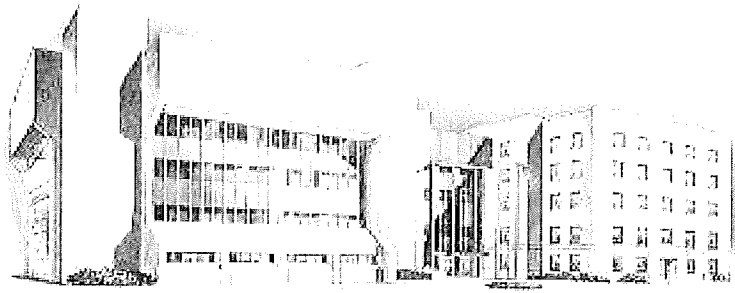


**JOE K. RIPPLE**  
FLOODPLAIN ADMINISTRATOR, CFM  
**SOFIA GARCIA GIBSON**  
FLOODPLAIN / BUILDING PERMITS  
OFFICE ASSISTANT SR.  
**BELINDA HOWELL**  
FLOODPLAIN / BUILDING PERMITS  
PERMIT TECHNICIAN  
**VICKIE THOMAS**  
FLOODPLAIN/BUILDING PERMITS  
FLOODPLAIN CONSULTANT



PHONE:  
(979) 864-1295  
(979) 388-1295  
(281) 756-1295

## **BRAZORIA COUNTY**

451 North Velasco, Suite #210  
Angleton, Texas, 77515

November 22, 2023

Mei Ling Valdes  
Planning, Permitting & Technical Services  
Coastal Resources Division  
Texas General Land Office  
P.O. Box 12873  
Austin, TX 78711-2873

Re: Beach front construction application for 13014 Buccaneer Parkway (Treasure Island) Freeport, TX

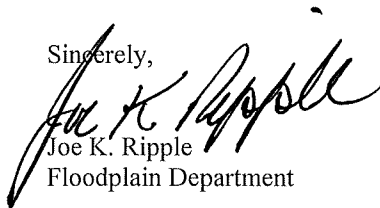
Dear Ms. Valdes,

This application is for a residential structure with 2002 Square feet of living area with (3) bedrooms and (2.5) baths built upon pilings certified by a professional engineer.

After construction a final elevation certificate will be turned into this office to show compliance with County and FEMA elevation requirements.

This beachfront construction application does not include a walkover and it complies with and promotes Brazoria County's beach access policies and requirements, particularly the dune protection and beach access policies relation to public beach ingress/egress, off beach parking and avoidance of reduction in the size of the public beach due to erosion.

Sincerely,



Joe K. Ripple  
Floodplain Department

Enclosures



TEXAS GENERAL LAND OFFICE  
COMMISSIONER DAWN BUCKINGHAM, M.D.

November 28, 2023

Via Electronic Mail

Joe Ripple, CFM  
Floodplain Administrator  
Brazoria County  
451 N Velasco, Suite #210  
Angleton, Texas 77515

**Beachfront Construction Certificate and Dune Protection Permit in Brazoria County**

**Site Address:** 13014 Buccaneer Pkwy, Freeport  
**Legal Description:** Treasure Island (A0029 S F Austin), Block 10, Lot 5  
**Lot Applicant:** Khodr Homes/Nour Khodr c/o I Declare Homes  
**GLO ID No.:** BDBC-23-0235

Dear Mr. Ripple:

The General Land Office (GLO) has reviewed the application materials for a beachfront construction certificate and dune protection permit for the above-referenced location. The applicant proposes to construct a single-family residence with concrete paving beneath the habitable structure, a crushed limestone driveway, and a septic system. The proposed construction is located more than 200 feet landward of the line of vegetation, which is the seaward side of the rock revetment in this area. According to the Bureau of Economic Geology, the area is eroding at a rate of four to eight feet per year.

Based on the materials forwarded to our office for review, we have the following comments:

- The applicant proposes to construct the habitable structure seaward of the Building Setback Line, which is prohibited without an exemption from Brazoria County.<sup>1</sup> To qualify for an exemption, the applicant must demonstrate to the satisfaction of the County that no practicable alternatives to construction seaward of the Building Setback Line exist.<sup>2</sup>
- Since the construction is located landward of 200 feet from the line of vegetation, the applicant may use reinforced concrete to pave only the area beneath the footprint of the proposed habitable structure, which does not include incidental projecting eaves, uncovered decks, uncovered stairs, or driveways.<sup>3</sup> Concrete beneath the uncovered stairs and uncovered deck is prohibited.
- Pervious materials such as brick pavers, gravel, or crushed limestone may be used to construct the driveway.<sup>4</sup> Crushed limestone as proposed is allowed.

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<sup>1</sup> Brazoria County Erosion Response Plan § 5.

<sup>2</sup> Brazoria County Erosion Response Plan § 5.1.

<sup>3</sup> Brazoria County Dune Protection and Beach Access Plan § 5(IV)(B)(3) & 31 Tex. Admin. Code § 15.2(39).

<sup>4</sup> 31 Tex. Admin. Code § 15.6(f)(3).

Mr. Ripple  
November 28, 2023  
Page 2 of 2

- Cisterns, septic tanks, and septic fields are prohibited from being constructed seaward of any structure serviced by the cisterns, septic tanks, and septic fields.<sup>5</sup> As proposed, the septic system appears to comply with this requirement.
- The County must limit the area of enclosures below BFE to 299 square feet.<sup>6</sup>
- The applicant should direct all stormwater inland away from the critical dune area, public beach and adjacent properties. The County shall not issue a certificate or permit authorizing construction unless the construction activities will minimize impacts on natural hydrology and will not cause erosion of adjacent properties, the critical dune area, or the public beach.<sup>7</sup>
- The County must ensure the proposed construction is consistent with the FEMA-approved county commissioners court order.<sup>8</sup>

**Any deviations from what is proposed in this permit application requires a new or amended beachfront construction certificate and dune protection permit and further GLO review.**

If you have any questions, please contact me at (512) 463-5720 or at [meiling.valdes@glo.texas.gov](mailto:meiling.valdes@glo.texas.gov).

Sincerely,



Mei Ling Valdes  
Beach Access & Dune Protection Program  
Coastal Resources Division  
Texas General Land Office

cc: Vickie Thomas, Brazoria County

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<sup>5</sup> Brazoria County Dune Protection and Beach Access Plan § 3(II)(K) & 31 Tex. Admin. Code § 15.4(c)(10).

<sup>6</sup> Brazoria County Erosion Response Plan § 5.3.

<sup>7</sup> 31 Tex. Admin. Code § 15.6(h).

<sup>8</sup> 31 Tex. Admin. Code § 15.6(e)(3).

# BRAZORIA COUNTY BUILDING PERMIT APPLICATION

Angleton 979-864-1295

451 North Velasco, Suite 210, Angleton, TX 77515

Houston/Alvin 281-756-1295

## OWNERSHIP INFORMATION:

Name: I Declare Homes - Gregory Filippov Phone: 713-899-9579

Current/Mailing Address: 14623 Bramblewood Dr. Houston TX 77079  
Street or PO Box City/State Zip Code

Building Contractors Information: <u>Khodr Homes - Nour</u>	Address: <u>8018 Rippling Stream Ln</u>	Phone: <u>832-770-1010</u>
---	---	----------------------------

## LOCATION OF CONSTRUCTION:

Subdivision: <u>Treasure Island</u>		<b>SITE ADDRESS (Where Structure Will Be Placed or Constructed)</b>			
		Street Address: <u>13014 Buccaneer Parkway</u> City (required): <u>Freeport</u>			
Section:	Block:	Lot:	Abstract No.:	Acreage:	PID #:
<u>1</u>	<u>10</u>	<u>5</u>	<u>29</u>		<u>257423</u>

TYPE OF IMPROVEMENT Check Appropriate Box(es)	PROPOSED USE Fill Out and Check Any That Apply to Your Application	OWNERSHIP Check Appropriate Box(es) Fill Out Cost & Sq. Ft.	TYPE OF WATER SUPPLY Check Appropriate Box	TYPE OF SEWAGE DISPOSAL Check Appropriate Box(es)
<input checked="" type="checkbox"/> New Building <input type="checkbox"/> Addition to Building <input type="checkbox"/> Manufactured Home <input type="checkbox"/> Mobile Home <input type="checkbox"/> Residential RV <input type="checkbox"/> Levee Construction <input type="checkbox"/> Relocated Building - <input type="checkbox"/> Came from Outside County <input type="checkbox"/> Mobile Home Park or RV Park # of Spaces _____	<input checked="" type="checkbox"/> Residential Number of Bedrooms: <u>3</u> Number of Bathrooms: <u>2</u> Full <u>1</u> Partial <input checked="" type="checkbox"/> One Family <input type="checkbox"/> Multi Family - # of Units: _____ <input type="checkbox"/> Non-Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Other: _____ (Type of Building)	<input checked="" type="checkbox"/> Private (Individual, Corp, Non-Profit) <input type="checkbox"/> Public (Federal, State, etc....)  Cost: \$ <u>235,000</u>  Floor Area Sq. Ft. (including garage): <u>2002</u> sq. ft.	<input checked="" type="checkbox"/> Public/Private Company <input type="checkbox"/> Individual (Water Well)	<input type="checkbox"/> Public/Private Company <input checked="" type="checkbox"/> Individual (Septic)  Copy of Environmental Health Permit attached: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No  #: <u>2023-629</u>

**Fee:** Application fee of \$75.00 for Residential permits. If the property lies within the Special Flood Hazard Area of the County, an additional fee of \$0.04 per square foot for Inspection fees will be charged. A natural ground elevation certificate and copy of floor plan are also required for Flood Zone areas. Any application for property of less than ten (10) acres shall obtain an Environmental Permit approval before a County building permit will be issued. UNLESS otherwise specified. **MAKE CHECKS PAYABLE TO: "TREASURER OF BRAZORIA COUNTY"-NO REFUNDS.**

**ALL COMMERCIAL BUILDINGS** will require approvals from the local Drainage District, Environmental Health and a Fire Code permit by the County Emergency Management Coordinator. **Special flood hazard areas require additional documents.** All commercial construction in Pearland's ETJ is required to contact Pearland City Hall. **Fees Vary According To Type of Business.**

**ANY construction located on a proposed County and/or Municipal Thoroughfare in Pearland's ETJ is required to contact Pearland City Hall**

Signature: [Signature] Date: 11-22-2023

DO NOT WRITE BELOW THIS LINE							
Approved By: <u>Vukhi Sharma</u>		Highest Natural Ground is <u>3.7</u> ft. Certified By: <u>Terry Singleton</u> RPLS # <u>4808</u> on <u>10/25/21</u>		Permit Fee \$ <u>75</u>	Inspection Fee \$ <u>80.08</u>	Date Of Permit	Permit Number
Electric	Mailbox Ltr	Setback Ltr	Thoroughfare	Total Fee: \$ <u>155.08</u>		Check #	Receipt No.
<u>CP</u>	<u>Yes</u>	<u>25'</u>	<u>No</u>			<u>1184</u>	<u>18916</u>
ETJ	Inspection Ltr	Ack Ltr	Mobile Home Information	FEMA Zone: <u>VE</u> <u>162</u> Elevation: <u>18</u> MSL		Panel No.: <u>67516</u>	Class
<u>Freeport</u>	<u>Yes</u>	<u>No</u>	<u>No</u>			<u>12/30/23</u>	<u>B</u>

Special Provisions: \_\_\_\_\_  
 Mail ☐ Email ☒ To: I Declare Homes e Gmail . com Pick Up ☐



**Brazoria County Floodplain Receipt****(979) 864-1295****(281) 756-1295**111 East Locust Bldg. A-29  
Angleton, Texas 77515

