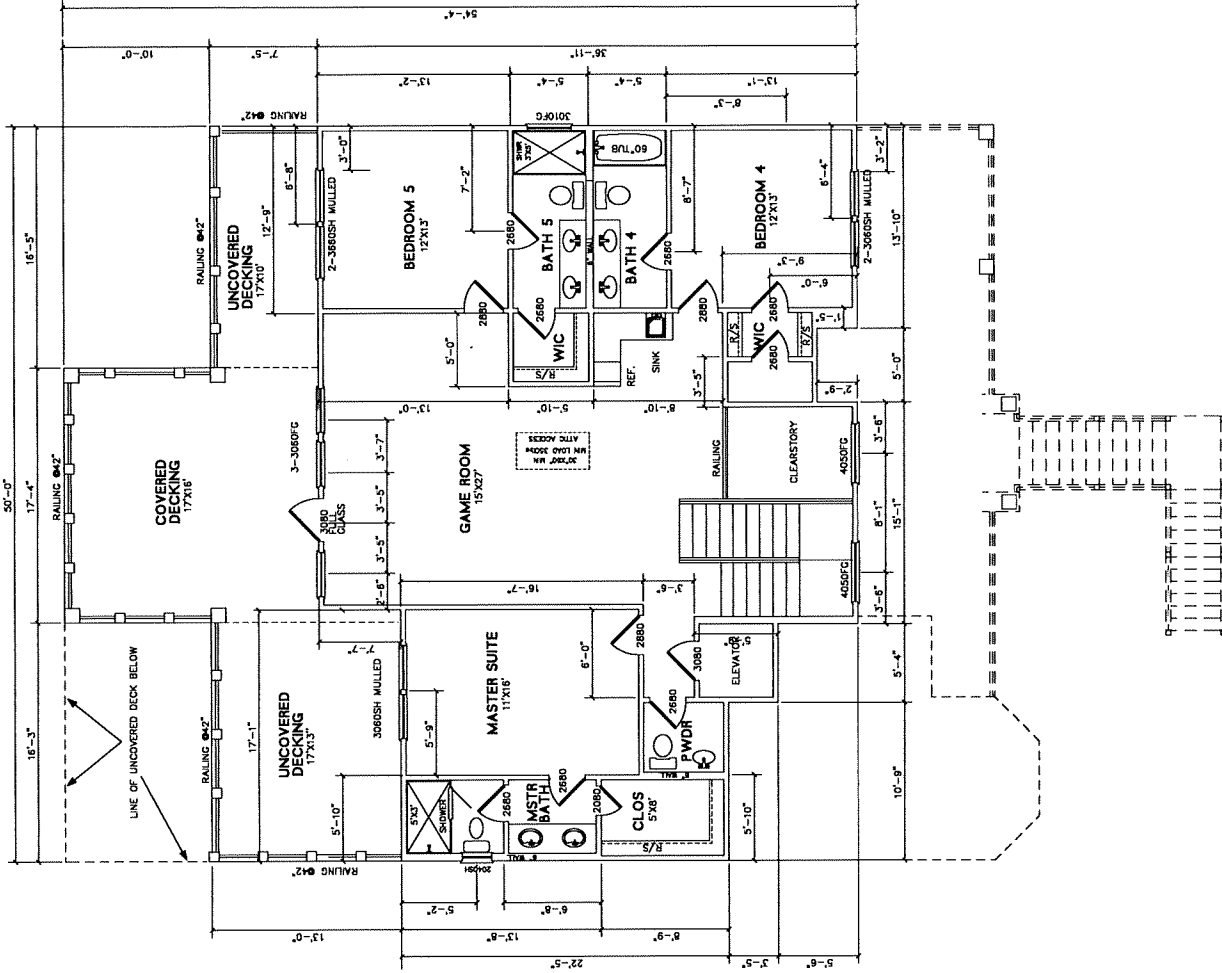
SECOND FLOOR
PLAN

SHEET NUMBER

A-7

SCALE:

SCALE: 1/4" = 1'-0"



Level One Designers

Residential Electrical Design
 832-482-9802

Note: While every effort has been made to avoid mistakes in the preparation of these plans, the contractor shall be responsible for any errors or omissions. The contractor must check all details and dimensions with the owner before proceeding. If any error is discovered on connection, the contractor shall be responsible for the cost of correction.

