



COMMISSIONERS COURT OF BRAZORIA COUNTY

ORDER NO. H.26.

11/14/2023

Final Acceptance of Roads - Pradera Oaks Section Eight - Abstract 69 (Precinct 4)

Whereas, the plat of Pradera Oaks Section Eight, Abstract 69 (Precinct 4), was approved by the Village of Bonney on June 28, 2022 and whereas said tract has entered into a Developers Agreement with Brazoria County Court Order 6.G.14 approved on April 14, 2020; and

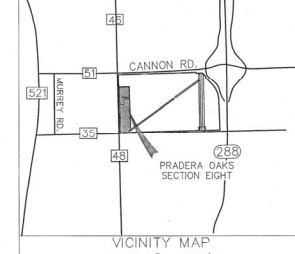
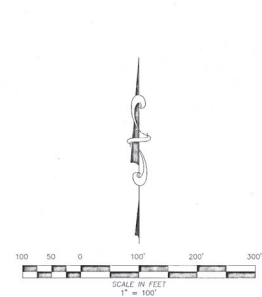
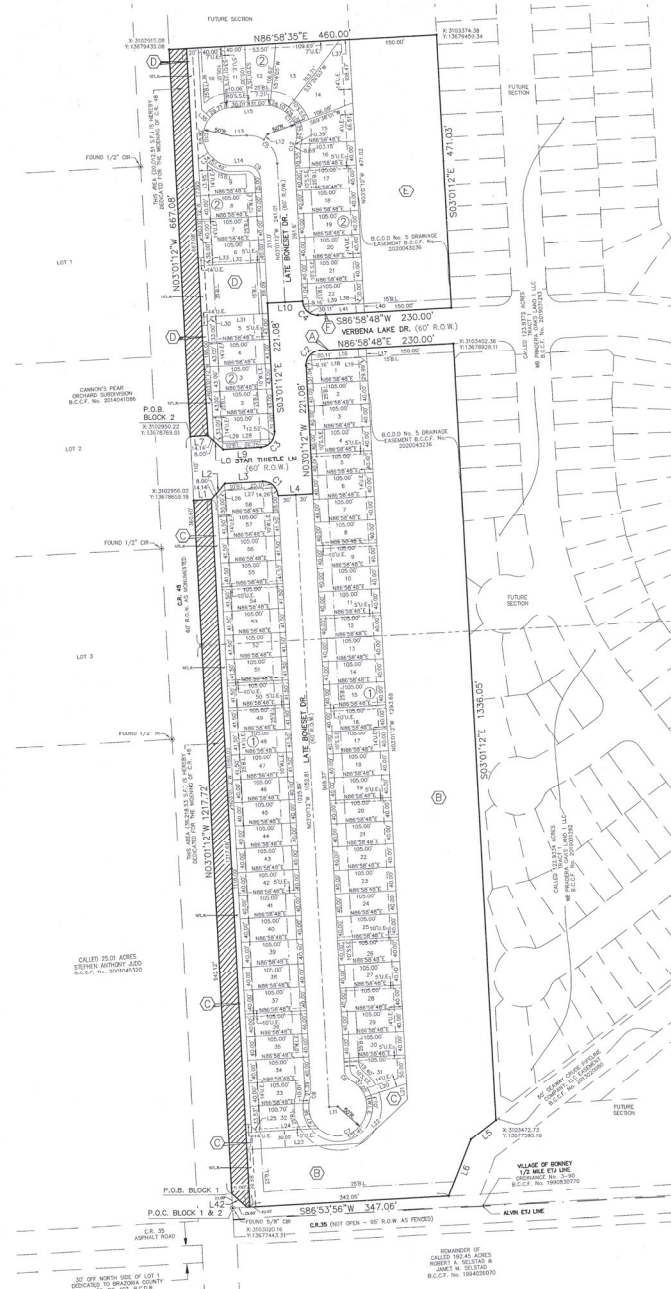
Whereas, this plat meets applicable criteria established by Commissioners Court Order 6.P.2. on February 9, 2021 for consideration under Brazoria County Subdivision Regulations adopted by Commissioners Court Order No. 49 on October 24, 2006; and

Whereas, the roads serving this section have now been constructed in accordance with the Brazoria County Subdivision Regulations; and

Whereas the period of Maintenance has been successfully completed, said roads shall be accepted into the County Road System for maintenance beginning this day November 14, 2023.

<u>CR #</u>	<u>Street Name</u>	<u>ROW</u>	<u>Length (FT)</u>	<u>Length (Mi)</u>
1279	Late Boneset Drive (ext)	60'	1,412.36 ft.	0.267 mi.

Further, that a certified copy of this order be furnished to the County Engineer for distribution to all parties involved.