Floodplain Administrator

<b>Receipt No</b>	00018916	<b>Receipt Date</b>	11/22/2023	<b>Receipt Time</b>	10:24:31 AM
<b>Received From:</b> I Declare Homes, LLC					

<b>Trans Type:</b>	RPR75	<b>Permit Fee - NC - Residential, Mobile Homes and Barns</b>	<b>HUD / County Exempt:</b>	N
<b>Misc. Descr:</b>		<b>Qty:</b>	1	<b>Price:</b> \$75.00

<b>Permit No:</b>	<b>Square Footage:</b>	0	<b>Amount Sq. Ft</b>	\$0.00
<b>Contractor:</b>				
<b>Owner:</b>				

**Amount Owed:** \$75.00

<b>Trans Type:</b>	SQFTG	<b>Square Footage</b>	<b>HUD / County Exempt:</b>	N
<b>Misc. Descr:</b>		<b>Qty:</b>	1	<b>Price:</b> \$0.04

<b>Permit No:</b>	<b>Square Footage:</b>	0	<b>Amount Sq. Ft</b>	\$0.00
<b>Contractor:</b>				
<b>Owner:</b>				

**Amount Owed:** \$80.08**Comments:** 13014 Buccaneer Parkway Freeport CK# 1184**Payment Information**

<b>Payment Type:</b>	CHK	<b>Check# / MO#:</b>	1184	<b>Pay Amount:</b>	\$155.08
<b>Payment Type:</b>		<b>Check# / MO#:</b>		<b>Pay Amount:</b>	\$0.00

<b>Office Use Only</b>	<b>Posted:</b>	N
------------------------	----------------	---

**Total Amount Received:** \$155.08

<b>Rec. By:</b>	16157
<b>Void:</b>	N
<b>Void By:</b>	
<b>Void Date:</b>	
<b>Void Reason:</b>	<b>Void Time:</b>

STATEMENT OF COMMISSIONER'S COURT  
OF BRAZORIA COURT  
TO CONFORM TO REQUIREMENTS OF  
CLASS "B" BUILDING PERMIT

STATE OF TEXAS

COUNTY OF BRAZORIA

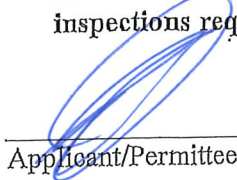
The undersigned holder of **Development Permit No.** \_\_\_\_\_ (whether acting individually or through a duly authorized agent or attorney) does hereby certify to Commissioners' Court of Brazoria County, Texas as follows.

The undersigned permittee:

1. Accepted **Development Permit No.** \_\_\_\_\_.
2. Is familiar with all plans, specifications and other written material attached to or filed with the **Development Permit Application** on file with the County Floodplain Administrator.
3. Acknowledges that the plans, specifications and other written material filed with **Development Permit Application** is incorporated by reference and made part of this Certificate for purposes.
4. Acknowledges self (itself) to be strictly bound to Commissioners' Court to construct the work permitted under the above described building permit in strict conformity with the plans, specifications and other written material incorporated by reference of this Certificated.
5. Hereby binds himself to establish the required construction elevation to a National Geodetic Survey Marker and have same certified by Texas Registered Surveyor (or agreeable alternate). **The original Finished Construction Elevation certificate with registered surveyor's stamp, signature, date and pictures shall be forwarded to the County Floodplain Administrator's office verifying top of bottom floor reading upon completion of the structure. It must indicate that it is the "Finished Construction" certificate showing (a) top of bottom floor reading and (e) lowest elevation of machinery or equipment in Section C of the certificate.**

If the Finished Construction Elevation Certificate is not received, your building permit will be put in violation in the Brazoria County Floodplain Administrator's office.

6. Is required to notify the County Floodplain Administrator when construction progresses to the point necessary for the foundation inspection (after certification) and later for the electrical/plumbing to verify the electrical and plumbing facility are above the base flood.
7. Shall not have a valid permit until this agreed upon and signed original document is on file and in possession of the County Floodplain Administrator.
8. If at any time an Engineering Study was required and the data submitted is found to be inaccurate, **Brazoria County or the County Floodplain Administrator** cannot be held liable. The responsibility shall fall back on the property owner and/or Engineering Firm submitting the information.
9. **Any structure that is used for commercial or a public facility must adhere to the International Fire Codes. Contact the Emergency Management Coordinator of Brazoria County for inspections required.**

  
Applicant/Permittee Signature



2023-029

Permit Number

- ☒ \$250 Single Family  
☐ \$450 All Others  
☒ New  
☐ Replacement  
☐ Alteration  
 Type DE w/chlorination  
 BCEHD USE ONLY

RECEIVED

NOV 14 2023

ENVIRONMENTAL  
HEALTH DEPT.

# ON-SITE SEWAGE FACILITY PERMIT APPLICATION BRAZORIA COUNTY ENVIRONMENTAL HEALTH DEPT

111 East Locust Bldg A-29, Suite 270 ANGLETON, TX 77515  
 HOUSTON (281)756-1600 ANGLETON (979)864-1600 CLUTE (979)388-1600

This application will expire one year from the application date if inspection  
 not complete. No refunds once permit is issued.

Attach Copy of Legal Description (i.e. Deed, Plat, Survey, Appraisal)

PROPERTY OWNER I Declare Homes  
 (NAME ON DEED) (LAST) (FIRST) (INT)

PHONE NUMBERS 713-899-9579

MAILING ADDRESS 14623 Bramblewood Dr. Houston, TX 77079-6401

SITE ADDRESS 13014 Buccaneer Parkway Freeport, TX 77541 Acres 50' x 100'

WATER SOURCE ☐ Private ☒ Public Treasure Island (Name) Water Saving Devices: Yes ☒ No ☐

SINGLE FAMILY RESIDENCE: # of Bedrooms 3 Living Area(Sq Ft) 12500 Daily Wastewater Usage Rate 240

COMMERCIAL/MULTI FAMILY: Type \_\_\_\_\_ # of Employees/Units \_\_\_\_\_ Days/Wk Occupied \_\_\_\_\_

DESIGNER Jerry D. Monical Reg# RS 3758 Phone# 979-798-7678

SITE EVALUATOR Jerry D. Monical Reg# OS0009673 Phone# 979-798-7678

INSTALLER Jerry D. Monical Reg# OS0029938 Phone# 979-798-7678

MAINTENANCE PROVIDER Jerry D. Monical Reg# MP0001870 Phone# 979-798-7678

TREATMENT UNIT(S): ☐ Septic Tank ☒ Aerobic Tank # of Tanks/Compartments 1/4 Size 500 gal

Manufacturer Clearstream Model 500NC3

DISPOSAL SYSTEM: Drainfield Area \_\_\_\_\_ sq ft Trench Depth \_\_\_\_\_ inches

Gravity ☐ 3" with gravel \_\_\_\_\_ ft ☐ 4" with gravel \_\_\_\_\_ ft Trench width \_\_\_\_\_ ft Gravel depth \_\_\_\_\_ ft

☐ 8" gravelless \_\_\_\_\_ ft ☐ 10" gravelless \_\_\_\_\_ ft ☐ Leaching Chamber \_\_\_\_\_ ft/panels

Other ☐ Low Pressure Dosing \_\_\_\_\_ ft Trench width \_\_\_\_\_ ft Gravel depth \_\_\_\_\_ inches

☐ Surface Irrigation \_\_\_\_\_ sq ft ☒ Drip Emitter 414 ft ☐ Other \_\_\_\_\_

I certify that the above statements are true and correct to the best of my knowledge. Authorization is hereby given to the Authorized Agent to enter upon the above described property for the purpose of lot evaluation and inspection of the OSSF. I also acknowledge that inspection of the OSSF is required prior to all components being covered and use of the system.

Signature of Owner (Name on Deed) I Declare Homes LLC Date 10/5/2023

DEPARTMENT USE ONLY BELOW THIS LINE

APPLICATION: ☒ APPROVAL ☐ DISAPPROVAL DATE 11-16-23 INSPECTOR lp LIC# 33419

Well Log or Plugging Reports Required? ☐ Yes ☒ No Joinder Agreement Required? ☐ Yes ☒ No Flood Zone ☒ Yes ☐ No

Brazoria County Appraisal ID # 257423 ETJ Freeport Flood Plain Info: ☒ New Construction ☐ Upgrade

Legal Description: SUB Treasure Island Ab 0029 Sec \_\_\_\_\_ Block 10 Lot 5 Precinct 1

Authorization to Construct Provided to Installer: Jerry monical Date: 11-16-23 ☐ In person ☐ Fax ☒ Mail By: EL

INSPECTION: ☐ APPROVAL ☐ DISAPPROVAL DATE \_\_\_\_\_ INSPECTOR \_\_\_\_\_ LIC# \_\_\_\_\_

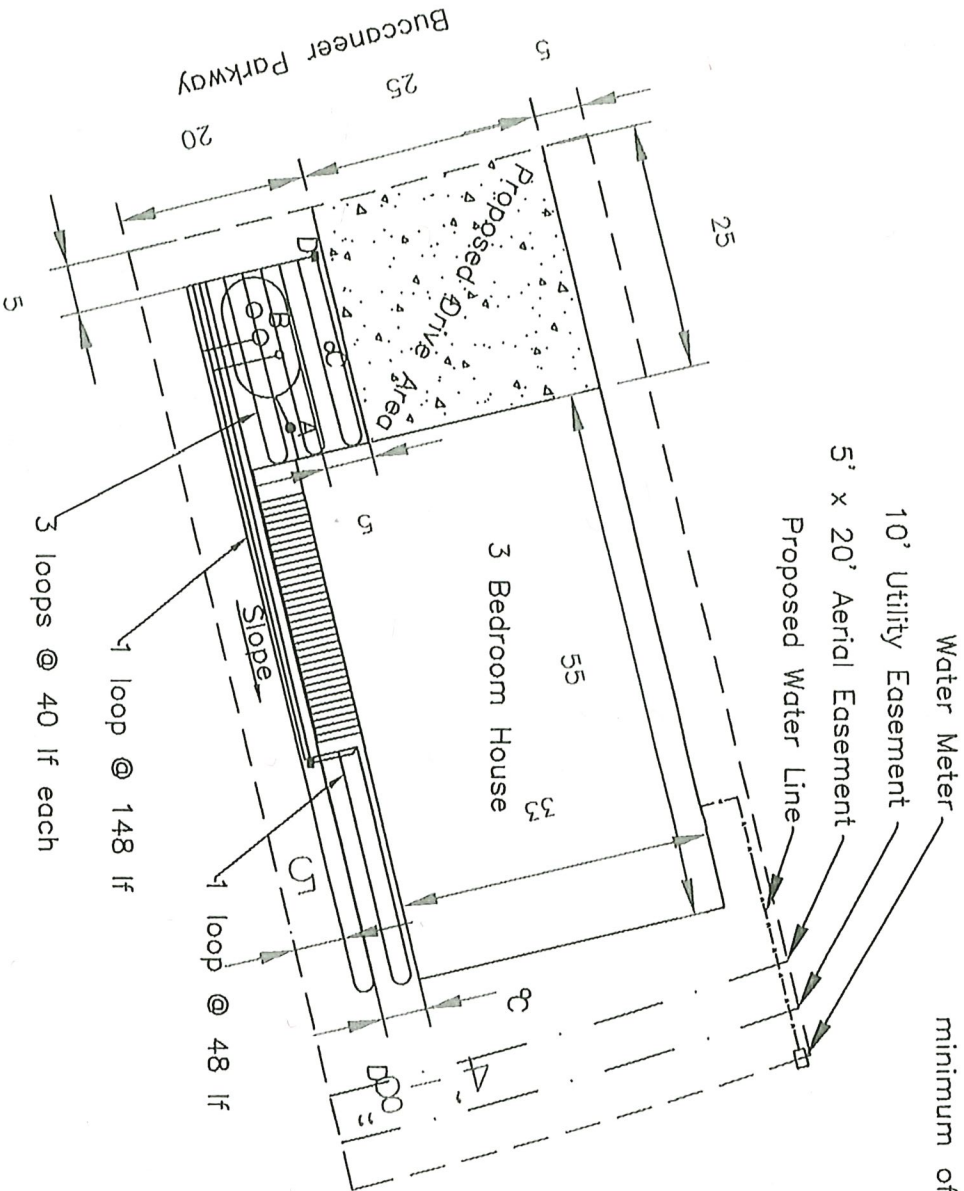
Final Permit Copies Provided to Installer: \_\_\_\_\_ Date: \_\_\_\_\_ ☐ In person ☐ Fax ☐ Mail By: \_\_\_\_\_

Provided to Maintenance Prov: \_\_\_\_\_ Date: \_\_\_\_\_ ☐ In person ☐ Fax ☐ Mail By: \_\_\_\_\_

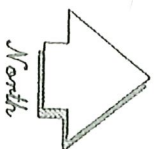
Revised 9/20/17 jcs

email: I Declare Homes@gmail.com

- A -- 2-way cleanout
- B -- Clearstream 500NC3 Treatment Unit
- C -- Soil Test
- D -- Vacuum Breaker



- Notes:
1. All supply and return header to be 1" schedule 40 PVC (purple).
  2. Tank to be installed a minimum of 12" below grade.