NOTES:

LIVING AREA CEILING HEIGHTS TO BE 10'

PLAN NAME
 STARFISH

PROJECT ADDRESS:
 LOT-13
 5150 BLUEWATER HWY
 CR 237
 FREEPORT, TX 77541

AREA CALCULATIONS
 FIRST FLOOR

BASE LOAD	800
RECESSED LIGHTS	100
CEILING FAN	100
CEILING FAN W/LIGHT	100
WALL FAN	100
PREMISE LOCATION	100
UNBALANCED LOAD	100
TOTAL	2000
NEEDED LOAD REDUCTION	1000
NEEDED LOAD REDUCTION PERCENT	50%
NEEDED LOAD REDUCTION PERCENT	50%
TOTAL LOAD	1000

DATE: 12-8-23

SHEET NAME:

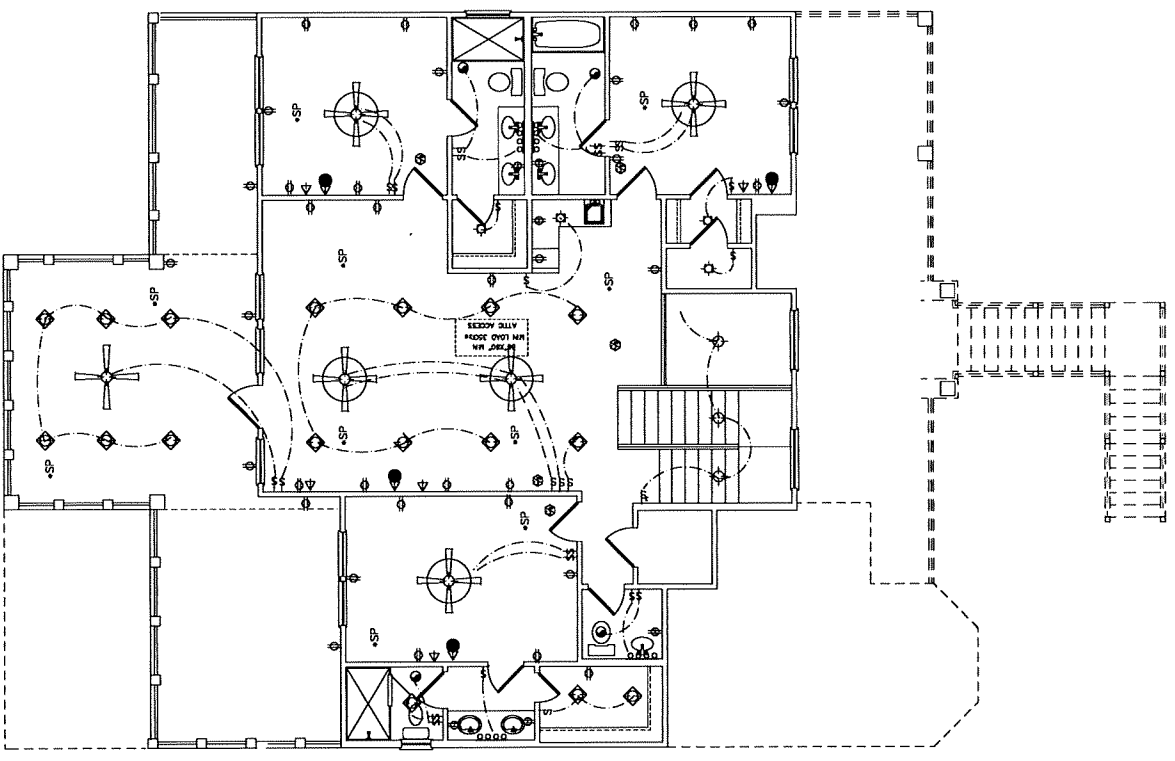
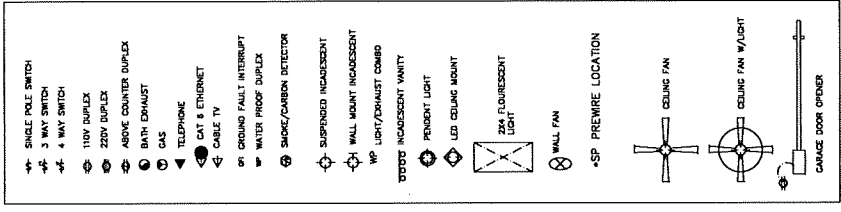
SECOND FLOOR ELECTRICAL

SHEET NUMBER

A-8

SCALE:

SCALE: 1/4" = 1'-0"



ELECTRICAL NOTES FOR DRILLING UNITS:

