

JOE K. RIPPLE
FLOODPLAIN ADMINISTRATOR, CFM
SOFIA GARCIA GIBSON
FLOODPLAIN / BUILDING PERMITS
OFFICE ASSISTANT SR.
BELINDA HOWELL
FLOODPLAIN / BUILDING PERMITS
PERMIT TECHNICIAN
VICKIE THOMAS
FLOODPLAIN/BUILDING PERMITS
FLOODPLAIN CONSULTANT



PHONE:
(979) 864-1295
(979) 388-1295
(281) 756-1295

BRAZORIA COUNTY

451 North Velasco, Suite #210
Angleton, Texas, 77515

November 22, 2023

Mei Ling Valdes
Planning, Permitting & Technical Services
Coastal Resources Division
Texas General Land Office
P.O. Box 12873
Austin, TX 78711-2873

Re: Beach front construction application for 13007 Jolly Roger Dr. (Treasure Island) Freeport, TX

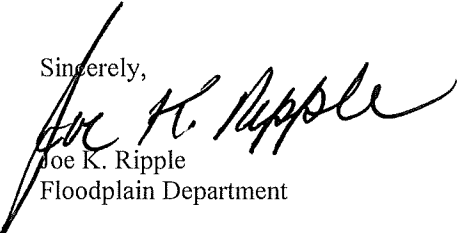
Dear Ms. Valdes,

This application is for a residential structure with 2367 Square feet of living area with (4) bedrooms and (4) baths built upon pilings certified by a professional engineer.

After construction a final elevation certificate will be turned into this office to show compliance with County and FEMA elevation requirements.

This beachfront construction application does not include a walkover and it complies with and promotes Brazoria County's beach access policies and requirements, particularly the dune protection and beach access policies relation to public beach ingress/egress, off beach parking and avoidance of reduction in the size of the public beach due to erosion.

Sincerely,


Joe K. Ripple
Floodplain Department

Enclosures



TEXAS GENERAL LAND OFFICE
COMMISSIONER DAWN BUCKINGHAM, M.D.

November 28, 2023

Via Electronic Mail

Joe Ripple, CFM
Floodplain Administrator
Brazoria County
451 N Velasco, Suite #210
Angleton, Texas 77515

Beachfront Construction Certificate and Dune Protection Permit in Brazoria County

Site Address: 13007 Jolly Roger Dr, Freeport
Legal Description: Treasure Island (A0029 S F Austin), Block 10, Lot 16 Sec 1
Lot Applicant: Khodr Homes/Nour Khodr c/o I Declare Homes
GLO ID No.: BDBC-23-0234

Dear Mr. Ripple:

The General Land Office (GLO) has reviewed the application materials for a beachfront construction certificate and dune protection permit for the above-referenced location. The applicant proposes to construct a single-family residence with concrete paving beneath the habitable structure, a crushed limestone driveway, and a septic system. The proposed construction is located more than 200 feet landward of the line of vegetation, which is the seaward side of the rock revetment in this area. According to the Bureau of Economic Geology, the area is eroding at a rate of three to five feet per year.

Based on the materials forwarded to our office for review, we have the following comments:

- The applicant proposes to construct the habitable structure seaward of the Building Setback Line, which is prohibited without an exemption from Brazoria County.¹ To qualify for an exemption, the applicant must demonstrate to the satisfaction of the County that no practicable alternatives to construction seaward of the Building Setback Line exist.²
- Since the construction is located landward of 200 feet from the line of vegetation, the applicant may use reinforced concrete to pave only the area beneath the footprint of the proposed habitable structure, which does not include incidental projecting eaves, uncovered decks, uncovered stairs, or driveways.³ Concrete beneath uncovered stairs and uncovered decks is prohibited.
- Pervious materials such as brick pavers, gravel, or crushed limestone may be used to construct the driveway.⁴ Crushed limestone as proposed is allowed.

¹ Brazoria County Erosion Response Plan § 5.

² Brazoria County Erosion Response Plan § 5.1.

³ Brazoria County Dune Protection and Beach Access Plan § 5(IV)(B)(3) & 31 Tex. Admin. Code § 15.2(39).

⁴ 31 Tex. Admin. Code § 15.6(f)(3).