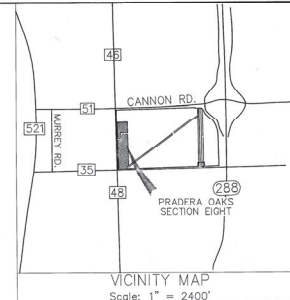


- GENERAL NOTES:**
- 1) "BL" INDICATES BUILDING LINE.
 - 2) "ULE" INDICATES UTILITY EASEMENT.
 - 3) "Y" DIST" INDICATES THE ONE FOOT RESERVE DEDICATED TO THE PUBLIC IN FEET AS A BUFFER SEPARATION BETWEEN THE SIDE OR END OF STREETS WHERE SUCH STREETS ADJACENT ADJACENT ADJACENT TRACTS. THE CONDITION OF SUCH DEDICATION BEING THAT WHEN THE ADJACENT PROPERTY IS SUBDIVIDED IN A RECORDED PLAT, THE ONE FOOT RESERVE SHALL THEREAFTER BECOME VESTED IN THE PUBLIC FOR STREET RIGHT-OF-WAY PURPOSES AND THE FEE THERETO SHALL REVERT TO AND BE REVEST IN THE DEDICATOR, HIS HEIRS ASSIGNS, OR SUCCESSORS.
 - 4) THE COORDINATES AND BEARINGS SHOWN HEREON ARE TEXAS SOUTH CENTRAL 2011 NO. 4304 PLAT PLAN OLD COORDINATES (NAD83) AND MAY BE BROUGHT TO SURFACE BY APPLYING THE FOLLOWING COMBINED SCALE FACTOR NO. 0.9999992333333333.
 - 5) PROJECT BENCHMARK: MONUMENT N 692 RESET 1068' ON THE TOP OF A CONCRETE HEADWALL ON THE WEST SIDE OF I.M. 501, BEING 840 FEET NORTHWEST ON THE CORNERLINE INTERSECTION OF FM 501 AND CR. 20 (A.K.A. HOOPER ROAD) BEING ON THE SOUTH END OF THE WEST CULVERT HEADWALL. ELEVATION: 4350.00 NAVD83.
 - 6) ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP NO. 480602079A, REVISED DATE OF DECEMBER 30, 2020, THE SURVEYED PROPERTY LIES WITHIN ZONE "X" (SHADY-AREA) DEEMED TO BE OUTSIDE THE 1% ANNUAL CHANCE FLOODPLAIN.
 - 7) STRUCTURES BUILT ON LOTS IN THE DESIGNATED FLOOD PLAIN MUST BE ELEVATED TO A FLOODWAY BELOW THE BASE FLOOD ELEVATION (B.F.E.) CONTACT THE FLOOD PLAIN ADMINISTRATOR'S OFFICE FOR SPECIFIC INFORMATION. VILLAGE OF BONNEY, TEXAS FLOODPLAIN DAMAGE PREVENTION ORDINANCE NO. 6-2001. PRADERA OAKS IS NOT IN A SPECIAL FLOOD ZONE AND THE MINIMUM FINISHED FLOOR ELEVATION SHALL BE 24" ABOVE GRADE.
 - 8) LOT WIDTH IS THE DISTANCE MEASURED ALONG THE BUILDING SETBACK LINES BETWEEN THE TWO (2) SIDE PROPERTY LINES OF A LOT. KNUCKLE AND CUL-DE-SAC LOTS ARE A MINIMUM OF 40' AT THE BUILDING LINE.
 - 9) FURTHER, OWNERS DO HEREBY CERTIFY THAT WE ARE THE OWNERS OF ALL PROPERTY IMMEDIATELY ADJACENT TO THE BOUNDARIES OF THE ABOVE AND FOREGOING SUBDIVISION OF PRADERA OAKS SECTION EIGHT WHERE BUILDING SETBACK LINES OR PUBLIC UTILITY EASEMENTS ARE TO BE ESTABLISHED OUTSIDE THE BOUNDARIES OF THE ABOVE AND FOREGOING SUBDIVISION AND TO HEREBY MAKE AND ESTABLISH ALL BUILDING SETBACK LINES AND DEDICATE TO THE USE OF THE PUBLIC, ALL PUBLIC UTILITY EASEMENTS SHOWN IN SAID ADJACENT ADJACENT.
 - 10) BUILDING PERMITS WILL NOT BE ISSUED UNTIL ALL STORM DRAINAGE IMPROVEMENTS, WHICH MAY INCLUDE ULTERIOR PONDING, HAVE BEEN SUBMITTED.
 - 11) SIDEWALKS SHALL BE CONSTRUCTED AS PART OF THE ISSUANCE OF A BUILDING PERMIT FOR EACH TRACT.

- PRADERA COUNTY DRAINAGE DISTRICT NO. 5 NOTES**
1. SLAB ELEVATIONS (FINISHED FLOOR) SHALL BE A MINIMUM OF 2 FEET ABOVE FINISHED GRADE.
 2. ALL DRAINAGE EASEMENTS SHOWN HEREON SHALL BE CLEAR OF FENCES, BUILDINGS, PLANTINGS AND OTHER OBSTRUCTIONS TO THE OPERATION AND MAINTENANCE OF DRAINAGE FACILITIES.
 3. ALL PROPERTY SHALL DRAIN INTO THE DRAINAGE EASEMENT ONLY THROUGH AN APPROVED DRAINAGE STRUCTURE.
 4. ALL DRAINAGE EASEMENTS AND DETENTION POND RESERVES SHOWN ON THIS PLAT WILL BE MAINTAINED BY THE PROPERTY OWNERS AND/OR BUSINESS OWNERS, PROVIDED, HOWEVER, AND GOVERNMENTAL ENTITY HAVE JURISDICTION, INCLUDING, WITHOUT LIMITATION, PRADERA COUNTY, TEXAS AND BRADSHAW COUNTY DRAINAGE DISTRICT # 5, SHALL HAVE THE RIGHT, BUT NOT THE OBLIGATION, TO ENTER UPON THE DRAINAGE EASEMENTS TO PERFORM MAINTENANCE OPERATIONS AT ANY TIME AFTER THE DATE HEREOF.
 5. THE PROPERTY IDENTIFIED IN THE FOREGOING PLAT LIES WITH BRADSHAW COUNTY DRAINAGE DISTRICT # 5.
 6. THIS RURAL COMMERCIAL SITE EMPLOYS A NATURAL DRAINAGE SYSTEM, WHICH IS INTENDED TO PROVIDE DRAINAGE FOR THE SITE THAT IS SIMILAR TO THAT WHICH EXISTED UNDER PRE-DEVELOPMENT CONDITIONS. THUS, DURING LARGE STORM EVENTS, PONDING OF WATER SHOULD BE EXPECTED TO OCCUR ON THE SITE TO THE EXTENT IT MAY HAVE RESULTED TO DEVELOPMENT, BUT SUCH PONDING SHOULD NOT REMAIN FOR AN EXTENDED PERIOD OF TIME.
 7. LAND USE WITHIN THE COMMERCIAL SITE IS LIMITED TO AN AVERAGE IMPERVIOUSNESS OF NO MORE THAN 70%. THE DRAINAGE AND/OR DETENTION SYSTEM HAS BEEN DESIGNED WITH THE ASSUMPTION THAT THIS AVERAGE PERCENT IMPERVIOUSNESS WILL NOT BE EXCEEDED. IF THIS PERCENTAGE IS TO BE EXCEEDED, A REPEAT AND/OR REDESIGN OF THE SYSTEM MAY BE NECESSARY.
 8. OTHER THAN SHOWN HEREON, THERE ARE NO PIPELINE EASEMENTS OR PIPELINES WITHIN THE BOUNDARIES OF THIS PLAT.
 9. ALL STORM WATER DRAINAGE PIPES, CULVERTS, TILES OR OTHER (INCLUDING DRIVEWAY CULVERTS) WILL BE MINIMUM 24" I.D. OR EQUAL.
 10. DEDICATED DRAINAGE EASEMENT(S) GRANTED TO BRADSHAW COUNTY DRAINAGE DISTRICT # 5 FOR DRAINAGE MAINTENANCE PURPOSES SHALL INCLUDE 45 FEET TOP OF BANK, PLUS THE SUM (FOOTAGE) OF BOTH DITCH SIDE SLOPES AND CHANNEL BOTTOM AND 45 FEET OF BANK ON THE OPPOSITE BANK.
 11. DEDICATED INGRESS/EGRESS ACCESSES ARE GRANTED TO BRADSHAW COUNTY DRAINAGE DISTRICT # 5 (SEE DISTRICT RESOLUTION NO. 2007-06 & NO. 2007-07). ACCESS WILL BE GRANTED AND LOCATED WITHIN BRADSHAW COUNTY DRAINAGE DISTRICT # 5'S LOCK.
 12. PROVIDED USE OF "METAL" PIPE IN STORM WATER/SEWER APPLICATIONS (SEE DISTRICT RESOLUTION NO. 2007-08).
 13. PROHIBITED USE OF "HOP-RAIP" IN STORM WATER/SEWER APPLICATIONS (DISTRICT POLICY).
 14. PIPELINES, UTILITY LINES AND OTHER CROSSING UNDER ANY BRADSHAW COUNTY DRAINAGE DISTRICT # 5 DITCH REQUIRE APPROVAL AND PERMITTING PRIOR TO CONSTRUCTION.
 15. ALL DEDICATED STORM WATER DRAINAGE AND/OR ACCESS EASEMENTS TO BE GRANTED TO BRADSHAW COUNTY DRAINAGE DISTRICT # 5 BY THE PROPERTY OWNER WILL BE INITIATED AND RECORDED AT PROPERTY OWNERS EXPENSE. IN BRADSHAW COUNTY, TEXAS WITH RECORDED DOCUMENT NUMBER ATTACHED TO SAID EASEMENT PRIOR TO FINAL PROJECT APPROVAL, GRANTED BY BRADSHAW COUNTY DRAINAGE DISTRICT # 5 BOARD OF COMMISSIONERS.
 16. IT WILL BE THE PROPERTY OWNER'S RESPONSIBILITY TO VERIFY IF ANY BRADSHAW COUNTY DRAINAGE DISTRICT # 5 DEDICATED DRAINAGE EASEMENTS ARE ON OR CROSS THEIR PROPERTY. IF SO, THE PROPERTY OWNER WILL COMPLY AS STATED WITHIN THE RECORDED EASEMENT.
 17. PROJECT FIELD START-UP WILL START WITHIN 90 DAYS CALLED HEREON. DATE SHOWN HEREON. CONTINUOUS AND REASONABLE FIELD SITE WORK IS EXPECTED. SEE BRADSHAW COUNTY DRAINAGE DISTRICT # 5 SECTION 1 INTRODUCTION. SO, SECTION 1A, PLANS, AND PLAT. THE PROCESS, AND DRAINAGE ACCEPTANCE PROCEDURES, TIME LIMIT FOR APPROVAL AND BRADSHAW COUNTY DRAINAGE DISTRICT # 5 RESOLUTION 2011-1, ALLOWABLE TIME(S) AND PROCEDURES FOR START-UP APPROVED PROJECTS.