378' to edge of rip rap  
 311' to line of vegetation  
 (approx. per survey dated  
 10/28/21)



OWNER : I Declare Homes  
 ADDRESS : Block 10 Lot 5 Treasure Island (Buccaneer Pkwy)

COASTAL AEROBIC SYSTEMS, LLC  
 BRAZORIA, TEXAS

DATE : 11/8/23  
 SCALE : 1" = 20'  
 COUNTY : BRAZORIA  
 AREA COVERED: 632 SQ. FT.  
 DRAWN BY : JDM

# ELEVATION CERTIFICATE

**Important:** Follow the instructions on pages 1–9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A – PROPERTY INFORMATION				FOR INSURANCE COMPANY USE	
A1. Building Owner's Name I Declare Homes				Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 13014 Buccaneer Parkway				Company NAIC Number:	
City San Luis		State Texas		ZIP Code 77541	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) Lot 5, Block 10 Treasure Island Subdivision (Volume 9, Pages 73-74 B.C.P.R.), S.F. Austin Peninsular League, Abstract 29					
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>Residential</u>					
A5. Latitude/Longitude: Lat. <u>29°04'24.13" N</u> Long. <u>95°07'30.05" W</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983					
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.					
A7. Building Diagram Number _____					
A8. For a building with a crawlspace or enclosure(s):					
a) Square footage of crawlspace or enclosure(s) _____ 0.00 sq ft					
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>0</u>					
c) Total net area of flood openings in A8.b _____ 0.00 sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
A9. For a building with an attached garage:					
a) Square footage of attached garage _____ 0.00 sq ft					
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>0</u>					
c) Total net area of flood openings in A9.b _____ 0.00 sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number Brazoria County Unincorporated Area 485458			B2. County Name Brazoria		B3. State Texas
B4. Map/Panel Number 48039c0675	B5. Suffix K	B6. FIRM Index Date 06-05-1989	B7. FIRM Panel Effective/ Revised Date 12-30-2020	B8. Flood Zone(s) VE	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) 16.0'
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					



# ELEVATION CERTIFICATE

OMB No. 1660-0008  
Expiration Date: November 30, 2022

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 13014 Buccaneer Parkway			Policy Number:
City San Luis	State Texas	ZIP Code 77541	Company NAIC Number

## SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: ☒ Construction Drawings\* ☐ Building Under Construction\* ☐ Finished Construction

\*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO. Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.

Benchmark Utilized: RTCM-REF 2521 Vertical Datum: NAVD 88

Indicate elevation datum used for the elevations in items a) through h) below.

☐ NGVD 1929 ☒ NAVD 1988 ☐ Other/Source: \_\_\_\_\_

Datum used for building elevations must be the same as that used for the BFE.


Check the measurement used.

a) Top of bottom floor (including basement, crawlspace, or enclosure floor)	<u>20.0</u>	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters
b) Top of the next higher floor	<u>N/A</u>	<input type="checkbox"/> feet	<input type="checkbox"/> meters
c) Bottom of the lowest horizontal structural member (V Zones only)	<u>18.0</u>	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters
d) Attached garage (top of slab)	<u>N/A</u>	<input type="checkbox"/> feet	<input type="checkbox"/> meters
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments)	<u>N/A</u>	<input type="checkbox"/> feet	<input type="checkbox"/> meters
f) Lowest adjacent (finished) grade next to building (LAG)	<u>3.4</u>	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters
g) Highest adjacent (finished) grade next to building (HAG)	<u>3.7</u>	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters
h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support	<u>N/A</u>	<input type="checkbox"/> feet	<input type="checkbox"/> meters

## SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor? ☐ Yes ☐ No ☐ Check here if attachments.

Certifier's Name Terry Singletary	License Number TX RPLS 4808		
Title Registered Professional Land Surveyor			
Company Name Doyle & Wachtstetter Inc.			
Address 131 Commerce St.			
City Clute	State Texas		ZIP Code 77531
Signature <i>Terry Singletary</i>	Date 10-25-2021	Telephone (979) 265-3622	Ext. 1042

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)

A bridge spike was set in a power pole near the east corner of the lot for bench mark at elevation 6.74 feet ( 6' 8 15/16").  
Elevations called in Section C2(a) and (c) are proposed elevations.

# ELEVATION CERTIFICATE

OMB No. 1660-0008  
Expiration Date: November 30, 2022

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 13014 Buccaneer Parkway			Policy Number:
City San Luis	State Texas	ZIP Code 77541	Company NAIC Number

## SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawlspace, or enclosure) is \_\_\_\_\_ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- b) Top of bottom floor (including basement, crawlspace, or enclosure) is \_\_\_\_\_ ☐ feet ☐ meters ☐ above or ☐ below the LAG.
- E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is \_\_\_\_\_ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E3. Attached garage (top of slab) is \_\_\_\_\_ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is \_\_\_\_\_ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? ☐ Yes ☐ No ☐ Unknown. The local official must certify this information in Section G.

## SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner or Owner's Authorized Representative's Name

Address City State ZIP Code

Signature Date Telephone

Comments

☐ Check here if attachments.

# ELEVATION CERTIFICATE

OMB No. 1660-0008  
Expiration Date: November 30, 2022

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 13014 Buccaneer Parkway			Policy Number:
City San Luis	State Texas	ZIP Code 77541	Company NAIC Number

## SECTION G – COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8–G10. In Puerto Rico only, enter meters.

- G1. ☐ The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. ☐ A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. ☐ The following information (Items G4–G10) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate of Compliance/Occupancy Issued
-------------------	------------------------	---

- G7. This permit has been issued for: ☐ New Construction ☐ Substantial Improvement
- G8. Elevation of as-built lowest floor (including basement) of the building: \_\_\_\_\_ ☐ feet ☐ meters Datum \_\_\_\_\_
- G9. BFE or (in Zone AO) depth of flooding at the building site: \_\_\_\_\_ ☐ feet ☐ meters Datum \_\_\_\_\_
- G10. Community's design flood elevation: \_\_\_\_\_ ☐ feet ☐ meters Datum \_\_\_\_\_

Local Official's Name	Title
Community Name	Telephone
Signature	Date

Comments (including type of equipment and location, per C2(e), if applicable)

☐ Check here if attachments.

**BUILDING PHOTOGRAPHS****ELEVATION CERTIFICATE**

See Instructions for Item A6.

OMB No. 1660-0008

Expiration Date: November 30, 2022

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 13014 Buccaneer Parkway			Policy Number:
City San Luis	State Texas	ZIP Code 77541	Company NAIC Number
<p>If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.</p>			
Photo One			
Photo One			
Photo One Caption	Front View		Clear Photo One
Photo Two			
Photo Two			
Photo Two Caption	Rear View		Clear Photo Two

**ELEVATION CERTIFICATE****BUILDING PHOTOGRAPHS**

Continuation Page

OMB No. 1660-0008

Expiration Date: November 30, 2022

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 13014 Buccaneer Parkway			Policy Number:
City San Luis	State Texas	ZIP Code 77541	Company NAIC Number

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.

Photo Three

Photo Three

Photo Three Caption

Left Side View

Clear Photo Three

Photo Four

Photo Four

Photo Four Caption

Right Side View

Clear Photo Four





13014 Buccaneer  
Parkway - South



13014 Buccaneer  
Parkway - North





13014 Buccaneer  
Parkway - West



13014 Buccaneer  
Parkway - East





# I Declare Homes

---

14623 Bramblewood Dr.  
Houston, TX 77079  
(713) 899-9579  
IDeclareHomes@gmail.com

November 16, 2023

BUILDING PERMIT DEPARTMENT  
111 EAST LOCUST, BLDG A-29, SUITE 210  
ANGLETON, TX 77515  
ATTN: JOE RIPPLE

Please accept this letter for the purpose of submitting to Brazoria County an application for Beachfront Construction. Below I will provide pertinent information for the purpose of permit evaluation and approval.

## Applicant Information

I Declare Homes LLC  
14623 Bramblewood Dr., Houston, TX 77079  
(713) 899-9579  
[IDeclareHomes@gmail.com](mailto:IDeclareHomes@gmail.com)

## Contractor Information

Khodr Homes  
Owner: Nour Khodr  
8018 Rippling Stream Ln., Richmond, TX 77407  
(832) 770-1010  
[Nour@khodrhomes.com](mailto:Nour@khodrhomes.com)

## Property Information

Property Owner: I Declare Homes LLC  
Legal Description: Lot Five (5) Block Ten (10), Treasure Island Subdivision, Brazoria County, Texas, a subdivision out of the S.F. Austin Survey, Abstract 29, in Brazoria County, Texas  
Property Address: 13014 Buccaneer Parkway, Freeport, TX 77541

## Development Description

A single family residence is proposed for new construction. Total living area is 1,880 square feet. The main first floor will have 1,307 square feet of living area and the second floor will have 573 square feet of living area. The first floor will be constructed eighteen (18) feet above base flood elevation.

Wood frame construction with hardie board siding will be used. A detailed floor plan is attached. Below the home, within the boundaries of the foundation, will be concrete decking with a 200 square foot storage shed. A crushed limestone driveway entering from Buccaneer Parkway will provide parking for three vehicles. The lot is relatively flat with the lowest grade 3.4 ft and highest grade 3.7 ft. Any grading will be determined by the concrete contractors, which will provide adequate slope for any water run off. The remaining pervious surface areas of the lot will be graded with a slight slope towards the drainage ditch and will be covered with St. Augustine grass, which is the extent of the proposed landscaping. Property is staked and ready for onsite inspection.

#### Duration

The proposed duration for construction and clean up will be approximately six (6) months, dependent on weather and material availability. No-revegetation will be necessary on this property.

#### Dune Effects

This lot does not have any dunes present, therefore construction will not have any effect on dunes and vegetation. The lot lies inland away from the beach waterfront. No walkway or walkover is required for this property. Photographs from the lot facing north, south, east, and west are attached.

#### Septic System

Aerobic system manufactured by Clearstream with 500 gallon capacity. OSSF design and permit is attached.