1. ALL DRILLING UNITS SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL AND STATE CODES.
2. DRILLING UNITS SHALL BE INSTALLED IN A LOCATION THAT PROVIDES ACCESS TO THE DRILLING UNIT FOR MAINTENANCE AND REPAIR.
3. DRILLING UNITS SHALL BE INSTALLED IN A LOCATION THAT PROVIDES ACCESS TO THE DRILLING UNIT FOR MAINTENANCE AND REPAIR.
4. DRILLING UNITS SHALL BE INSTALLED IN A LOCATION THAT PROVIDES ACCESS TO THE DRILLING UNIT FOR MAINTENANCE AND REPAIR.
5. DRILLING UNITS SHALL BE INSTALLED IN A LOCATION THAT PROVIDES ACCESS TO THE DRILLING UNIT FOR MAINTENANCE AND REPAIR.
6. DRILLING UNITS SHALL BE INSTALLED IN A LOCATION THAT PROVIDES ACCESS TO THE DRILLING UNIT FOR MAINTENANCE AND REPAIR.
7. DRILLING UNITS SHALL BE INSTALLED IN A LOCATION THAT PROVIDES ACCESS TO THE DRILLING UNIT FOR MAINTENANCE AND REPAIR.
8. DRILLING UNITS SHALL BE INSTALLED IN A LOCATION THAT PROVIDES ACCESS TO THE DRILLING UNIT FOR MAINTENANCE AND REPAIR.
9. DRILLING UNITS SHALL BE INSTALLED IN A LOCATION THAT PROVIDES ACCESS TO THE DRILLING UNIT FOR MAINTENANCE AND REPAIR.
10. DRILLING UNITS SHALL BE INSTALLED IN A LOCATION THAT PROVIDES ACCESS TO THE DRILLING UNIT FOR MAINTENANCE AND REPAIR.

NOTE:
 ALL LIGHT SWITCHES TO BE PLACED AT 48" CENTER ABOVE FLOOR
 ALL RECESSED LIGHTS AND LIGHT FIXTURES AND LIGHT DESIGN 75W PAR 30, E26 BASE

Level One Designers
 Residential Plans, Designer
 832-482-8902

note: While every attempt has been made to avoid mistakes in the preparation of these plans, the architect assumes no liability for errors or omissions. The contractor must check all details for accuracy and notify the architect for the same. Notify the owner before proceeding if any error is found and correction is required.

NOTES:

LIVING AREA CEILING HEIGHTS TO BE 10'

PLAN NAME
 STARFISH

PROJECT ADDRESS:
 LOT-13
 BLUEWATER HWY
 CR. 25
 FREEPORT, TX 77541

AREA CALCULATIONS

FIRST FLOOR	
BASE AREA	184
FIRST FLOOR LINENS	14
UNCOVERED PORCH	23
CORRIDOR AREA	62
UNCOVERED REAR DECK	115
TOTAL	298
SECOND FLOOR LINENS	
UNCOVERED REAR DECK	23
UNCOVERED FRONT DECK	23
TOTAL LINENS	384

DATE: 12-8-23

SHEET NAME:

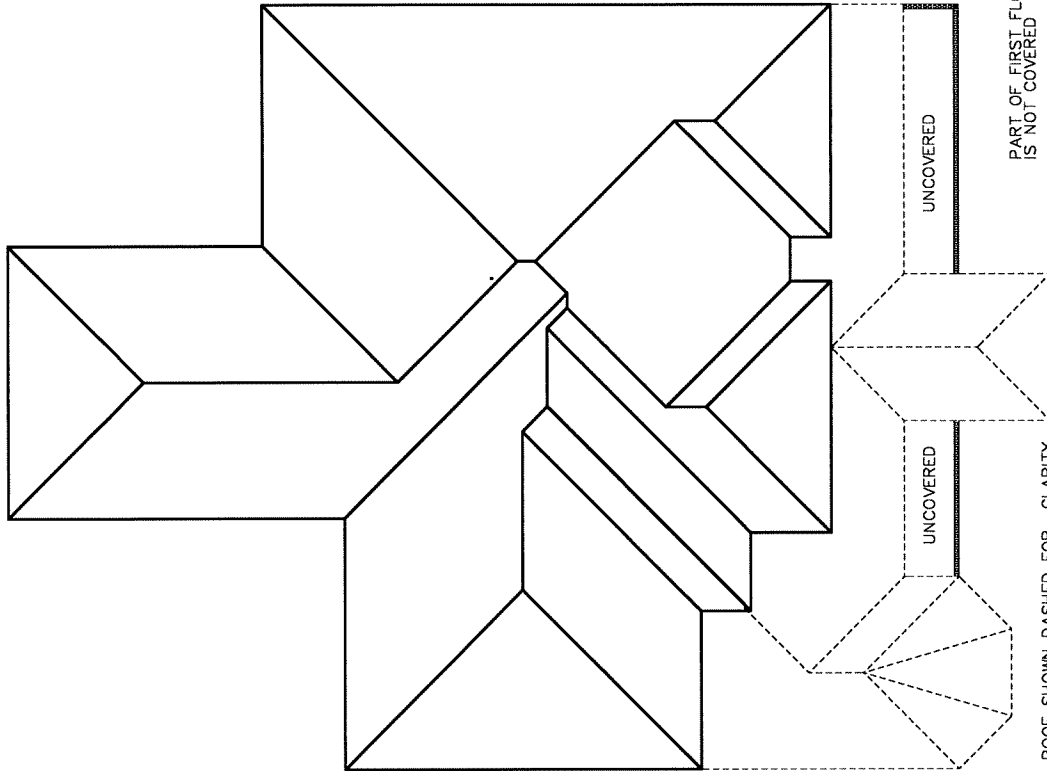
ROOF PLAN

SHEET NUMBER

A-9

SCALE:

SCALE: 1/4"=1'-0"



LOWER LEVEL ROOF SHOWN DASHED FOR CLARITY

PART OF FIRST FLOOR DECKING IS NOT COVERED

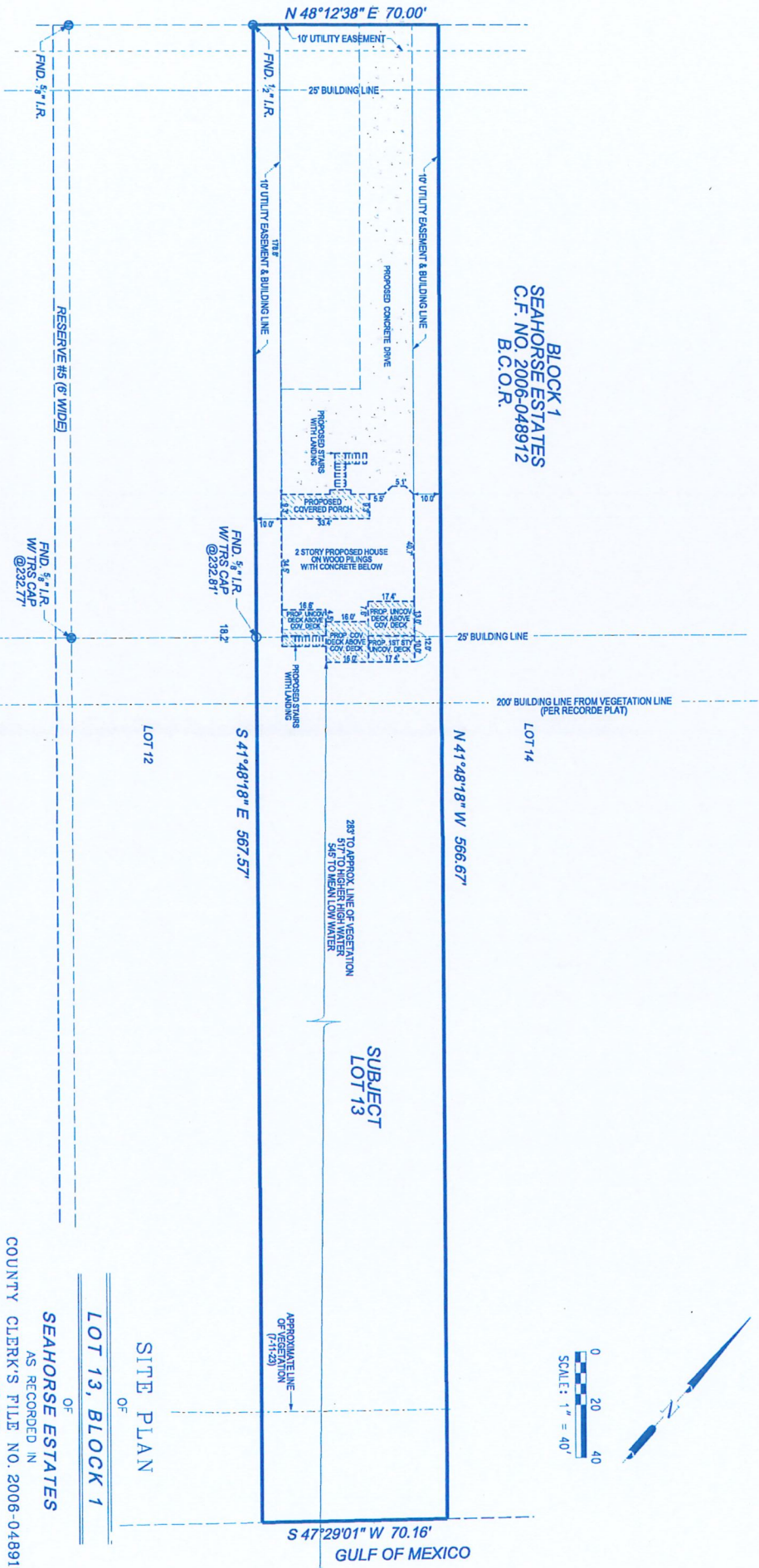
ROOF PITCH TO BE 6:12 U.O.N.

BRAZORIA COUNTY
 TEXAS

S. F. AUSTIN PENINSULAR LEAGUE
 ABSTRACT 29

BLUEWATER HIGHWAY (COUNTY ROAD 257)
 (120' R.O.W.) VOLUME 863, PAGE 961, B.C.D.R.

BLOCK 1
 SEAHORSE ESTATES
 C.F. NO. 2006-048912
 B.C.O.R.