Lot Area Table		Lot Area Table		Lot Area Table		Lot Area Table		BLOCK 1 LOT		MINIMUM FINISHED FLOOR FOR STRUCTURE		BLOCK 2 LOT		MINIMUM FINISHED FLOOR FOR STRUCTURE	
BL-1 - L21	4200	BL-1 - L21	4200	BL-1 - L21	4200	BL-1 - L21	4200	BL-1 - L21	4200	BL-1 - L21	4200	BL-1 - L21	4200	BL-1 - L21	4200
BL-2 - L22	4200	BL-2 - L22	4200	BL-2 - L22	4200	BL-2 - L22	4200	BL-2 - L22	4200	BL-2 - L22	4200	BL-2 - L22	4200	BL-2 - L22	4200
BL-3 - L23	4200	BL-3 - L23	4200	BL-3 - L23	4200	BL-3 - L23	4200	BL-3 - L23	4200	BL-3 - L23	4200	BL-3 - L23	4200	BL-3 - L23	4200
BL-4 - L24	4200	BL-4 - L24	4200	BL-4 - L24	4200	BL-4 - L24	4200	BL-4 - L24	4200	BL-4 - L24	4200	BL-4 - L24	4200	BL-4 - L24	4200
BL-5 - L25	4200	BL-5 - L25	4200	BL-5 - L25	4200	BL-5 - L25	4200	BL-5 - L25	4200	BL-5 - L25	4200	BL-5 - L25	4200	BL-5 - L25	4200
BL-6 - L26	4200	BL-6 - L26	4200	BL-6 - L26	4200	BL-6 - L26	4200	BL-6 - L26	4200	BL-6 - L26	4200	BL-6 - L26	4200	BL-6 - L26	4200
BL-7 - L27	4200	BL-7 - L27	4200	BL-7 - L27	4200	BL-7 - L27	4200	BL-7 - L27	4200	BL-7 - L27	4200	BL-7 - L27	4200	BL-7 - L27	4200
BL-8 - L28	4200	BL-8 - L28	4200	BL-8 - L28	4200	BL-8 - L28	4200	BL-8 - L28	4200	BL-8 - L28	4200	BL-8 - L28	4200	BL-8 - L28	4200
BL-9 - L29	4200	BL-9 - L29	4200	BL-9 - L29	4200	BL-9 - L29	4200	BL-9 - L29	4200	BL-9 - L29	4200	BL-9 - L29	4200	BL-9 - L29	4200
BL-10 - L30	4200	BL-10 - L30	4200	BL-10 - L30	4200	BL-10 - L30	4200	BL-10 - L30	4200	BL-10 - L30	4200	BL-10 - L30	4200	BL-10 - L30	4200
BL-11 - L31	4200	BL-11 - L31	4200	BL-11 - L31	4200	BL-11 - L31	4200	BL-11 - L31	4200	BL-11 - L31	4200	BL-11 - L31	4200	BL-11 - L31	4200
BL-12 - L32	4200	BL-12 - L32	4200	BL-12 - L32	4200	BL-12 - L32	4200	BL-12 - L32	4200	BL-12 - L32	4200	BL-12 - L32	4200	BL-12 - L32	4200
BL-13 - L33	4200	BL-13 - L33	4200	BL-13 - L33	4200	BL-13 - L33	4200	BL-13 - L33	4200	BL-13 - L33	4200	BL-13 - L33	4200	BL-13 - L33	4200
BL-14 - L34	4200	BL-14 - L34	4200	BL-14 - L34	4200	BL-14 - L34	4200	BL-14 - L34	4200	BL-14 - L34	4200	BL-14 - L34	4200	BL-14 - L34	4200
BL-15 - L35	4200	BL-15 - L35	4200	BL-15 - L35	4200	BL-15 - L35	4200	BL-15 - L35	4200	BL-15 - L35	4200	BL-15 - L35	4200	BL-15 - L35	4200
BL-16 - L36	4200	BL-16 - L36	4200	BL-16 - L36	4200	BL-16 - L36	4200	BL-16 - L36	4200	BL-16 - L36	4200	BL-16 - L36	4200	BL-16 - L36	4200
BL-17 - L37	4200	BL-17 - L37	4200	BL-17 - L37	4200	BL-17 - L37	4200	BL-17 - L37	4200	BL-17 - L37	4200	BL-17 - L37	4200	BL-17 - L37	4200
BL-18 - L38	4200	BL-18 - L38	4200	BL-18 - L38	4200	BL-18 - L38	4200	BL-18 - L38	4200	BL-18 - L38	4200	BL-18 - L38	4200	BL-18 - L38	4200
BL-19 - L39	4200	BL-19 - L39	4200	BL-19 - L39	4200	BL-19 - L39	4200	BL-19 - L39	4200	BL-19 - L39	4200	BL-19 - L39	4200	BL-19 - L39	4200
BL-20 - L40	4200	BL-20 - L40	4200	BL-20 - L40	4200	BL-20 - L40	4200	BL-20 - L40	4200	BL-20 - L40	4200	BL-20 - L40	4200	BL-20 - L40	4200
BL-21 - L41	4200	BL-21 - L41	4200	BL-21 - L41	4200	BL-21 - L41	4200	BL-21 - L41	4200	BL-21 - L41	4200	BL-21 - L41	4200	BL-21 - L41	4200
BL-22 - L42	4200	BL-22 - L42	4200	BL-22 - L42	4200	BL-22 - L42	4200	BL-22 - L42	4200	BL-22 - L42	4200	BL-22 - L42	4200	BL-22 - L42	4200
BL-23 - L43	4200	BL-23 - L43	4200	BL-23 - L43	4200	BL-23 - L43	4200	BL-23 - L43	4200	BL-23 - L43	4200	BL-23 - L43	4200	BL-23 - L43	4200
BL-24 - L44	4200	BL-24 - L44	4200	BL-24 - L44	4200	BL-24 - L44	4200	BL-24 - L44	4200	BL-24 - L44	4200	BL-24 - L44	4200	BL-24 - L44	4200
BL-25 - L45	4200	BL-25 - L45	4200	BL-25 - L45	4200	BL-25 - L45	4200	BL-25 - L45	4200	BL-25 - L45	4200	BL-25 - L45	4200	BL-25 - L45	4200
BL-26 - L46	4200	BL-26 - L46	4200	BL-26 - L46	4200	BL-26 - L46	4200	BL-26 - L46	4200	BL-26 - L46	4200	BL-26 - L46	4200	BL-26 - L46	4200
BL-27 - L47	4200	BL-27 - L47	4200	BL-27 - L47	4200	BL-27 - L47	4200	BL-27 - L47	4200	BL-27 - L47	4200	BL-27 - L47	4200	BL-27 - L47	4200
BL-28 - L48	4200	BL-28 - L48	4200	BL-28 - L48	4200	BL-28 - L48	4200	BL-28 - L48	4200	BL-28 - L48	4200	BL-28 - L48	4200	BL-28 - L48	4200
BL-29 - L49	4200	BL-29 - L49	4200	BL-29 - L49	4200	BL-29 - L49	4200	BL-29 - L49	4200	BL-29 - L49	4200	BL-29 - L49	4200	BL-29 - L49	4200
BL-30 - L50	4200	BL-30 - L50	4200	BL-30 - L50	4200	BL-30 - L50	4200	BL-30 - L50	4200	BL-30 - L50	4200	BL-30 - L50	4200	BL-30 - L50	4200
BL-31 - L51	4200	BL-31 - L51	4200	BL-31 - L51	4200	BL-31 - L51	4200	BL-31 - L51	4200	BL-31 - L51	4200	BL-31 - L51	4200	BL-31 - L51	4200
BL-32 - L52	4200	BL-32 - L52	4200	BL-32 - L52	4200	BL-32 - L52	4200	BL-32 - L52	4200	BL-32 - L52	4200	BL-32 - L52	4200	BL-32 - L52	4200
BL-33 - L53	4200	BL-33 - L53	4200	BL-33 - L53	4200	BL-33 - L53	4200	BL-33 - L53	4200	BL-33 - L53	4200	BL-33 - L53	4200	BL-33 - L53	4200
BL-34 - L54	4200	BL-34 - L54	4200	BL-34 - L54	4200	BL-34 - L54	4200	BL-34 - L54	4200	BL-34 - L54	4200	BL-34 - L54	4200	BL-34 - L54	4200