#### Statement of Concern

I, Gregory Filippov % I Declare Homes LLC affirm the construction and use of or access to and from the structure will not adversely affect the public beach or public beach access ways or exacerbate erosion.

Sincerely,

Gregory Filippov

Owner, I Declare Homes LLC



BLOCK 10  
TREASURE ISLAND  
VOL.9, PAGES 73-74  
B.C.P.R.

LOT 12

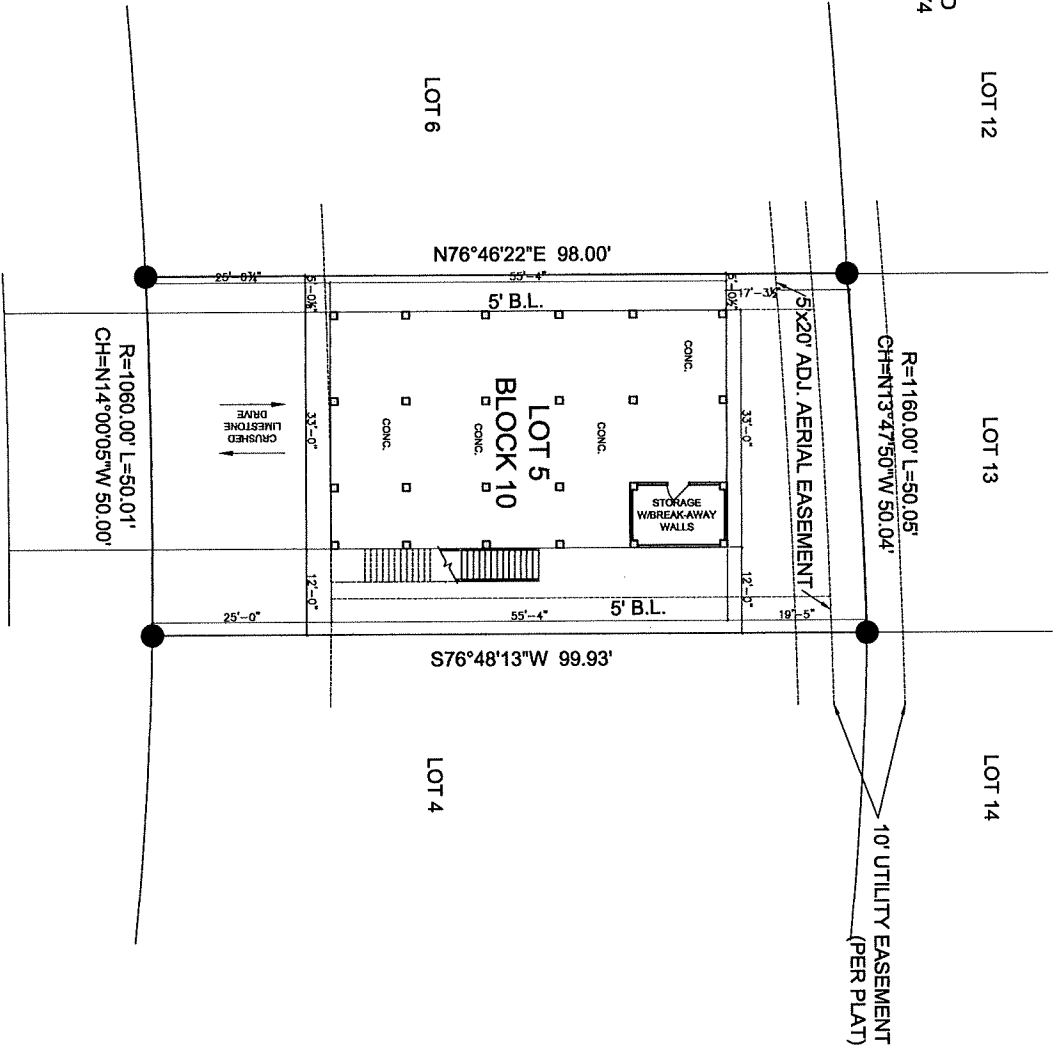
LOT 13

LOT 14

LOT 6

LOT 4

BUCCANEER PARKWAY (60'  
R.O.W.)



R=1060.00' L=50.01'  
CH=N14°00'05"W 50.00'

R=1160.00' L=50.05'  
CH=N13°47'50"W 50.04'

**LEGAL DESCRIPTION:**

LOT 5, BLOCK 10, OF TREASURE ISLAND, AS  
RECORDED IN VOL. 9, PAGES 73-74 OF THE BRAZORIA  
COUNTY PLAT RECORDS IN S.F. AUSTIN PENINSULAR  
LEAGUE ABSTRACT 28, BRAZORIA COUNTY, TEXAS.



**SITE PLAN**

1/8"=1'-0"

A.001

A CUSTOM RESIDENCE AT:  
13014 BUCCANEER PARKWAY,  
FREEPORT, TX 77541

I DECLARE



tongjiang@gmail.com

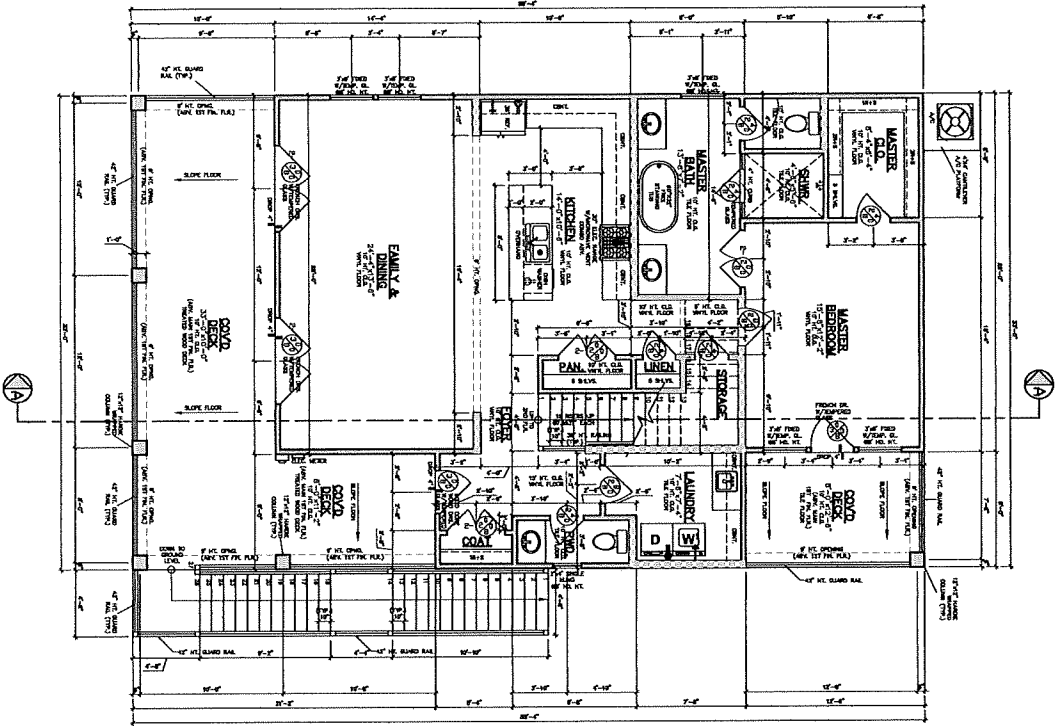
Contact: Tong Jiang  
Tel: (832) 271-6692

24718 Twilight Hollow Ln,  
Houston, TX 77066

AnTong  
Design







AREAS (SQ. FT.)	
MAIN 1ST FLOOR (A/C)	1,307
MAIN 2ND FLOOR (A/C)	572
TOTAL LIVING	1,880
1ST FLOOR COVERED DECK (PERIM.)	418
1ST FLOOR COVERED DECK (MASTER BR. BAL.)	102
STORAGE DECK/ROUND LEVEL	641
TOTAL NON-LIVING	1,261
TOTAL COVERED	2,321

#### STAIR SPECIFICATIONS:

- 1) 32" RISE & 10" RUN (MINIMUM TO 1ST FLOOR)
- 2) DESIGN & INSTALL STAIRS AS PER I.B.C. 1014, 1015
- 3) HANDRAIL SHALL BE 3" DIA. MIN. PER I.B.C. 1016
- 4) GUARDRAIL SHALL BE 4" DIA. MIN. PER I.B.C. 1016
- 5) MINIMUM VERTICAL CLEARANCE SHALL BE 6'8"
- 6) 3/4" RISE-CODE CRUISE BOARD UNDER STAIRS
- 7) ATTIC ACCESS STAIRWAY SHALL MIN. 30" DIA. 300 LBS LOAD

#### GENERAL NOTES

- 1) CONSTRUCTION OF INTERIOR (FINISH) AND EXTERIOR WALL (FINISH) CONFORMS AS PER (I.B.C. CH. 7)
- 2) BATHING AND SHOWER FLOORING AND WALLS ABOVE BATHING WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH AN NON-ABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND FLOOR (I.B.C. 1027.2)
- 3) PROVIDE GLAZING AT ALL HAZARDOUS LOCATIONS AS PER I.B.C. 1028.4
- 4) BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED WITH ADOPTIVE GLAZING WITH A MINIMUM OF NOT LESS THAN 5.7 SQ. FT. OF GLAZING WHICH MUST BE OPENABLE. IN LIEU OF NATURAL VENTILATION, A MECHANICAL VENTILATION SYSTEM NEEDS TO BE PROVIDED. VENTILATION SHALL BE DIRECTLY TO THE OUTSIDE (I.B.C. 1028.2)
- 5) ALL ESCAPE OR RESCUE WINDOWS FROM SLEEPING ROOMS HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. MINIMUM NET CLEAR OPENING IN THE MINIMUM NET CLEAR OPENING WITH GUARDRAIL SHALL BE NOT LESS THAN 20" HIGHER THAN THE FINISHED FLOOR FINISH FROM SLEEPING ROOMS SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44" INCHES ABOVE THE FLOOR (I.B.C. 1028.1)
- 6) SHOWER DETECTORS SHALL BE, HARD-WIRED, INTER-COMMUTED, AND NOT DETECTED FROM THE OUTSIDE (I.B.C. 1028.1)

#### WALL LEGEND

- 3/4" DIA. WALL
- 1/2" DIA. WALL
- USE 2X6 OR EQUIVALENT WHEN CEILING OR WALL HEIGHT IS OVER 10'

## MAIN 1ST FLOOR PLAN

1/4"=1'-0"



AnTong  
Design

30718 Twicken Hollow Ln.  
Richmond, TX 77466

Contact: Tong Jiang  
Tel: (832) 17-4692  
tongjiang@att.net



A CUSTOM RESIDENCE AT:  
13014 BUCCANEER PARKWAY,  
FREEPORT, TX 77541

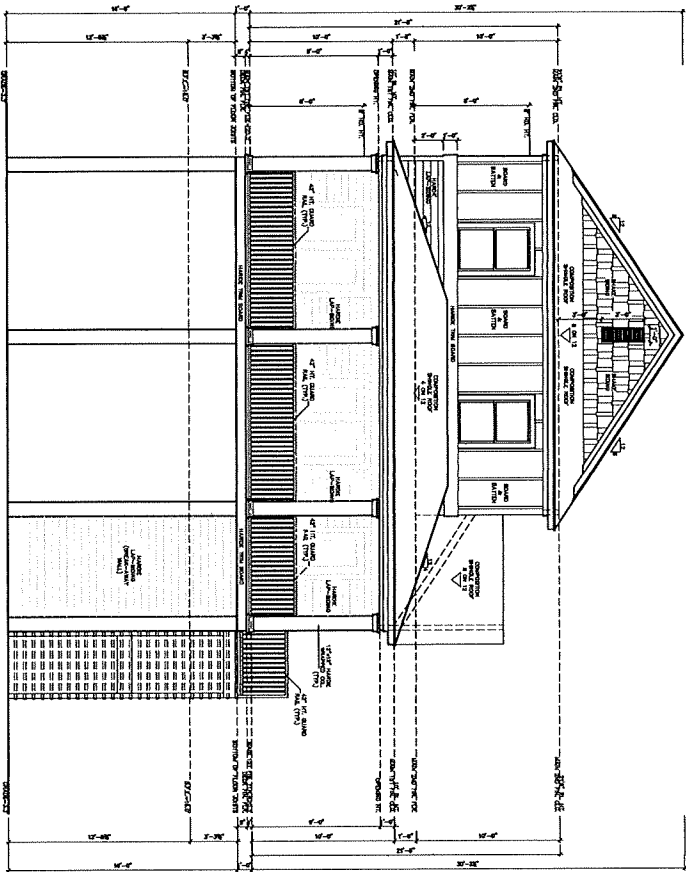
MAY 17, 2022  
(PERMIT SET)  
JAN. 18, 2023  
(REVISION)