Mr. Ripple
November 28, 2023
Page 2 of 2

- Cisterns, septic tanks, and septic fields are prohibited from being constructed seaward of any structure serviced by the cisterns, septic tanks, and septic fields.⁵ As proposed, the septic system appears to comply with this requirement.
- The County must limit the area of enclosures below BFE to 299 square feet.⁶
- The applicant should direct all stormwater inland away from the critical dune area, public beach and adjacent properties. The County shall not issue a certificate or permit authorizing construction unless the construction activities will minimize impacts on natural hydrology and will not cause erosion of adjacent properties, the critical dune area, or the public beach.⁷
- The County must ensure the proposed construction is consistent with the FEMA-approved county commissioners court order.⁸

Any deviations from what is proposed in this permit application requires a new or amended beachfront construction certificate and dune protection permit and further GLO review.

If you have any questions, please contact me at (512) 463-5720 or at meiling.valdes@glo.texas.gov.

Sincerely,



Mei Ling Valdes
Beach Access & Dune Protection Program
Coastal Resources Division
Texas General Land Office

cc: Vickie Thomas, Brazoria County

⁵ Brazoria County Dune Protection and Beach Access Plan § 3(II)(K) & 31 Tex. Admin. Code § 15.4(c)(10).

⁶ Brazoria County Erosion Response Plan § 5.3.

⁷ 31 Tex. Admin. Code § 15.6(h).

⁸ 31 Tex. Admin. Code § 15.6(e)(3).

**BRAZORIA COUNTY
BUILDING PERMIT APPLICATION**

Angleton 979-864-1295

451 North Velasco, Suite 210, Angleton, TX 77515

Houston/Alvin 281-756-1295

OWNERSHIP INFORMATION:

Name: I Declare Homes - Gregory Filippov Phone: 713-899-9579

Current/Mailing Address: 14623 Bramblewood Dr. Houston TX 77079
Street or PO Box City/State Zip Code

Building Contractors Information: <u>Khodr Homes - Nour Khadr</u>	Address: <u>8019 Rippling Stream Ln</u>	Phone: <u>832-770-1010</u>
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LOCATION OF CONSTRUCTION:

Subdivision: <u>Treasure Island</u>		SITE ADDRESS (Where Structure Will Be Placed or Constructed)			
Street Address: <u>13007 Jolly Roger Dr</u>		City (required): <u>Freeport</u>			
Section:	Block:	Lot:	Abstract No.:	Acreage:	PID #:
<u>1</u>	<u>10</u>	<u>16</u>	<u>29</u>		<u>257434</u>

TYPE OF IMPROVEMENT Check Appropriate Box(es)	PROPOSED USE Fill Out and Check Any That Apply to Your Application	OWNERSHIP Check Appropriate Box(es) Fill Out Cost & Sq. Ft.	TYPE OF WATER SUPPLY Check Appropriate Box	TYPE OF SEWAGE DISPOSAL Check Appropriate Box(es)
<input checked="" type="checkbox"/> New Building <input type="checkbox"/> Addition to Building <input type="checkbox"/> Manufactured Home <input type="checkbox"/> Mobile Home <input type="checkbox"/> Residential RV <input type="checkbox"/> Levee Construction <input type="checkbox"/> Relocated Building - <input type="checkbox"/> Came from Outside County <input type="checkbox"/> Mobile Home Park or RV Park # of Spaces _____	<input checked="" type="checkbox"/> Residential Number of Bedrooms: <u>4</u> Number of Bathrooms: <u>4</u> Full <u>4</u> Partial _____ <input checked="" type="checkbox"/> One Family <input type="checkbox"/> Multi Family - # of Units: _____ <input type="checkbox"/> Non-Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Other: _____ (Type of Building)	<input checked="" type="checkbox"/> Private (Individual, Corp, Non-Profit) <input type="checkbox"/> Public (Federal, State, etc....) Cost: \$ <u>278,000</u> Floor Area Sq. Ft. (including garage): <u>2367</u> sq. ft.	<input checked="" type="checkbox"/> Public/Private Company <input type="checkbox"/> Individual (Water Well)	<input type="checkbox"/> Public/Private Company <input checked="" type="checkbox"/> Individual (Septic) Copy of Environmental Health Permit attached: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No #: <u>2023-607</u>

Fee: Application fee of \$75.00 for Residential permits. If the property lies within the Special Flood Hazard Area of the County, an additional fee of \$0.04 per square foot for Inspection fees will be charged. A natural ground elevation certificate and copy of floor plan are also required for Flood Zone areas. Any application for property of less than ten (10) acres shall obtain an Environmental Permit approval before a County building permit will be issued. UNLESS otherwise specified. **MAKE CHECKS PAYABLE TO: "TREASURER OF BRAZORIA COUNTY"-NO REFUNDS.**