BL-35 - L55	4200	BL-35 - L55	4200	BL-35 - L55	4200	BL-35 - L55	4200	BL-35 - L55	4200	BL-35 - L55	4200	BL-35 - L55	4200	BL-35 - L55	4200
BL-36 - L56	4200	BL-36 - L56	4200	BL-36 - L56	4200	BL-36 - L56	4200	BL-36 - L56	4200	BL-36 - L56	4200	BL-36 - L56	4200	BL-36 - L56	4200
BL-37 - L57	4200	BL-37 - L57	4200	BL-37 - L57	4200	BL-37 - L57	4200	BL-37 - L57	4200	BL-37 - L57	4200	BL-37 - L57	4200	BL-37 - L57	4200
BL-38 - L58	4200	BL-38 - L58	4200	BL-38 - L58	4200	BL-38 - L58	4200	BL-38 - L58	4200	BL-38 - L58	4200	BL-38 - L58	4200	BL-38 - L58	4200
BL-39 - L59	4200	BL-39 - L59	4200	BL-39 - L59	4200	BL-39 - L59	4200	BL-39 - L59	4200	BL-39 - L59	4200	BL-39 - L59	4200	BL-39 - L59	4200
BL-40 - L60	4200	BL-40 - L60	4200	BL-40 - L60	4200	BL-40 - L60	4200	BL-40 - L60	4200	BL-40 - L60	4200	BL-40 - L60	4200	BL-40 - L60	4200
BL-41 - L61	4200	BL-41 - L61	4200	BL-41 - L61	4200	BL-41 - L61	4200	BL-41 - L61	4200	BL-41 - L61	4200	BL-41 - L61	4200	BL-41 - L61	4200
BL-42 - L62	4200	BL-42 - L62	4200	BL-42 - L62	4200	BL-42 - L62	4200	BL-42 - L62	4200	BL-42 - L62	4200	BL-42 - L62	4200	BL-42 - L62	4200
BL-43 - L63	4200	BL-43 - L63	4200	BL-43 - L63	4200	BL-43 - L63	4200	BL-43 - L63	4200	BL-43 - L63	4200	BL-43 - L63	4200	BL-43 - L63	4200
BL-44 - L64	4200	BL-44 - L64	4200	BL-44 - L64	4200	BL-44 - L64	4200	BL-44 - L64	4200	BL-44 - L64	4200	BL-44 - L64	4200	BL-44 - L64	4200
BL-45 - L65	4200	BL-45 - L65	4200	BL-45 - L65	4200	BL-45 - L65	4200	BL-45 - L65	4200	BL-45 - L65	4200	BL-45 - L65	4200	BL-45 - L65	4200
BL-46 - L66	4200	BL-46 - L66	4200	BL-46 - L66	4200	BL-46 - L66	4200	BL-46 - L66	4200	BL-46 - L66	4200	BL-46 - L66	4200	BL-46 - L66	4200
BL-47 - L67	4200	BL-47 - L67	4200	BL-47 - L67	4200	BL-47 - L67	4200	BL-47 - L67	4200	BL-47 - L67	4200	BL-47 - L67	4200	BL-47 - L67	4200
BL-48 - L68	4200	BL-48 - L68	4200	BL-48 - L68	4200	BL-48 - L68	4200	BL-48 - L68	4200	BL-48 - L68	4200	BL-48 - L68	4200	BL-48 - L68	4200
BL-49 - L69	4200	BL-49 - L69	4200	BL-49 - L69	4200	BL-49 - L69	4200	BL-49 - L69	4200	BL-49 - L69	4200	BL-49 - L69	4200	BL-49 - L69	4200
BL-50 - L70	4200	BL-50 - L70	4200	BL-50 - L70	4200	BL-50 - L70	4200	BL-50 - L70	4200	BL-50 - L70	4200	BL-50 - L70	4200	BL-50 - L70	4200
BL-51 - L71	4200	BL-51 - L71	4200	BL-51 - L71	4200	BL-51 - L71	4200	BL-51 - L71	4200	BL-51 - L71	4200	BL-51 - L71	4200	BL-51 - L71	4200
BL-52 - L72	4200	BL-52 - L72	4200	BL-52 - L72	4200	BL-52 - L72	4200	BL-52 - L72	4200	BL-52 - L72	4200	BL-52 - L72	4200	BL-52 - L72	4200
BL-53 - L73	4200	BL-53 - L73	4200	BL-53 - L73	4200	BL-53 - L73	4200	BL-53 - L73	4200	BL-53 - L73	4200	BL-53 - L73	4200	BL-53 - L73	4200
BL-54 - L74	4200	BL-54 - L74	4200	BL-54 - L74	4200	BL-54 - L74	4200	BL-54 - L74	4200	BL-54 - L74	4200	BL-54 - L74	4200	BL-54 - L74	4200
BL-55 - L75	4200	BL-55 - L75	4200	BL-55 - L75	4200	BL-55 - L75	4200	BL-55 - L75	4200	BL-55 - L75	4200	BL-55 - L75	4200	BL-55 - L75	4200
BL-56 - L76	4200	BL-56 - L76	4200	BL-56 - L76	4200	BL-56 - L76	4200	BL-56 - L76	4200	BL-56 - L76	4200	BL-56 - L76	4200	BL-56 - L76	4200
BL-57 - L77	4200	BL-57 - L77	4200	BL-57 - L77	4200	BL-57 - L77	4200	BL-57 - L77	4200	BL-57 - L77	4200	BL-57 - L77	4200	BL-57 - L77	4200
BL-58 - L78	4200	BL-58 - L78	4200	BL-58 - L78	4200	BL-58 - L78	4200	BL-58 - L78	4200	BL-58 - L78	4200	BL-58 - L78	4200	BL-58 - L78	4200
BL-59 - L79	4200	BL-59 - L79	4200	BL-59 - L79	4200	BL-59 - L79	4200	BL-59 - L79	4200	BL-59 - L79	4200	BL-59 - L79	4200	BL-59 - L79	4200
BL-60 - L80	4200	BL-60 - L80	4200	BL-60 - L80	4200	BL-60 - L80	4200	BL-60 - L80	4200	BL-60 - L80	4200	BL-60 - L80	4200	BL-60 - L80	4200
BL-61 - L81	4200	BL-61 - L81	4200	BL-61 - L81	4200	BL-61 - L81	4200	BL-61 - L81	4200	BL-61 - L81	4200	BL-61 - L81	4200	BL-61 - L81	4200
BL-62 - L82	4200	BL-62 - L82	4200	BL-62 - L82	4200	BL-62 - L82	4200	BL-62 - L82	4200	BL-62 - L82	4200	BL-62 - L82	4200	BL-62 - L82	4200
BL-63 - L83	4200	BL-63 - L83	4200	BL-63 - L83	4200	BL-63 - L83	4200	BL-63 - L83	4200	BL-63 - L83	4200	BL-63 - L83	4200	BL-63 - L83	4200
BL-64 - L84	4200	BL-64 - L84	4200	BL-64 - L84	4200	BL-64 - L84	4200	BL-64 - L84	4200	BL-64 - L84	4200	BL-64 - L84	4200	BL-64 - L84	4200
BL-65 - L85	4200	BL-65 - L85	4200	BL-65 - L85	4200	BL-65 - L85	4200	BL-65 - L85	4200	BL-65 - L85	4200	BL-65 - L85	4200	BL-65 - L85	4200
BL-66 - L86	4200	BL-66 - L86	4200	BL-66 - L86	4200	BL-66 - L86	4200	BL-66 - L86	4200	BL-66 - L86	4200	BL-66 - L86	4200	BL-66 - L86	4200
BL-67 - L87	4200	BL-67 - L87	4200	BL-67 - L87	4200	BL-67 - L87	4200	BL-67 - L87	4200	BL-67 - L87	4200	BL-67 - L87	4200	BL-67 - L87	4200
BL-68 - L88	4200	BL-68 - L88	4200	BL-68 - L88	4200	BL-68 - L88	4200	BL-68 - L88	4200	BL-68 - L88	4200	BL-68 - L88	4200	BL-68 - L88	4200
BL-69 - L89	4200	BL-69 - L89	4200	BL-69 - L89	4200	BL-69 - L89	4200	BL-69 - L89	420						