A.101

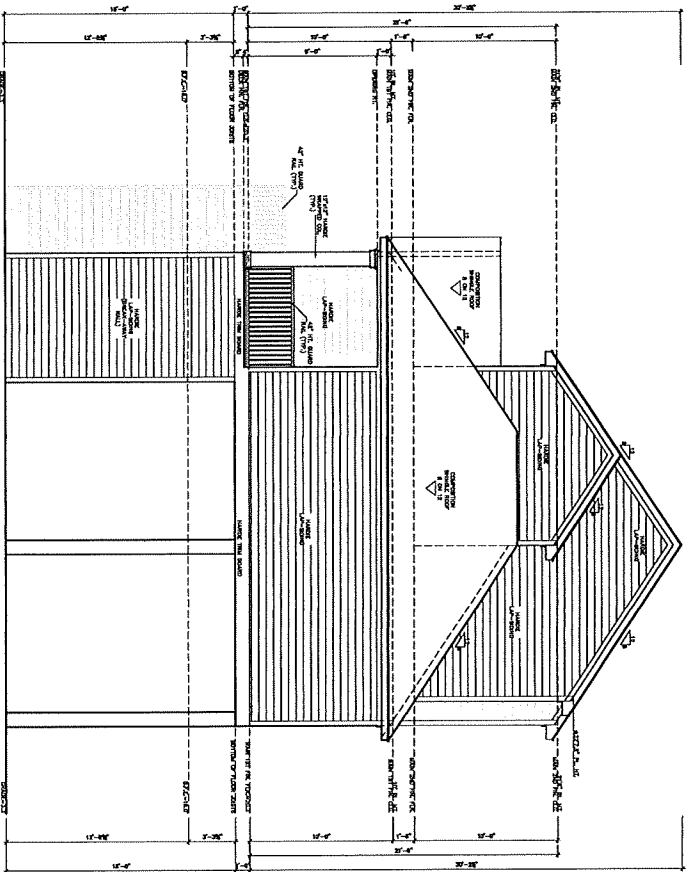


A.102

## MAIN 2ND FLOOR PLAN



FRONT ELEVATION  
1/4"=1'-0"



BACK ELEVATION  
1/4"=1'-0"



**Antong  
Design**

24718 Twilight Hollow Ln.  
Richmond, TX 77406

Contact: Tong Jiang  
Tel: (832) 217-4692  
E-mail: [tongjiang@gmail.com](mailto:tongjiang@gmail.com)



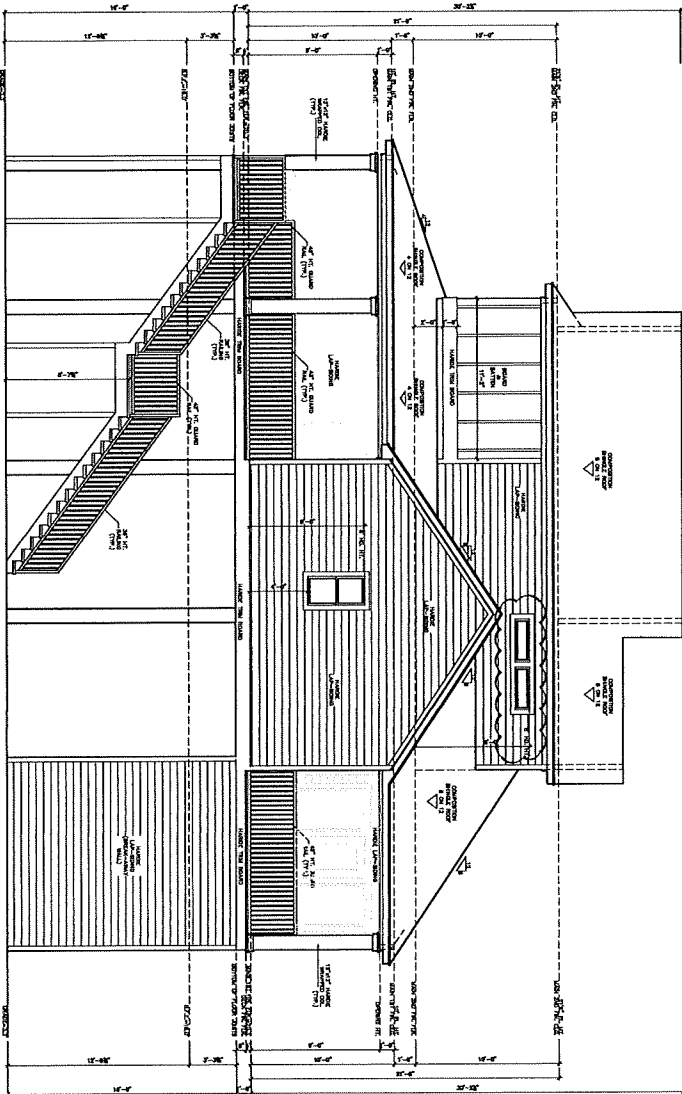
I DECLARE

A CUSTOM RESIDENCE AT:  
13014 BUCCANEER PARKWAY,  
FREEPORT, TX 77541

MAY 17 2022  
(PERMIT SET)  
JAN 18 2023  
(REVISIONS)

A.201





RIGHT ELEVATION  
1/4"=1'-0"



Antong  
Design

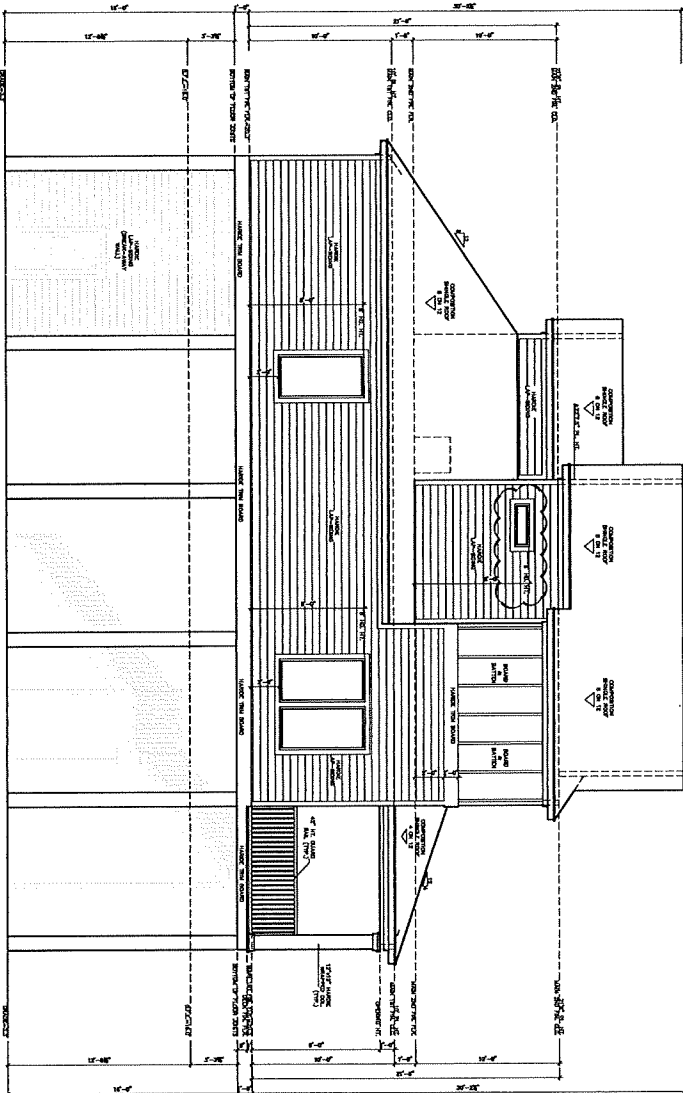
24718 Twilight Hollow Ln,  
Richmond, TX 77406

Contact: Tony Jiang  
Tel: (832) 717-6692  
Email: [tonyjiang@gmail.com](mailto:tonyjiang@gmail.com)



A CUSTOM RESIDENCE AT:  
13014 BUCCANEER PARKWAY,  
FREEPORT, TX 77541

MAY 17, 2022  
(REBUILT SET)  
JAN 18, 2023  
(REVISIONS)  
OCT 23, 2023  
(UNION, ADD, CHG, & STAGES)



LEFT ELEVATION  
1/4"=1'-0"



**AntTong  
Design**

24718 Twilight Hollow Ln.  
Richton Park, IL 60471

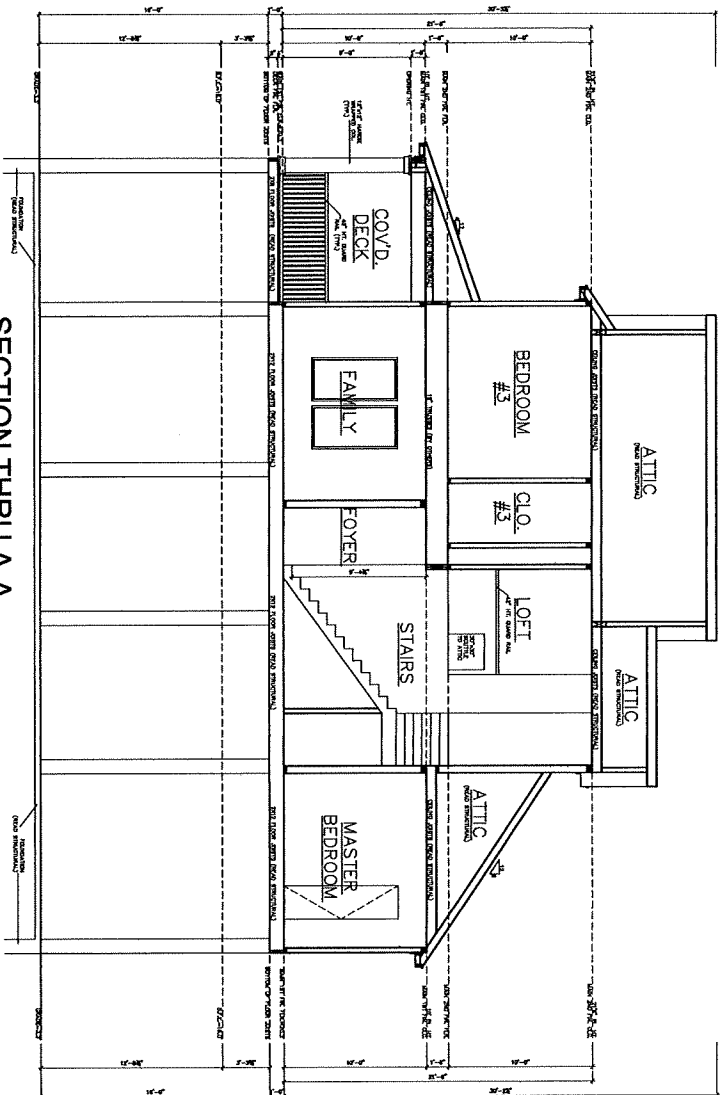
Owner: Tony Tong  
Tel: (630) 212-4655  
Email: [tongtongp@gmail.com](mailto:tongtongp@gmail.com)