I, TERRY SINGLETARY, REGISTERED PROFESSIONAL LAND SURVEYOR DO HEREBY CERTIFY THAT THE ABOVE PLAT IS A TRUE REPRESENTATION OF A SURVEY MADE UNDER MY SUPERVISION, ON THE GROUND, AND THAT THERE ARE NO EXCESSES NOR INTRUSIONS ON THIS PROPERTY, EXCEPT AS SHOWN.
 DATE SURVEYED: JULY 11, 2023

Terry Singletary
 TERRY SINGLETARY
 REGISTERED PROFESSIONAL LAND SURVEYOR
 TEXAS REGISTRATION NUMBER 4808

- NOTES:
1. ALL COORDINATES AND BEARINGS ARE RELATIVE TO THE ZONE 18N FLMN COORDINATE SYSTEM, SOUTH CENTRAL ZONE (NAD 83).
 2. ALL DISTANCES ARE HORIZONTAL SURFACE LEVEL LENGTHS. (SF = 0.99998406716)
 3. NO TITLE COMMITMENT WAS PROVIDED FOR THIS SURVEY. THERE MAY BE ITEMS OF RECORD WHICH AFFECT THIS PROPERTY, NOT SHOWN HEREON.
 4. THIS PROPERTY IS LOCATED WITHIN THE LIMITS OF ZONE 4E, THIS ZONE'S FLOOD INSURANCE RATE MAP NUMBER 48035006754, DATED DECEMBER 30, 2020.
 5. BUILDING LINES AND EASEMENTS ARE PER RECORDED PLAT.

- LEGEND:
- FOUND IRON PIPE/ROD
 - SET 5/8" IRON ROD W/ TRS CAP
 - ⊕ POWER POLE
 - OH — OVERHEAD WIRE
 - BUILDING LINE
 - EASEMENT
 - LOT LINE
 - PROPERTY LINE

LOT 13, BLOCK 1
 OF
 SEAHORSE ESTATES
 AS RECORDED IN
 COUNTY CLERK'S FILE NO. 2006-048912
 OF THE
 BRAZORIA COUNTY OFFICIAL RECORDS
 IN THE
 S. F. AUSTIN PENINSULAR LEAGUE
 ABSTRACT 29
 BRAZORIA COUNTY, TEXAS
 FOR
 JOHN HOWTON
 6150 BLUEWATER HIGHWAY
 Doyle & Wachstetter, Inc.
 Surveying and Mapping GPS/GIS
 151 COMMERCIAL STREET, SUITE 1750, HOUSTON, TEXAS 77059
 PHONE: 713.265.5322 FAX: 713.265.5906