CR #	Street Name	ROW	Length (Ft.)	Length (Mi.)
1279	Late Boneset Drive (ext)	60'	1,412.36 ft.	.267 mi.



STATE OF TEXAS
COUNTY OF HARRIS

I, TINGFU QIAO, of WB PRADERA OAKS LAND 1, LLC, OWNER OF THE PROPERTY SUBDIVIDED, IN THIS PLAT OF PRADERA OAKS SECTION EIGHT, DO HEREBY MAKE SUBDIVISION OF SAID PROPERTY FOR AND ON BEHALF OF SAID CORPORATION, ACCORDING TO THE LINES, LOTS, BUILDING LINES, STREETS, ALLEYS, PARKS AND EASEMENTS AS SHOWN HEREON AND DEDICATE FOR PUBLIC USE, THE STREETS, ALLEYS, PARKS AND EASEMENTS SHOWN HEREON FOREVER, AND DO HEREBY WAIVE ALL CLAIMS FOR DAMAGES OCCASIONED BY THE ESTABLISHMENT OF GRADES AS APPROVED FOR THE STREETS AND DRAINAGE EASEMENTS INDICATED, OR OCCASIONED BY THE ALLOCATION OF THE SURFACE, OR ANY PORTION OF THE STREETS OR DRAINAGE EASEMENTS TO LONG-TERM USE, SUCH GRADES, AND DO HEREBY BIND OURSELVES, OUR HEIRS, SUCCESSORS AND ASSIGNED TO WARRANT AND DEFEND THE TITLE TO THE LAND SO DEDICATED.

WITNESS MY HAND IN HOUSTON, HARRIS COUNTY, TEXAS, THIS 21 DAY OF February, 2022

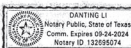
WB PRADERA OAKS LAND 1, LLC
BY: Tingfu Qiao
TINGFU QIAO, MANAGER

NOTARY PUBLIC
STATE OF TEXAS
COUNTY OF HARRIS

BEFORE ME, THE UNDER SIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED TINGFU QIAO, of WB PRADERA OAKS LAND 1, LLC, KNOWN TO ME, TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THE SAME WAS THE ACT OF SAID CORPORATION, FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED, AND IN THE CAPACITIES THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS 21 DAY OF February, 2022

Daniel G. Li
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



THIS IS TO CERTIFY THAT I, ANTHONY R. PEACOCK, A REGISTERED PROFESSIONAL LAND SURVEYOR OF THE STATE OF TEXAS, HAVE PLATTED THE ABOVE SUBDIVISION FROM AN ACTUAL SURVEY ON THE GROUND, AND THAT ALL BLOCK CORNERS, LOT CORNERS AND PERMANENT REFERENCE MONUMENTS HAVE BEEN SET, THAT PERMANENT CONTROL POINTS WILL BE SET AT COMPLETION OF CONSTRUCTION AND THAT THIS PLAN CORRECTLY REPRESENTS THAT SURVEY MADE BY ME.