ALL COMMERCIAL BUILDINGS will require approvals from the local Drainage District, Environmental Health and a Fire Code permit by the County Emergency Management Coordinator. **Special flood hazard areas require additional documents.** All commercial construction in Pearland's ETJ is required to contact Pearland City Hall. **Fees Vary According To Type of Business.**

ANY construction located on a proposed County and/or Municipal Thoroughfare in Pearland's ETJ is required to contact Pearland City Hall

Signature: [Signature] Date: 11-22-2023

DO NOT WRITE BELOW THIS LINE								
Approved By: <u>Vahid Shamm</u>		Highest Natural Ground is <u>41</u> ft. Certified By: <u>Terry Singletry</u> RPLS # <u>4804</u> on <u>11/11/21</u>		Permit Fee \$ <u>75</u>	Inspection Fee \$ <u>94.68</u>	Date Of Permit	Permit Number	
Electric	Mailbox Ltr	Setback Ltr	Thoroughfare	Total Fee: \$ <u>169.68</u>		Check #	Receipt No.	
<u>CP</u>	<u>Yes</u>	<u>25'</u>	<u>NO</u>			<u>1184</u>	<u>18915</u>	
ETJ	Inspection Ltr	Ack Ltr	Mobile Home Information	FEMA Zone: <u>VE</u> <u>1672</u> Elevation: <u>18</u> MSL	Panel No.: <u>70016</u>	Class		
<u>Freeport</u>	<u>Yes</u>	<u>NO</u>	<u>NO</u>		Map Date: <u>12/30/22</u>	<u>B</u>		
Special Provisions:								
Mail	<input type="checkbox"/>	Email	<input checked="" type="checkbox"/>	To: <u>I Declare Homes @ gmail. com</u>				Pick Up <input type="checkbox"/>



Brazoria County Floodplain Receipt

(979) 864-1295

(281) 756-1295

111 East Locust Bldg. A-29
Angleton, Texas 77515

Floodplain Administrator

Receipt No 00018915 **Receipt Date** 11/22/2023 **Receipt Time** 10:18:32 AM
NO REFUND(S)

Received From: I Declare Homes, LLC

Trans Type: RPR75 **Permit Fee - NC - Residential, Mobile Homes and Barns** **HUD / County Exempt:** N
Misc. Descr: **Qty:** 1 **Price:** \$75.00

Permit No: **Square Footage:** 0 **Amount Sq. Ft** \$0.00

Contractor:

Owner:

Amount Owed: \$75.00

Trans Type: SQFTG **Square Footage** **HUD / County Exempt:** N
Misc. Descr: **Qty:** 1 **Price:** \$0.04

Permit No: **Square Footage:** 0 **Amount Sq. Ft** \$0.00

Contractor:

Owner:

Amount Owed: \$94.68

Comments: 13007 Jolly Roger Dr. Freeport CK# 1184

Payment Information

Payment Type: CHK **Check# / MO#:** 1184 **Pay Amount:** \$169.68

Payment Type: **Check# / MO#:** **Pay Amount:** \$0.00

Office Use Only **Posted:** N

Total Amount Received: \$169.68

Rec. By: 16157

Void: N **Void By**

Void Date:

Void Reason: **Void Time:**

STATEMENT OF COMMISSIONER'S COURT
OF BRAZORIA COURT
TO CONFORM TO REQUIREMENTS OF
CLASS "B" BUILDING PERMIT

STATE OF TEXAS

COUNTY OF BRAZORIA

The undersigned holder of **Development Permit No.** _____ (whether acting individually or through a duly authorized agent or attorney) does hereby certify to Commissioners' Court of Brazoria County, Texas as follows.