vegetation view





North View

Beach water view



Dune view





East View



West View

West View



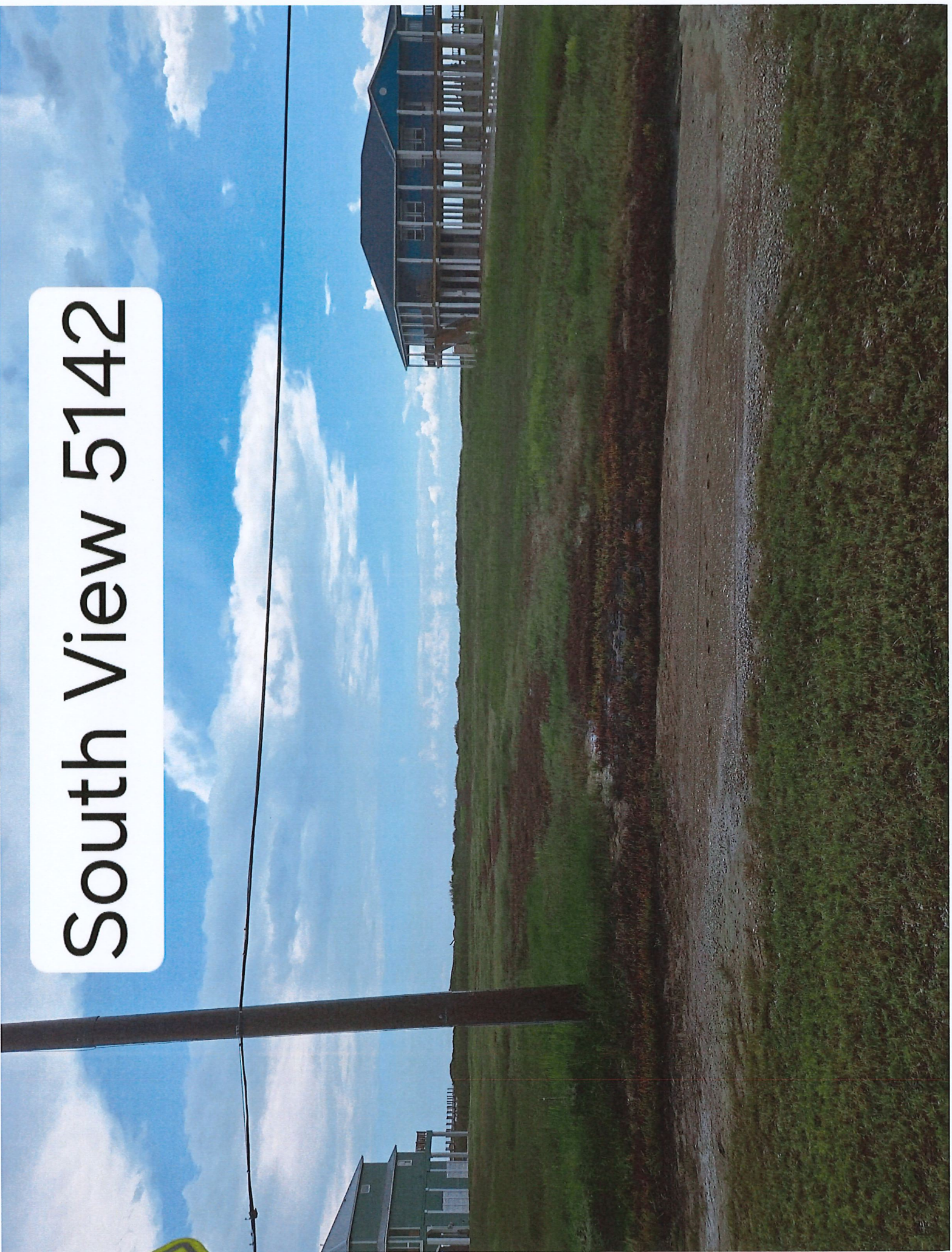
South View



East View



South View 5142



South View 5150



Speich Custom Homes, L.L.C.

20235 Eden Pines, Spring TX. 77379

281-795-5662, Fax 281-655-5383

BBB Member

September 26, 2024

Beach Access & Dune Protection Program
Texas General Land Office
1700 North Congress Ave
Austin, TX 78711-2873

Beachfront Construction Certification and Dune Protect Permit in Brazoria County

Site Address: 5150 Bluewater Highway (CR 257), Freeport TX 77541

Legal Description: Seahorse (A0029 SF Austin) Lot 13

Lot Applicant: Seahorse Beach Club, c/o Speich Custom Homes, L.L.C.

GLO ID No.: BDBC-24-0130

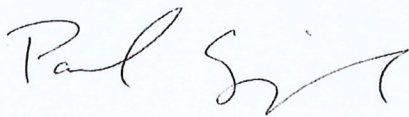
Dear Joe Ripple, and GLO,

I am requesting New Construction Build Permit be issued for Lot 12 Seahorse. The lot did not have any damage or washout from hurricane Beryl. Attached are photos taken September 25th, 2024, Site Plan dated January 2, 2024. It shows the distance to vegetation line, and distance to Higher High Tide and Mean Low Tide.

1. Survey and Site plans dated January 2, 2024. Includes distances and color photo overlay.
2. The dune built a few years back by Brazoria County is at the vegetation line, 282' away according to the Site Plan. The dune is well over 25' away from the house site.
3. Attached are photos with digital dates and GPS. Taken from in front of both lots, the sides and North View.

If you have any questions, please contact me at (281) 794-5662 or by email at pspeich@comcast.net.