Anthony R. Peacock
ANTHONY R. PEACOCK, P.L.S.
TEXAS REGISTRATION NO. 5047



APPROVED BY THE VILLAGE OF BONEY CITY COUNCIL MEMBERS THIS 20 DAY OF June, 2022

Raymond S. Galt
RAYMOND S. GALT
MAYOR

Tony Gonzalez
TONY GONZALEZ
ALDERMAN, POSITION 1

Mike Kelly
MIKE KELLY
ALDERMAN, POSITION 3

Angela Walters
ANGELA WALTERS
ALDERMAN, POSITION 5

ALDERMAN, POSITION 2

James W. Winters
JAMES W. WINTERS
ALDERMAN, POSITION 4

APPROVED BY BRAZORIA COUNTY DRAINAGE DISTRICT # 5

K. de Wille 7/1/22
K. DE WILLE, P.E.
PRESIDENT

Paul Whittle 5/1/22
PAUL WHITTLE
SECRETARY/TREASURER

Long Lillian 3/1/22
LONG LILLIAN
VICE PRESIDENT

Sasha 3/1/22
SASHA
DISTRICT ENGINEER

NOTE: PROJECT FIELD STARTUP WILL START WITHIN 365 CALENDAR DAYS FROM DATE HERE SHOWN. CONTINUOUS AND REASONABLE FIELD SITE WORK IS EXPECTED.

DCDD 5 LD # 8210006

FIELD NOTES FOR A 14.18 ACRE TRACT
BLOCK 1

BEING A TRACT OF LAND CONTAINING 14.18 ACRES LOCATED IN THE WARREN D.C. HALL LEAGUE SURVEY, A-69 IN BRAZORIA COUNTY, TEXAS, SAID 14.18 ACRE TRACT BEING A PORTION OF A CALLED 122.9334 ACRE TRACT (TRACT 1), RECORDED IN THE NAME OF WB PRADERA OAKS LAND 1, LLC, UNDER BRAZORIA COUNTY CLERK'S FILE (B.C.C.F.) NO. 2019031292 AND A PORTION OF A CALLED 123.9372 ACRE TRACT (TRACT 1), RECORDED IN THE NAME OF WB PRADERA OAKS LAND 1, LLC, UNDER BRAZORIA COUNTY CLERK'S FILE (B.C.C.F.) NO. 2019031292, SAID 14.18 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS (BEARINGS BASED ON THE TEXAS COORDINATE SYSTEM OF 1983, SOUTH CENTRAL ZONE, PER GPS OBSERVATIONS):

COMMENCING AT A 5/8-INCH IRON ROD WITH A CAP STAMPED "GEOGRAPHY" FOUND AT THE INTERSECTION OF THE EASTERLY RIGHT-OF-WAY (R.O.W.) LINE OF COUNTY ROAD (C.R.) 48 (60 FEET WIDE AS MONUMENTED) AND THE NORTHERLY R.O.W. LINE OF C.R. 35 (UNIMPROVED, 95 FEET WIDE AS FENCED), MARKING THE SOUTHWEST CORNER OF SAID 122.9334 ACRE TRACT AND THE HEREN DESCRIBED TRACT, FROM WHICH A 5/8-INCH IRON ROD WITH M.S.G. CAP SET FOR THE NORTHEAST CORNER OF SAID 122.9334 ACRE TRACT AND THE SOUTHWEST CORNER OF A CALLED 123.9372 ACRE TRACT (TRACT 1), RECORDED IN THE NAME OF WB PRADERA OAKS LAND 1, LLC, UNDER B.C.C.F. NO. 2019031292, BEARS NORTH 03 DEGREES 01 MINUTES 12 SECONDS WEST, A DISTANCE OF 967.12 FEET;

THENCE, WITH THE WEST LINE OF SAID 122.9334 ACRE TRACT, SAID 123.9372 ACRE TRACT AND THE EAST R.O.W. LINE OF SAID C.R. 48, NORTH 03 DEGREES 01 MINUTES 12 SECONDS WEST, A DISTANCE OF 25.00 FEET TO A 5/8-INCH IRON ROD WITH MILLER SURVEY GROUP (M.S.G.) CAP SET FOR THE POINT OF BEGINNING AND SOUTHWEST CORNER OF THE HEREN DESCRIBED TRACT;

THENCE, WITH THE WEST LINE OF SAID 122.9334 ACRE TRACT, SAID 123.9372 ACRE TRACT AND THE EAST R.O.W. LINE OF SAID C.R. 48, NORTH 03 DEGREES 01 MINUTES 12 SECONDS WEST, A DISTANCE OF 1,162.72 FEET TO A 5/8-INCH IRON ROD WITH MILLER SURVEY GROUP (M.S.G.) CAP SET FOR THE NORTHEAST CORNER OF THE HEREN DESCRIBED TRACT;

THENCE, THROUGH AND ACROSS SAID 122.9334 ACRE TRACT AND SAID 123.9372 ACRE TRACT, THE FOLLOWING EIGHT (8) COURSES:

1. NORTH 86 DEGREES 58 MINUTES 35 SECONDS EAST, A DISTANCE OF 30.00 FEET TO A 5/8-INCH IRON ROD WITH M.S.G. CAP SET FOR AN ANGLE POINT;

2. NORTH 41 DEGREES 58 MINUTES 48 SECONDS EAST, A DISTANCE OF 35.36 FEET TO A 5/8-INCH IRON ROD WITH M.S.G. CAP SET AT THE BEGINNING OF A CURVE TO THE RIGHT;

3. NORTH 86 DEGREES 58 MINUTES 48 SECONDS EAST, A DISTANCE OF 65.00 FEET TO A 5/8-INCH IRON ROD WITH M.S.G. CAP SET AT THE BEGINNING OF A CURVE TO THE RIGHT;

4. 39.27 FEET ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 90 DEGREES 00 MINUTES 00 SECONDS, AND A CHORD THAT BEARS SOUTH 48 DEGREES 01 MINUTES 12 SECONDS EAST, A DISTANCE OF 35.36 FEET TO A 5/8-INCH IRON ROD WITH M.S.G. CAP SET FOR AN ANGLE POINT;

5. NORTH 86 DEGREES 58 MINUTES 48 SECONDS EAST, A DISTANCE OF 60.00 FEET TO A 5/8-INCH IRON ROD WITH M.S.G. CAP SET FOR AN ANGLE POINT;

6. NORTH 03 DEGREES 01 MINUTES 12 SECONDS WEST, A DISTANCE OF 221.08 FEET TO A 5/8-INCH IRON ROD WITH M.S.G. CAP SET AT THE BEGINNING OF A CURVE TO THE RIGHT;