A CUSTOM RESIDENCE AT:  
13014 BUCCANEER PARKWAY,  
FREEPORT, TX 77541

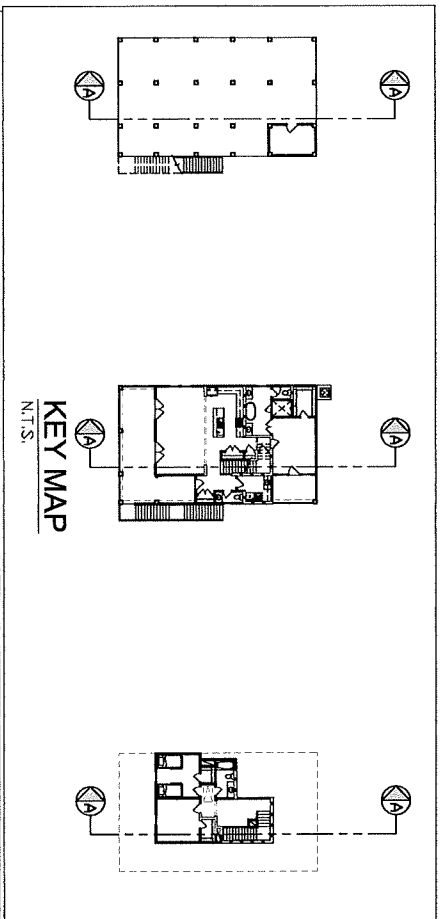
MAY 17, 2022  
(REVIEW SET)  
JAN 18, 2023  
(REVISIONS)  
OCT 23, 2023  
(UNION, APRIL 2024, & STAINED)

A.203



SECTION THRU A-A

1/4"=1'-0"



AnTong  
Design

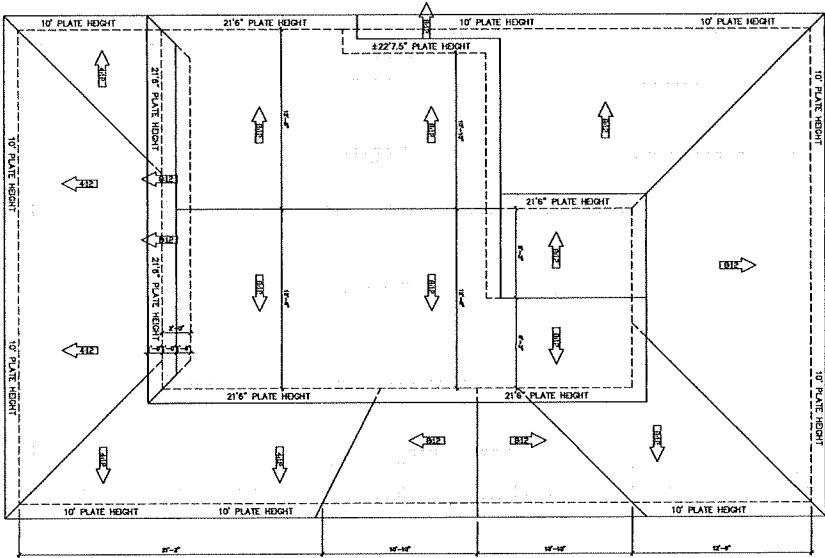
26718 Twilight Hollow Ln.  
Richmond, TX 77406

Contact: Tong Jiang  
Tel: (832) 46692  
tongjiang@gmail.com



A CUSTOM RESIDENCE AT:  
13014 BUCCANEER PARKWAY,  
FREEPORT, TX 77541

MAY 17, 2022  
(PERMIT SET)  
JAN. 18, 2023  
(REVISIONS)



# ROOF NOTES

ROOF TO BE COMPOSITION SINGLE, UNLESS NOTED OTHERWISE.  
 READ ROOF PLAN FOR ROOF PITCH.  
 TYPICAL ROOF OVERHANG IS 12" FROM FRAME, UNLESS NOTED OTHERWISE.  
 READ STRUCTURAL PLAN FOR WATER SIZE AND SPACING.  
 ALL PLUMBING SHALL BE SHOWN TO BE MEASURED FROM MAIN TO FINISH FLOOR.

## ROOF PLAN

1/4"=1'-0"



**Antong  
Design**

24718 Twiligh Hollow Ln,  
Richmond, TX 77466

Owner: Tong Jiang  
Tel: (832) 4668  
E-mail: tongjiang@gmail.com



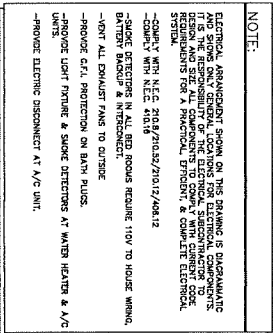
I DECLARE

A CUSTOM RESIDENCE AT:  
13014 BUCCANEER PARKWAY,  
FREEPORT, TX 77541

MAY 17, 2022  
(REVIEW SET)  
JAN. 18, 2023  
(REVISIONS)

A.301





# ELECTRICAL LEGEND

Q	110 VOLT DUPLEX RECEPTACLE
Q <sub>1</sub>	110 V. GROUND RECEPTACLE W/ GROUND FAULT INDICATING DEVICE
Q <sub>2</sub>	WATERPROOF 110 VOLT DUPLEX RECEPTACLE ON OUT OF CREDIT
Q <sub>3</sub>	220 VOLT RECEPTACLE
Q <sub>4</sub>	FLOOR DUPLEX RECEPTACLE
Q <sub>5</sub>	CABLE TELEVISION JACK
Q <sub>6</sub>	TELEPHONE JACK
Q <sub>7</sub>	SINGLE POLE SWITCH
Q <sub>8</sub>	THREE-WAY SWITCH
Q <sub>9</sub>	DOORBELL, PUSH-BUTTON
Q <sub>10</sub>	CILING MOUNTED HANGING LIGHT FIXTURE
Q <sub>11</sub>	RECESSED CILING LIGHT FIXTURE
Q <sub>12</sub>	WALL MOUNTED LIGHT FIXTURE
Q <sub>13</sub>	EXHAUST FAN

Q<sub>14</sub> CASHION LOCKDOWN DETECTOR PER NEC 513.5

Q<sub>15</sub> SMOKE DETECTOR

Q<sub>16</sub> 110 VOLT 15 AMP 2-POLY-PHASE RECEPTACLE  
 Q<sub>17</sub> 110 VOLT 15 AMP 2-POLY-PHASE RECEPTACLE  
 Q<sub>18</sub> 110 VOLT 15 AMP 2-POLY-PHASE RECEPTACLE  
 Q<sub>19</sub> 110 VOLT 15 AMP 2-POLY-PHASE RECEPTACLE  
 Q<sub>20</sub> 110 VOLT 15 AMP 2-POLY-PHASE RECEPTACLE  
 Q<sub>21</sub> 110 VOLT 15 AMP 2-POLY-PHASE RECEPTACLE  
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FAN WITH LIGHTS



SWITCH

SWITCHES

CABLED CIRCULAR MOTOR

CABLED CIRCULAR MOTOR

3-LIGHT VANTY FIXTURE

 <p><b>AntTong Design</b></p> <p>24718 Twilling Hollow Ln. Richardson, TX 75066</p> <p>Contract: Tony Huang Tel: 972.334.4695 Fax: 972.334.4695 Email: <a href="mailto:tonghuang@anttdesign.com">tonghuang@anttdesign.com</a></p> <p></p>	<p><b>A CUSTOM RESIDENCE AT: 13014 BUCCANEER PARKWAY, FREEPORT, TX 77541</b></p>	<p>MAY 17, 2022 (PRELIM SET) JAN. 18, 2023 (REVISIONS)</p>	<p>E:101</p>
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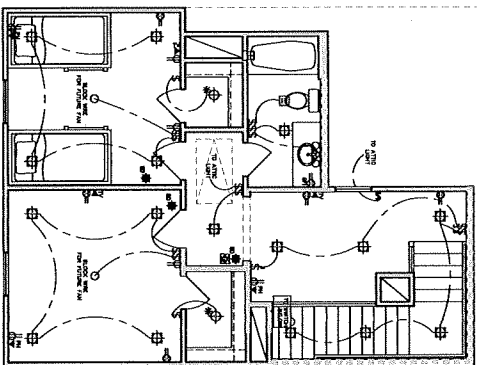
**A CUSTOM RESIDENCE AT:  
13014 BUCCANEER PARKWAY,  
FREEPORT, TX 77541**

MAY 17, 2022  
(PERMIT SET)  
JAN. 18, 2023  
(REVISIONS)

## MAIN 2ND FLOOR ELECTRICAL PLAN

$$\frac{1}{4} = 0.25$$

E.201



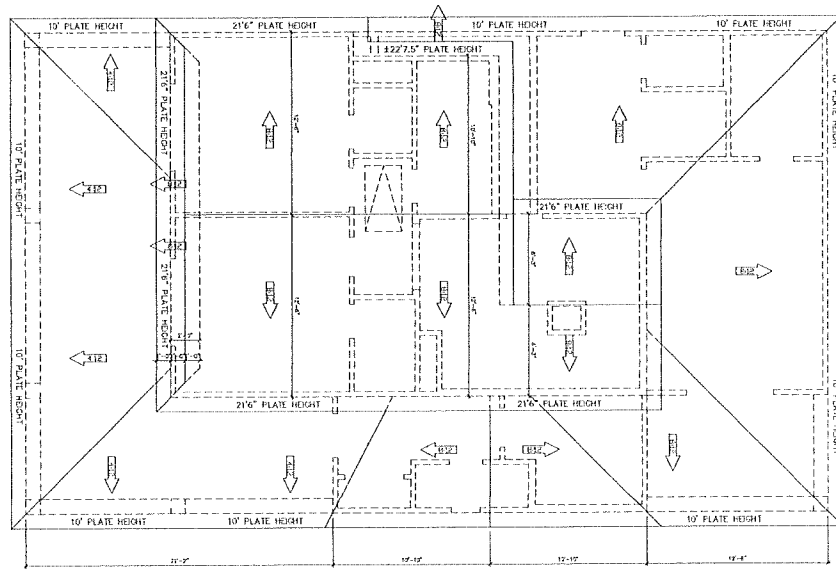
### ELECTRICAL LEGEND

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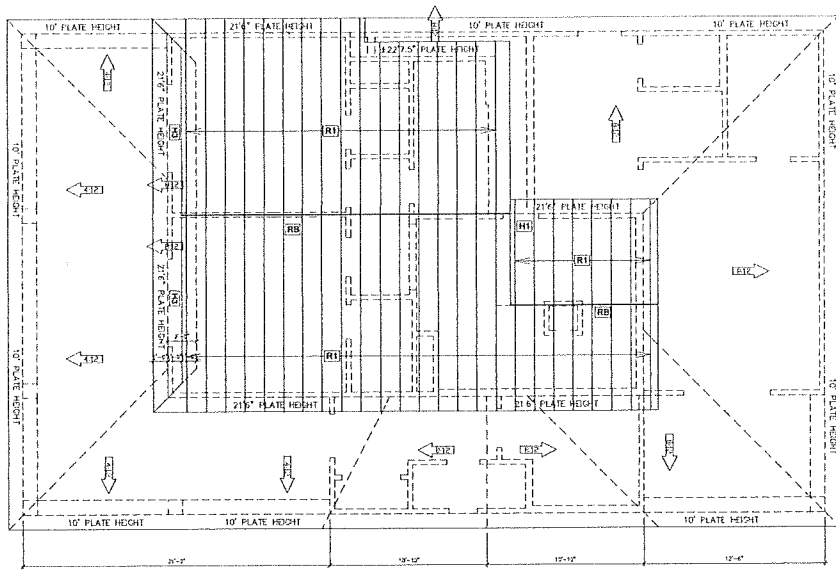
**NOTE:**