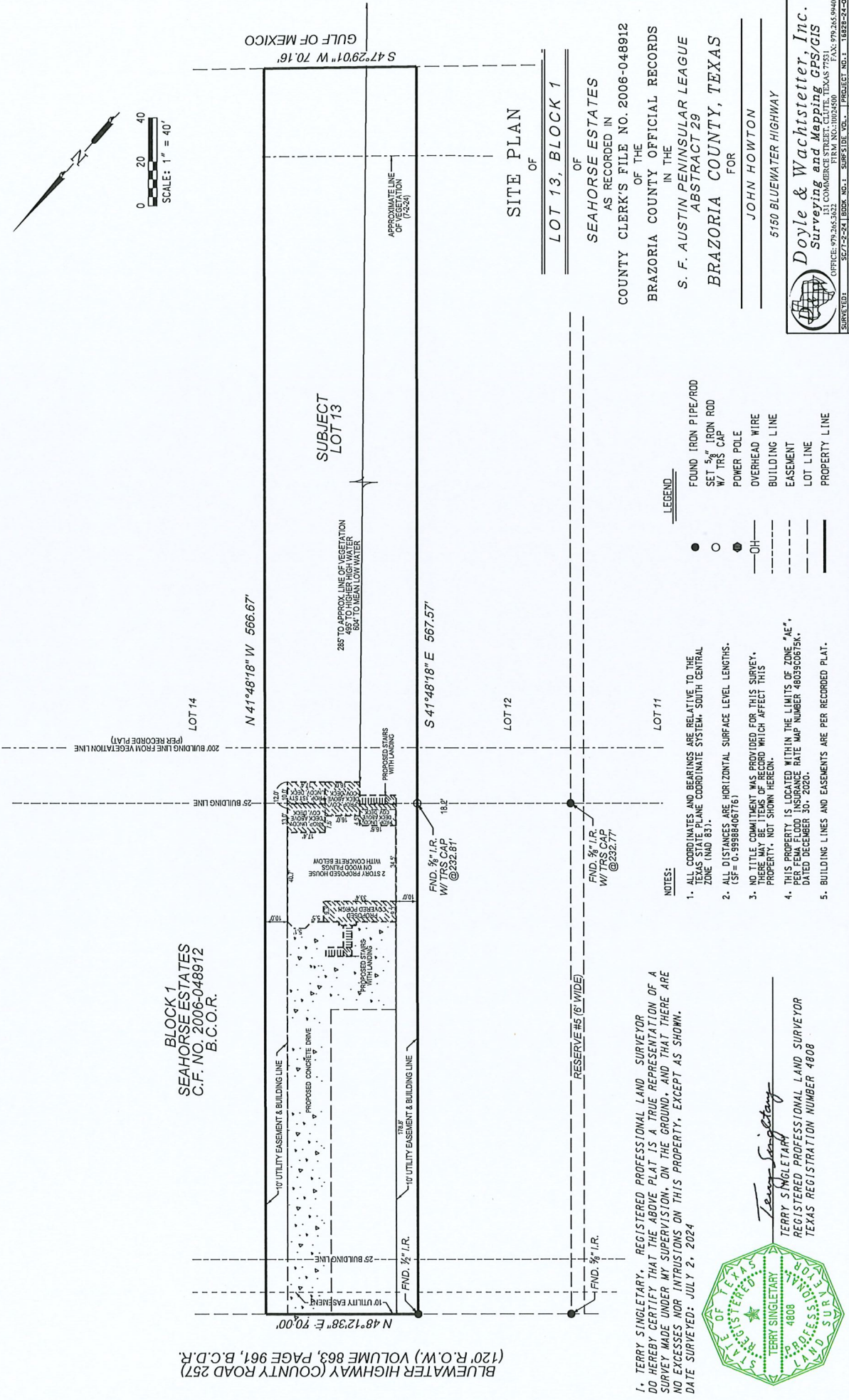
Sincerely,



Paul Speich
Speich Custom Homes, L.L.C.

**BRAZORIA COUNTY
TEXAS**

**S. F. AUSTIN PENINSULAR LEAGUE
ABSTRACT 29**



**BLOCK 1
SEAHORSE ESTATES
C.F. NO. 2006-048912
B.C.O.R.**

BLUEWATER HIGHWAY (COUNTY ROAD 257)
(120' R.O.W.) VOLUME 863, PAGE 961, B.C.D.R.

1. TERRY SINGLETARY, REGISTERED PROFESSIONAL LAND SURVEYOR DO HEREBY CERTIFY THAT THE ABOVE PLAT IS A TRUE REPRESENTATION OF A SURVEY MADE UNDER MY SUPERVISION, ON THE GROUND, AND THAT THERE ARE NO EXCESSES NOR INTRUSIONS ON THIS PROPERTY, EXCEPT AS SHOWN.
DATE SURVEYED: JULY 2, 2024



Terry Singletary
TERRY SINGLETARY
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NUMBER 4808

- NOTES:**
- ALL COORDINATES AND BEARINGS ARE RELATIVE TO THE TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH CENTRAL ZONE (NAD 83).
 - ALL DISTANCES ARE HORIZONTAL SURFACE LEVEL LENGTHS.
 - NO TITLE COMMITMENT WAS PROVIDED FOR THIS SURVEY. PROPERTY, NOT SHOWN HEREON.
 - THIS PROPERTY IS LOCATED WITHIN THE LIMITS OF ZONE "AE", PER FEMA FLOOD INSURANCE RATE MAP NUMBER 4809060675K, DATED DECEMBER 30, 2020.
 - BUILDING LINES AND EASEMENTS ARE PER RECORDED PLAT.