7. 39.27 FEET ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 90 DEGREES 00 MINUTES 00 SECONDS, AND A CHORD THAT BEARS NORTH 41 DEGREES 58 MINUTES 48 SECONDS EAST, A DISTANCE OF 35.36 FEET TO A 5/8-INCH IRON ROD WITH M.S.G. CAP SET AT THE POINT OF TANGENCY;

8. NORTH 86 DEGREES 58 MINUTES 48 SECONDS EAST, A DISTANCE OF 230.00 FEET TO A 5/8-INCH IRON ROD WITH M.S.G. CAP SET ON THE EAST LINE OF A B.C.C.F. NO. 5 DRAINAGE EASEMENT RECORDED IN B.C.C.F. NO. 2020043226, FOR THE NORTHEAST CORNER OF THE HEREN DESCRIBED TRACT;

THENCE, WITH THE EAST LINE OF SAID B.C.C.F. NO. 5 DRAINAGE EASEMENT, SOUTH 03 DEGREES 01 MINUTES 12 SECONDS EAST, A DISTANCE OF 1,336.66 FEET TO A 5/8-INCH IRON ROD WITH M.S.G. CAP SET ON THE NORTHEAST LINE OF A 30 INCH WIDE SEAWAY CRUDE PIPELINE COMPANY, LLC EASEMENT RECORDED IN B.C.C.F. NO. 2013020080 FOR AN ANGLE POINT;

THENCE, WITH THE NORTHWEST LINES OF SAID SEAWAY CRUDE PIPELINE COMPANY, LLC EASEMENT THE FOLLOWING THREE (3) COURSES:

1. SOUTH 52 DEGREES 26 MINUTES 38 SECONDS WEST, A DISTANCE OF 54.08 FEET TO A 5/8-INCH IRON ROD WITH M.S.G. CAP SET FOR AN ANGLE POINT;

2. SOUTH 21 DEGREES 10 MINUTES 29 SECONDS EAST, A DISTANCE OF 105.66 FEET TO A 5/8-INCH IRON ROD WITH M.S.G. CAP SET ON THE SOUTH LINE OF SAID 122.9334 ACRE TRACT AND THE NORTH R.O.W. LINE OF SAID C.R. 35, SOUTH 86 DEGREES 58 MINUTES 48 SECONDS WEST, A DISTANCE OF 347.08 FEET TO A 5/8-INCH IRON ROD WITH M.S.G. CAP SET FOR AN ANGLE POINT;

THENCE, WITH THE SOUTH LINE OF SAID 122.9334 ACRE TRACT AND THE NORTH R.O.W. LINE OF SAID C.R. 35, SOUTH 86 DEGREES 58 MINUTES 48 SECONDS WEST, A DISTANCE OF 347.08 FEET TO A 5/8-INCH IRON ROD WITH M.S.G. CAP SET FOR AN ANGLE POINT;

THENCE, WITH THE SOUTH LINE OF SAID 122.9334 ACRE TRACT AND THE NORTH R.O.W. LINE OF SAID C.R. 35, NORTH 48 DEGREES 03 MINUTES 38 SECONDS WEST, A DISTANCE OF 35.33 FEET TO THE POINT OF BEGINNING AND CONTAINING 14.18 ACRES OF LAND.

FIELD NOTES FOR A 5.64 ACRE TRACT
BLOCK 2

BEING A TRACT OF LAND CONTAINING 5.64 ACRES LOCATED IN THE WARREN D.C. HALL LEAGUE SURVEY, A-69 IN BRAZORIA COUNTY, TEXAS, SAID 5.64 ACRE TRACT BEING A PORTION OF A CALLED 123.9372 ACRE TRACT (TRACT 1), RECORDED IN THE NAME OF WB PRADERA OAKS LAND 1, LLC, UNDER BRAZORIA COUNTY CLERK'S FILE (B.C.C.F.) NO. 2019031292, SAID 5.64 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS (BEARINGS BASED ON THE TEXAS COORDINATE SYSTEM OF 1983, SOUTH CENTRAL ZONE, PER GPS OBSERVATIONS):

COMMENCING AT A 5/8-INCH IRON ROD WITH A CAP STAMPED "GEOGRAPHY" FOUND AT THE INTERSECTION OF THE EASTERLY RIGHT-OF-WAY (R.O.W.) LINE OF COUNTY ROAD (C.R.) 48 (60 FEET WIDE AS MONUMENTED) AND THE NORTHERLY R.O.W. LINE OF C.R. 35 (UNIMPROVED, 95 FEET WIDE AS FENCED), MARKING THE SOUTHWEST CORNER OF A CALLED 122.9334 ACRE TRACT (TRACT 1), RECORDED IN THE NAME OF WB PRADERA OAKS LAND 1, LLC, UNDER B.C.C.F. NO. 2019031292, FROM WHICH A 5/8-INCH IRON ROD WITH M.S.G. CAP SET FOR THE NORTHEAST CORNER OF SAID 122.9334 ACRE TRACT AND THE SOUTHWEST CORNER OF SAID 123.9372 ACRE TRACT, BEARS NORTH 03 DEGREES 01 MINUTES 12 SECONDS WEST, A DISTANCE OF 967.12 FEET;

THENCE, WITH THE WEST LINE OF SAID 122.9334 ACRE TRACT, SAID 123.9372 ACRE TRACT AND THE EAST R.O.W. LINE OF SAID C.R. 48, NORTH 03 DEGREES 01 MINUTES 12 SECONDS WEST, A DISTANCE OF 1,327.72 FEET TO A 5/8-INCH IRON ROD WITH MILLER SURVEY GROUP (M.S.G.) CAP SET FOR THE POINT OF BEGINNING AND SOUTHWEST CORNER OF THE HEREN DESCRIBED TRACT;

THENCE, CONTINUING WITH THE WEST LINE OF SAID 123.9372 ACRE TRACT AND THE EAST R.O.W. LINE OF SAID C.R. 48, NORTH 03 DEGREES 01 MINUTES 12 SECONDS WEST, A DISTANCE OF 497.00 FEET TO A 5/8-INCH IRON ROD WITH MILLER SURVEY GROUP (M.S.G.) CAP SET FOR THE NORTHEAST CORNER OF THE HEREN DESCRIBED TRACT;

THENCE, THROUGH AND ACROSS SAID 123.9372 ACRE TRACT, NORTH 86 DEGREES 58 MINUTES 35 SECONDS EAST, A DISTANCE OF 480.00 FEET TO A 5/8-INCH IRON ROD WITH M.S.G. CAP SET ON THE EAST LINE OF A B.C.C.F. NO. 5 DRAINAGE EASEMENT RECORDED IN B.C.C.F. NO. 2020043226, FOR THE NORTHEAST CORNER OF THE HEREN DESCRIBED TRACT;

THENCE, WITH THE EAST LINE OF A SAID B.C.C.F. NO. 5 DRAINAGE EASEMENT, SOUTH 03 DEGREES 01 MINUTES 12 SECONDS EAST, A DISTANCE OF 471.03 FEET TO A 5/8-INCH IRON ROD WITH M.S.G. CAP SET FOR THE SOUTHEAST CORNER OF THE HEREN DESCRIBED TRACT;