- ELECTRICAL ASSAULT/SHOCK SIGN ON THE DRYING IS DISRUPTANT AND SHOCKS ONLY DEBILIT. LOOK FOR ELECTRICAL COMPONENTS AND SHOCKS IN THE BATH, KITCHEN, AND HALLS. CHECK FOR DESIGN AND SIZE. ALL CONNECTIONS TO CORDS, WITH CURRENT CORDS, MUST BE SECURE. CHECK FOR ELECTRICAL SHORTS AND OVERHEATING FOR A PRACTICAL, EFFICIENT, COMPLETE ELECTRICAL INSPECTION.
- CARRY WITH N.E.C. 404.6 (2014.27612.2/404.12)
- CARRY WITH N.E.C. 404.6
- SHOCK DETECTORS IN ALL BED ROOMS REQUIRE 150V TO HOUSE WIRING, BATTERY BACKUP & INTERMOUNT.
- NOT ALL DRYER/STAYS TO OUTSIDE
- PROOF C.A. PROTECTION ON BATH PLUGS
- REMOVE LIGHT FIXTURE & SHOCK DETECTORS AT WATER HEATER & A/C UNIT.
- UNITS.
- REMOVE ELECTRIC DISCONNECT AT A/C UNIT.

# ROOFPLAN



# ROOF FRAMING PLAN - UPPER



## RAFTER SCHEDULE

(R1) 2 X 8S @ 16" O.C.  
(R2) RIDGE BEAM 2 X 10

## HEADER SCHEDULE

(H1) 2 X 12  
(H2) 2 X 12  
(H3) 2 X 12  
(H4) 2 X 12  
(H5) 2 X 12  
(H6) 2 X 12  
(H7) 2 X 12  
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(H96) 2 X 12  
(H97) 2 X 12  
(H98) 2 X 12  
(H99) 2 X 12  
(H100) 2 X 12

DESIGN LOADS PER 2015 IBC  
ROOF, CEILING DEAD LOAD - 10 PSF  
FLOOR DEAD LOAD - 10 PSF  
FLOOR LIVE LOAD - 40 PSF  
ROOF LIVE LOAD - 20 PSF  
CEILING LIVE LOAD - 20 PSF  
WIND LOADS PER 2015 IBC  
WIND LOAD 160 MPH (ULTIMATE)  
EXPOSURE C, CATEGORY II  
HYDROSTATIC EQUIVALENT LOAD - 200 LBS  
IN ANY DIRECTION

5-24-22

*[Signature]*



CUSTOM RESIDENCE

13014 BUCCANEER PKWY. - FREEPORT, TX 77541

FRAMING PLANS

HARRY BRENDGEN, P.E.  
5807 WANAKAH DR  
HOUSTON, TX 77069

713/520-6247

FIRM F-11428

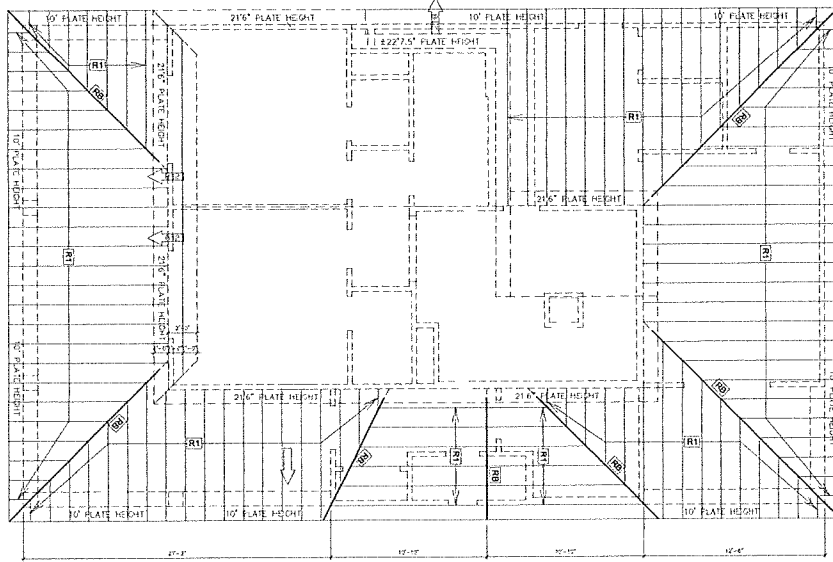
ISSUE A - PERMIT 5-24-22

S-1

ISSUE A

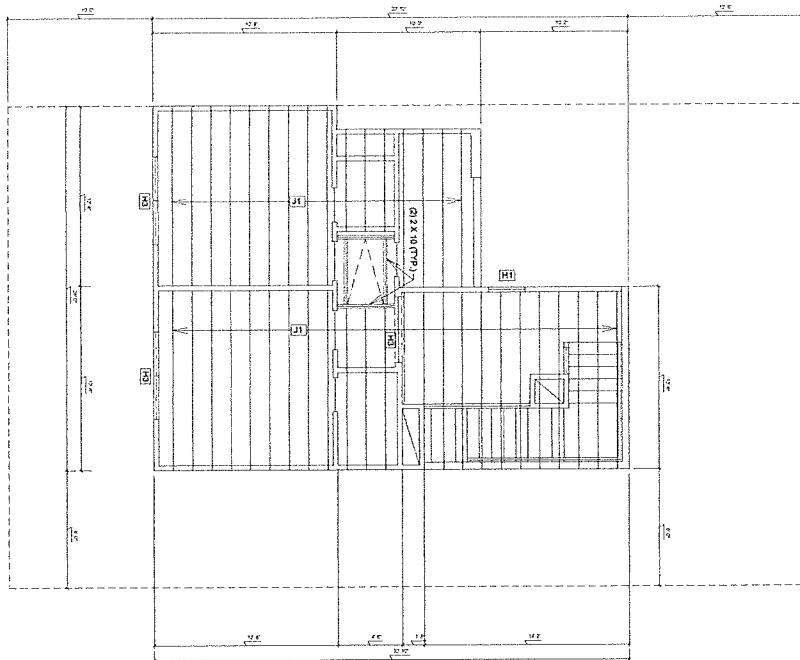


# ROOF FRAMING PLAN - LOWER



- LEGEND
- 2x12 BLOCKING
  - SHEAR WALL
  - 12" PLYWOOD ONE SIDE
  - HOLD DOWN
  - ANCHOR BOLT
  - OR SIMILAR

# SECOND LEVEL FRAMING PLAN - CEILING



- JOIST SCHEDULE
- 2x10 S @ 16" O.C.
- MEMBER SCHEDULE
- R1 2x12
  - R2 2x12
  - GLULAM 5 1/2" x 11"
- INTERIOR HEADERS - 2x12



5-24-22

S-2

ISSUE: A

CUSTOM RESIDENCE

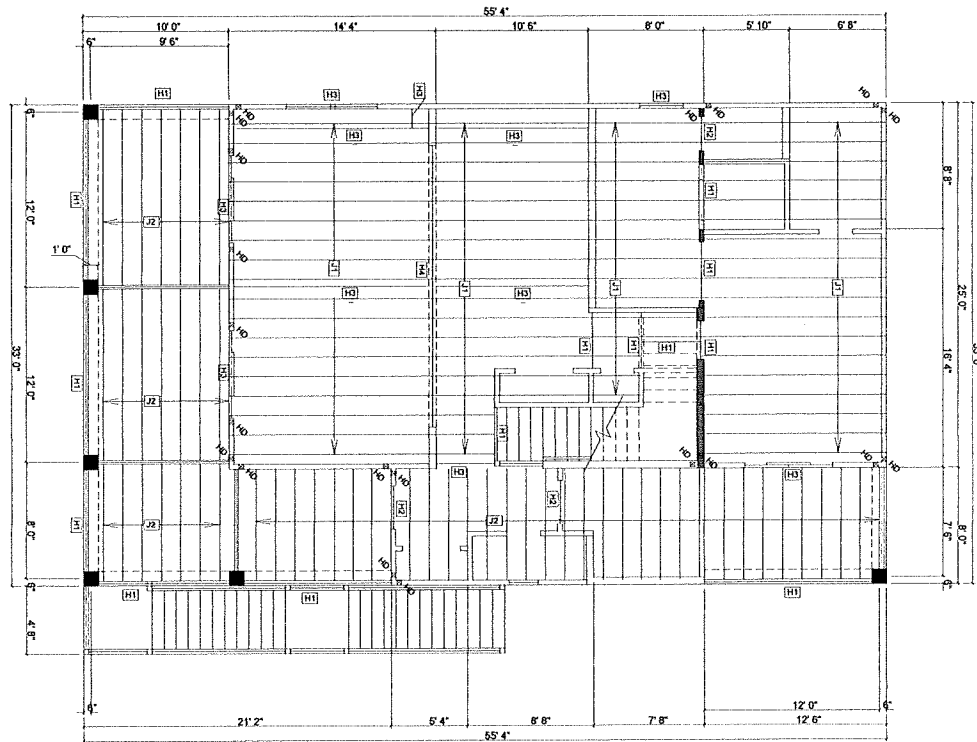
13014 BUCCANEER PKWY. - FREEPORT, TX 77541

FRAMING PLANS

HARRY BRENDGEN, P.E.  
5607 WANAKAH DR.  
HOUSTON, TX 77069  
713/520-6247

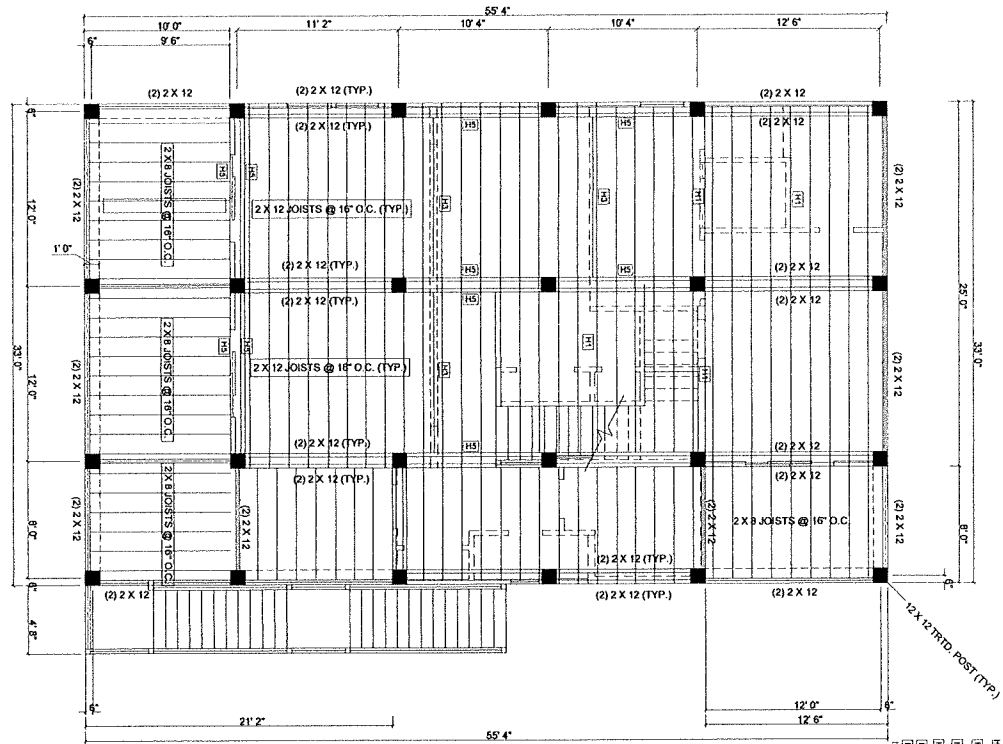
FIRM F-11428

ISSUE A - PERMIT 5-24-22



FIRST LEVEL CEILING FRAMING PLAN

LEGEND  
 SHEAR WALL  
 1/2" PLYWOOD ONE SIDE  
 HOLD DOWN  
 REFERENCE DFT 754  
 2" DIA. ANCHOR



FIRST LEVEL FLOOR FRAMING PLAN



JOIST SCHEDULE

[1]	2 X 12 S @ 16" O.C.
[2]	2 X 6 S @ 16" O.C.