- LEGEND:**
- FOUND IRON PIPE/ROD
 - SET 5/8" IRON ROD W/ TRS CAP
 - ⊙ POWER POLE
 - OH— OVERHEAD WIRE
 - BUILDING LINE
 - - - EASEMENT
 - - - LOT LINE
 - PROPERTY LINE

**SITE PLAN
OF
LOT 13, BLOCK 1
OF
SEAHORSE ESTATES
AS RECORDED IN
COUNTY CLERK'S FILE NO. 2006-048912
OF THE
BRAZORIA COUNTY OFFICIAL RECORDS
IN THE
S. F. AUSTIN PENINSULAR LEAGUE
ABSTRACT 29
BRAZORIA COUNTY, TEXAS
FOR
JOHN HOWTON
5150 BLUEWATER HIGHWAY**

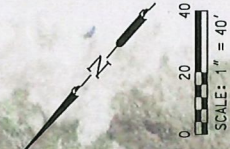
Doyle & Wachtstetter, Inc.
Surveying and Mapping GPS/GIS
131 COMMERCE STREET, CLUTE, TEXAS 77531
OFFICE: 979-265-5624 FIRM NO.: 10024500 FAX: 979-265-5940
SURVEYED: 5/27/24 BDDK. NO.: 1 SURF. I.D.E. VOL.: PROJECT NO.: 18228-24-02
DRAWN BY: JAW/SS/SL CHECKED: ISJ/SS/SL REVISION:

BRAZORIA COUNTY
TEXAS

S.F. AUSTIN PENINSULAR LEAGUE
ABSTRACT 29

BLUWATER HIGHWAY (COUNTY ROAD 25)
(120' R.O.W.) VOLUME 863, PAGE 961, B.C.D.R.

BLOCK 1
SEAHORSE ESTATES
C.F. NO. 2006-048912
B.C.O.R.



- NOTES:
1. ALL COORDINATES AND BEARINGS ARE RELATIVE TO THE TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH CENTRAL ZONE (NAD 83).
 2. ALL DISTANCES ARE HORIZONTAL SURFACE LEVEL LENGTHS. (S.F. = 0.999884681761)
 3. NO TITLE COMMITMENT WAS PROVIDED FOR THIS SURVEY. THERE MAY BE ITEMS OF RECORD WHICH AFFECT THIS PROPERTY, NOT SHOWN HEREIN.
 4. THIS PROPERTY IS LOCATED WITHIN THE LIMITS OF ZONE "AE", PER FEMA FLOOD INSURANCE RATE MAP NUMBER 480900675K, DATED DECEMBER 30, 2020.
 5. BUILDING LINES AND EASEMENTS ARE PER RECORDED PLAT.

- LEGEND:
- FOUND IRON PIPE/ROD
 - SET 3/4" IRON ROD W/ TRS CAP
 - ⊙ POWER POLE
 - OH — OVERHEAD WIRE
 - — — BUILDING LINE
 - — — EASEMENT
 - — — LOT LINE
 - — — PROPERTY LINE

I, TERRY SINGLETARY, REGISTERED PROFESSIONAL LAND SURVEYOR DO HEREBY CERTIFY THAT THE ABOVE PLAT IS A TRUE REPRESENTATION OF A SURVEY MADE UNDER MY SUPERVISION, ON THE GROUND, AND THAT THERE ARE NO EXCESSES NOR INTRUSIONS ON THIS PROPERTY, EXCEPT AS SHOWN.
DATE SURVEYED: JULY 2, 2024



Terry Singletary
TERRY SINGLETARY
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NUMBER 4808

SITE PLAN
OF
LOT 13, BLOCK 1
OF
SEAHORSE ESTATES
AS RECORDED IN
COUNTY CLERK'S FILE NO. 2006-048912
OF THE
BRAZORIA COUNTY OFFICIAL RECORDS
IN THE
S. F. AUSTIN PENINSULAR LEAGUE
ABSTRACT 29
BRAZORIA COUNTY, TEXAS
FOR
JOHN HOWTON
5150 BLUEWATER HIGHWAY

Doyle & Wachstetter, Inc.
Surveying and Mapping, GPS/GIS
OFFICE: 979.345.5421 | SURVEYING: 979.345.5440
FIRM: NO. 30024500 | TEXAS: 979.345.5440
PROJECT NO.: 18828-24-02
DRAWN BY: JMS7/3-24 | CHECKED: JMS7/3-24 | REVISED:



BRAZORIA COUNTY

**NOTICE OF RESIDENTIAL CONSTRUCTION
INSPECTION COMPLIANCE
IN UNINCORPORATED AREA**

(TO BE SUBMITTED BY BUILDER)

6/24/24
Received

2024-183
Related OSSF
Application #

Permit #
100
IRC #

BUILDERS NAME: Speech Center Home

PROJECT INFORMATION

TYPE OF CONSTRUCTION: (Check One)

- 1) New Residential Construction on a vacant lot
- 2) Addition to an Existing Residential Unit

NOTE: *If a property lies in an ETJ it is required to contact the city hall for appropriate building codes.*

LOCATION:

Address 5150 - Bluewater Highway

Lot and Block # 131 Subdivision Seabon

or Survey _____ Tract/Acreage _____

or Deed Reference _____ Property ID (MCAD)# _____

RESIDENTIAL CODE USED IN CONSTRUCTION:

- 1) INTERNATIONAL RESIDENTIAL CODE – published 2021
- date