THENCE, THROUGH AND ACROSS SAID 123.9372 ACRE TRACT, THE FOLLOWING EIGHT (8) COURSES:

1. SOUTH 86 DEGREES 58 MINUTES 48 SECONDS WEST, A DISTANCE OF 230.00 FEET TO A 5/8-INCH IRON ROD WITH M.S.G. CAP SET AT THE BEGINNING OF A CURVE TO THE RIGHT;

2. 39.27 FEET ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 90 DEGREES 00 MINUTES 00 SECONDS, AND A CHORD THAT BEARS SOUTH 41 DEGREES 58 MINUTES 48 SECONDS WEST, A DISTANCE OF 35.36 FEET TO A 5/8-INCH IRON ROD WITH M.S.G. CAP SET FOR AN ANGLE POINT;

3. SOUTH 86 DEGREES 58 MINUTES 48 SECONDS WEST, A DISTANCE OF 60.00 FEET TO A 5/8-INCH IRON ROD WITH M.S.G. CAP SET FOR AN ANGLE POINT;

4. SOUTH 03 DEGREES 01 MINUTES 12 SECONDS EAST, A DISTANCE OF 221.08 FEET TO A 5/8-INCH IRON ROD WITH M.S.G. CAP SET AT THE BEGINNING OF A CURVE TO THE RIGHT;

5. 39.27 FEET ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 90 DEGREES 00 MINUTES 00 SECONDS, AND A CHORD THAT BEARS SOUTH 41 DEGREES 58 MINUTES 48 SECONDS WEST, A DISTANCE OF 35.36 FEET TO A 5/8-INCH IRON ROD WITH M.S.G. CAP SET FOR AN ANGLE POINT;

6. SOUTH 86 DEGREES 58 MINUTES 48 SECONDS WEST, A DISTANCE OF 65.00 FEET TO A 5/8-INCH IRON ROD WITH M.S.G. CAP SET FOR AN ANGLE POINT;

7. NORTH 48 DEGREES 01 MINUTES 12 SECONDS WEST, A DISTANCE OF 35.36 FEET TO A 5/8-INCH IRON ROD WITH M.S.G. CAP SET FOR AN ANGLE POINT;

8. SOUTH 86 DEGREES 58 MINUTES 35 SECONDS WEST, A DISTANCE OF 30.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 5.64 ACRES OF LAND.

FINAL PLAT OF PRADERA OAKS SECTION EIGHT

A SUBDIVISION OF
19.82 ACRES OF LAND
LOCATED IN THE
WARREN D.C. HALL LEAGUE, A-69
BRAZORIA COUNTY, TEXAS

2 BLOCKS 80 LOTS 6 RESERVES

DATE: DECEMBER 8, 2021 SCALE: 1" = 100'

OWNER:

WB PRADERA OAKS LAND 1, LLC
6210 SPRUCE STREET
BELLAIRE, TEXAS, 77401
TINGFU QIAO
713-219-9400

ENGINEER
DANNENBAUM
ENGINEERING CORPORATION

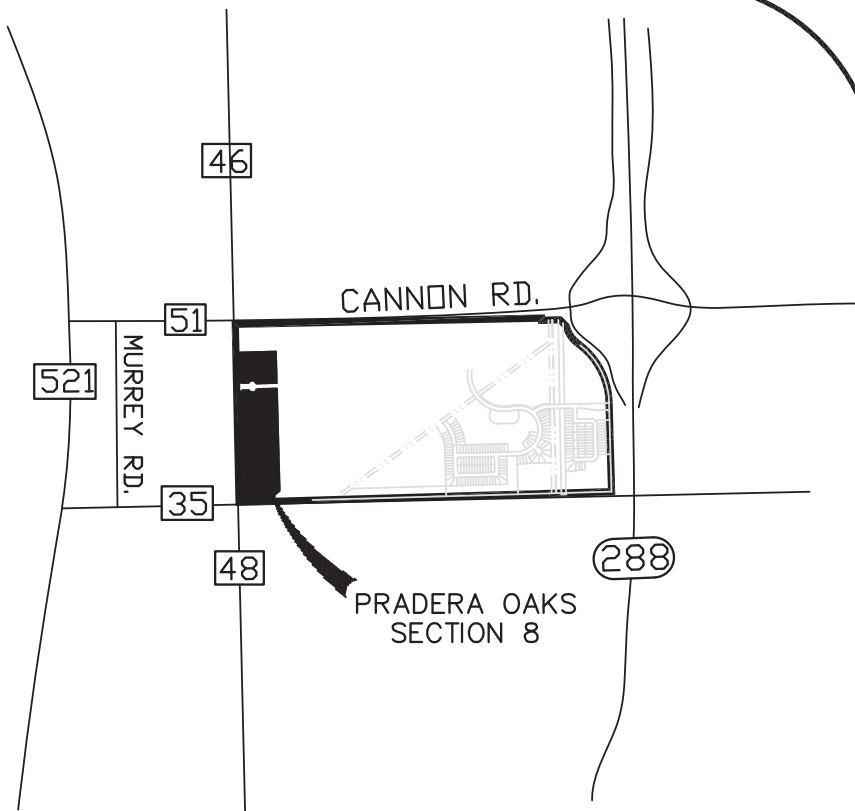
www.dannenbaum.com
3100 W. ALABAMA
HOUSTON, TEXAS 77008
713-227-6464
TEXAS FIRM NO. 392

SURVEYOR
MILLER
SURVEY GROUP

www.millersurvey.com
1780 WEST SAM PARKWAY NORTH
HOUSTON, TEXAS 77045
PHONE 713-413-1990 • FAX 713-413-1944
TEXAS FIRM REGISTRATION NO. 10047100

BRIAN E. WILSON, R.P.L.S.

2022059539
Brazoria County - Joyce Hudson, County Clerk
10/21/2022 10:30 AM
Fees: \$23.76



V i c i n i t y M a p

Engineer's Certificate of Completion

Name of Project: Water, Sewer, Drainage and Paving Improvements to Serve Pradera Oaks Section 8

Owner of Project: WB Pradera Oaks Land I, LLC on behalf of Brazoria County Municipal Utility District No. 44

Owner's Address: 5210 Spruce Street
Bellaire, TX 77401


Type of Facilities Constructed: Water, Sewer, Drainage and Paving Improvements to Serve Pradera Oaks Section 8

Contractor's Name: WS&D & Paving:
Rodriguez Construction Group, LLC
2647 Jo Ann St
Stafford, TX 77477

Consulting Engineer: DEC

Engineer's Address: 3100 West Alabama
Houston, TX 77098

I certify this project was completed on the **26th day of July 2022**; that the project was under observation during construction; that the project observation was performed under periodic supervision; and that, to the best of my knowledge, the project was constructed in accordance with and includes all items in the plans and specifications approved by all authorities having jurisdiction, and "as-built" drawings will be furnished to the office of Brazoria County Drainage District #5 and Brazoria County Engineer's Office within 15 calendar days of the date this certification is signed.

Signature and Title: 
Tyler Broom, P.E.
Project Manager

Date: 7/26/2022