HEADER SCHEDULE

[H1]	2 X 12
[H2]	2 X 8
[H3]	2 X 12 @ 16" X 14"
[H4]	2 X 12 @ 16" X 17 1/2"
[H5]	2 X 12 @ 16" X 12 3/4"
[H6]	2 X 6

INTERIOR HEADERS: (2) 2 X 6

S-3

ISSUE A

CUSTOM RESIDENCE  
 13014 BUCCANEER PKWY. - FREEPORT, TX 77541

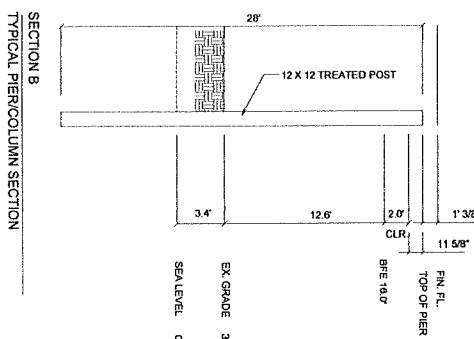
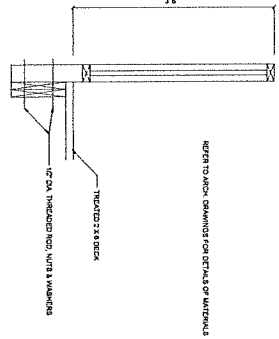
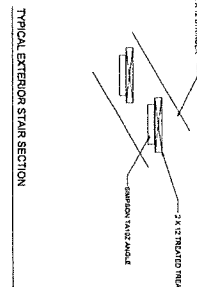
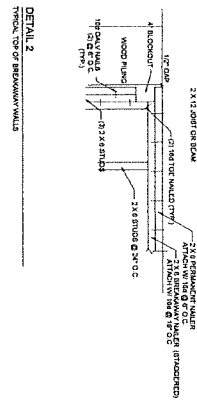
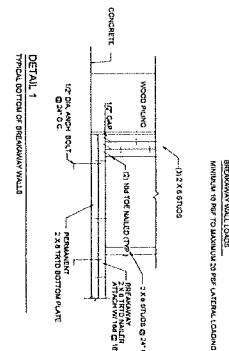
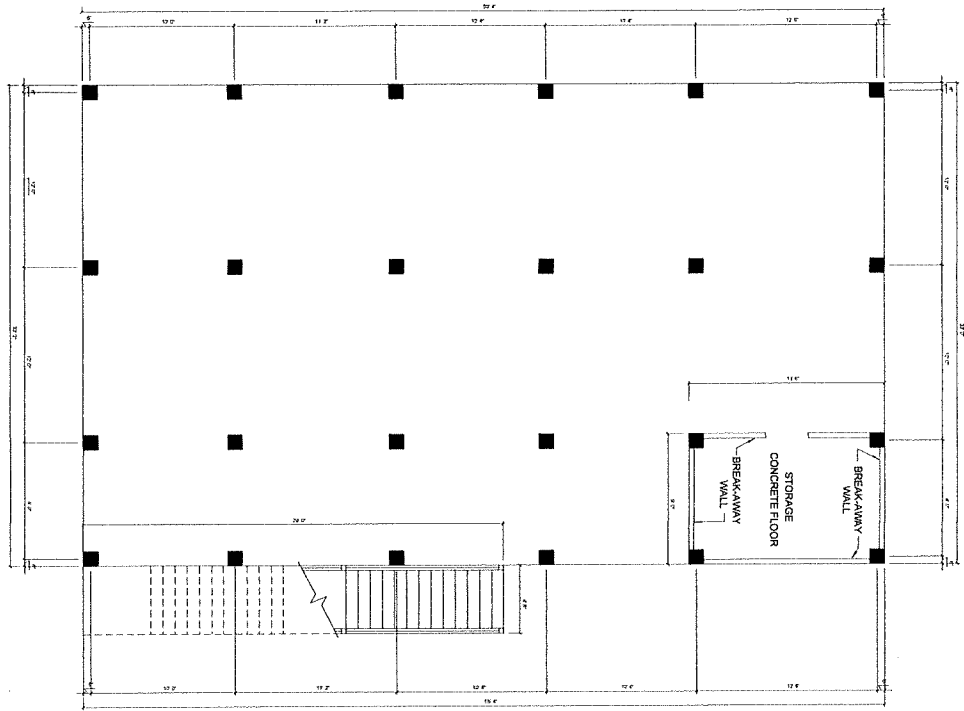
FRAMING PLANS

HARRY BRENDGEN, P.E.  
 5807 VANAKAH DR  
 HOUSTON, TX 77069  
 713/520-6247

FIRM F-11428

ISSUE A - PERMIT 5-24-22

GROUND LEVEL FRAMING PLAN



5-24-22

S-4

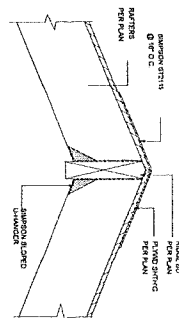
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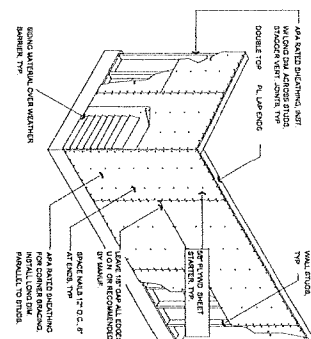
FRAMING PLANS

HARRY BRENDGEN, P.E.  
5807 WAWAKAH DR  
HOUSTON, TX 77069  
713/520-6247  
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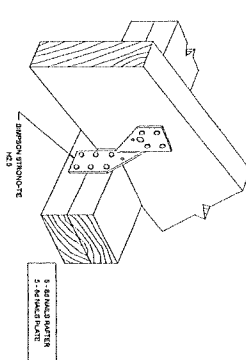
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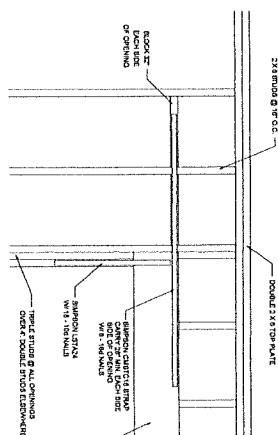
DETAIL 1  
RIDGE BEAM DETAIL



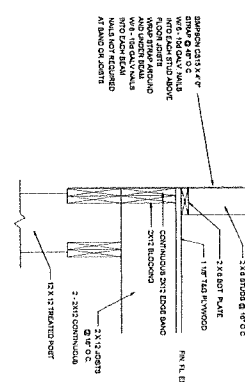
DETAIL 2  
SHEATHING DETAIL



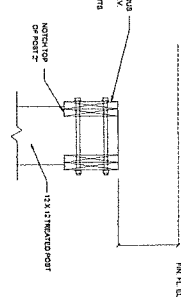
DETAIL 3  
RAFTER TO TOP PLATE



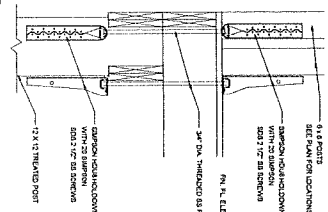
DETAIL 4  
WALL OPENING DETAIL



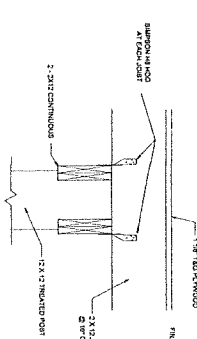
DETAIL 5  
SECTION AT EXTERIOR WALL BASE



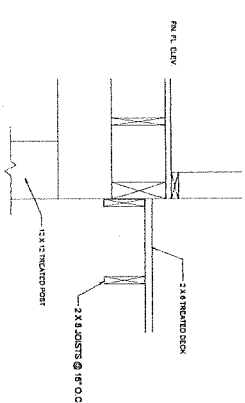
DETAIL 6  
INTERIOR COLUMN DETAIL



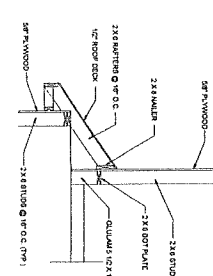
DETAIL 7  
CORNER HOLD DOWN DETAIL



DETAIL 8  
INTERIOR FLOOR JOIST DETAIL



DETAIL 9  
SECTION AT DECK



DETAIL 10  
SECTION AT GABLE ENDWALL

WOOD FRAMING NOTES

ALL WOOD FRAMING & EXTERIOR STUDS SHALL BE SOUTHERN PINE OR DO FOR UNLESS NOTED OTHERWISE AND SHALL BE PROTECTED BY AN APPROPRIATE METHOD OF FIRE PROTECTION. INTERIOR WALL STUDS MAY BE UNPROTECTED.

ALL FRAMING SHALL BE IN COMPLIANCE WITH THE BUILDING CODE SPECIFIED IN THESE SPECIFICATIONS. ALL FRAMING SHALL BE IN COMPLIANCE WITH THE BUILDING CODE SPECIFIED IN THESE SPECIFICATIONS. ALL FRAMING SHALL BE IN COMPLIANCE WITH THE BUILDING CODE SPECIFIED IN THESE SPECIFICATIONS.

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[illegible]



## BRAZORIA COUNTY

### NOTICE OF RESIDENTIAL CONSTRUCTION INSPECTION COMPLIANCE IN UNINCORPORATED AREA

(TO BE SUBMITTED BY BUILDER)

Received \_\_\_\_\_

Related OSSF  
Application # \_\_\_\_\_

Permit # \_\_\_\_\_

IRC # \_\_\_\_\_

BUILDERS NAME: I Declare Homes

### PROJECT INFORMATION

#### TYPE OF CONSTRUCTION: (Check One)

- 1) New Residential Construction on a vacant lot ☒
- 2) Addition to an Existing Residential Unit ☐

**NOTE:** *If a property lies in an ETJ it is required to contact the city hall for appropriate building codes.*

#### LOCATION:

Address 13014 Buccaneer Parkway, Freeport TX 77541

Lot and Block # 5, 10 Subdivision Treasure Island

or Survey \_\_\_\_\_ Tract/Acreage \_\_\_\_\_

or Deed Reference \_\_\_\_\_ Property ID (MCAD)# \_\_\_\_\_

#### RESIDENTIAL CODE USED IN CONSTRUCTION:

- 1) INTERNATIONAL RESIDENTIAL CODE – published \_\_\_\_\_ [ ]  
date