The undersigned permittee:

1. Accepted **Development Permit No.** _____.
2. Is familiar with all plans, specifications and other written material attached to or filed with the **Development Permit Application** on file with the County Floodplain Administrator.
3. Acknowledges that the plans, specifications and other written material filed with **Development Permit Application** is incorporated by reference and made part of this Certificate for purposes.
4. Acknowledges self (itself) to be strictly bound to Commissioners' Court to construct the work permitted under the above described building permit in strict conformity with the plans, specifications and other written material incorporated by reference of this Certificated.
5. Hereby binds himself to establish the required construction elevation to a National Geodetic Survey Marker and have same certified by Texas Registered Surveyor (or agreeable alternate). **The original Finished Construction Elevation certificate with registered surveyor's stamp, signature, date and pictures shall be forwarded to the County Floodplain Administrator's office verifying top of bottom floor reading upon completion of the structure. It must indicate that it is the "Finished Construction" certificate showing (a) top of bottom floor reading and (e) lowest elevation of machinery or equipment in Section C of the certificate.**

If the Finished Construction Elevation Certificate is not received, your building permit will be put in violation in the Brazoria County Floodplain Administrator's office.

6. Is required to notify the County Floodplain Administrator when construction progresses to the point necessary for the foundation inspection (after certification) and later for the electrical/plumbing to verify the electrical and plumbing facility are above the base flood.
7. Shall not have a valid permit until this agreed upon and signed original document is on file and in possession of the County Floodplain Administrator.
8. If at any time an Engineering Study was required and the data submitted is found to be inaccurate, **Brazoria County or the County Floodplain Administrator** cannot be held liable. The responsibility shall fall back on the property owner and/or Engineering Firm submitting the information.
9. **Any structure that is used for commercial or a public facility must adhere to the International Fire Codes. Contact the Emergency Management Coordinator of Brazoria County for inspections required.**

Applicant/Permittee Signature



ON-SITE SEWAGE FACILITY PERMIT APPLICATION
BRAZORIA COUNTY ENVIRONMENTAL HEALTH DEPT
111 East Locust Bldg A-29, Suite 270 ANGLETON, TX 77515
HOUSTON (281)756-1600 ANGLETON (979)864-1600 CLUTE (979)388-1600

2023-607
Permit Number
\$250 Single Family
\$450 All Others
New
Replacement
Alteration
Type SI
BCEHD USE ONLY

This application will expire one year from the application date if inspection not complete. No refunds once permit is issued.
Attach Copy of Legal Description (i.e. Deed, Plat, Survey, Appraisal)

PROPERTY OWNER I Declare Homes
(NAME ON DEED) (LAST) (FIRST) (INT)

PHONE NUMBERS 713-899-9579

MAILING ADDRESS 14623 Bramblewood Dr., Houston TX 77079

SITE ADDRESS 13007 Jolly Roger, Freeport, TX 77541 Acres

WATER SOURCE Private Public Treasure Island (Name) Water Saving Devices: Yes No

SINGLE FAMILY RESIDENCE: # of Bedrooms 4 Living Area(Sq Ft) <3500 Daily Wastewater Usage Rate 300

COMMERCIAL/MULTI FAMILY: Type # of Employees/Units Days/Wk Occupied

DESIGNER Garry Gana, R.S. Reg# 3207 Phone# 281-235-4201

SITE EVALUATOR Garry Gana, R.S. Reg# 10343 Phone# 281-235-4201

INSTALLER Joshua Ripple Reg# 32415 Phone# 979-215-0863

MAINTENANCE PROVIDER Joshua Ripple Reg# 2664 Phone# 979-215-0863

TREATMENT UNIT(S): Septic Tank Aerobic Tank # of Tanks/Compartments 3 Size 500 gal

Manufacturer Texas PreCast Model AK500

DISPOSAL SYSTEM: Drainfield Area 940 sq ft Trench Depth 10 inches

Gravity 3" with gravel 4" with gravel 8" gravelless 10" gravelless Leaching Chamber

Other Low Pressure Dosing Surface Irrigation Drip Emitter 470

I certify that the above statements are true and correct to the best of my knowledge. Authorization is hereby given to the Authorized Agent to enter upon the above described property for the purpose of lot evaluation and inspection of the OSSF. I also acknowledge that inspection of the OSSF is required prior to all components being covered and use of the system.

Signature of Owner (Name on Deed) I Declare Homes LLC Date 10-25-2023

DEPARTMENT USE ONLY BELOW THIS LINE

APPLICATION: APPROVAL DISAPPROVAL DATE 11-2-23 INSPECTOR LIC# 33419

Well Log or Plugging Reports Required? Yes No Recorded Plat Required? Yes No Flood Zone Yes No

Brazoria County Appraisal ID # 257434 ETJ Freeport Flood Plain Info: New Construction Upgrade

Legal Description: SUB Treasure Island Ab 29 Sec 10 Block 10 Lot 16 Precinct #1

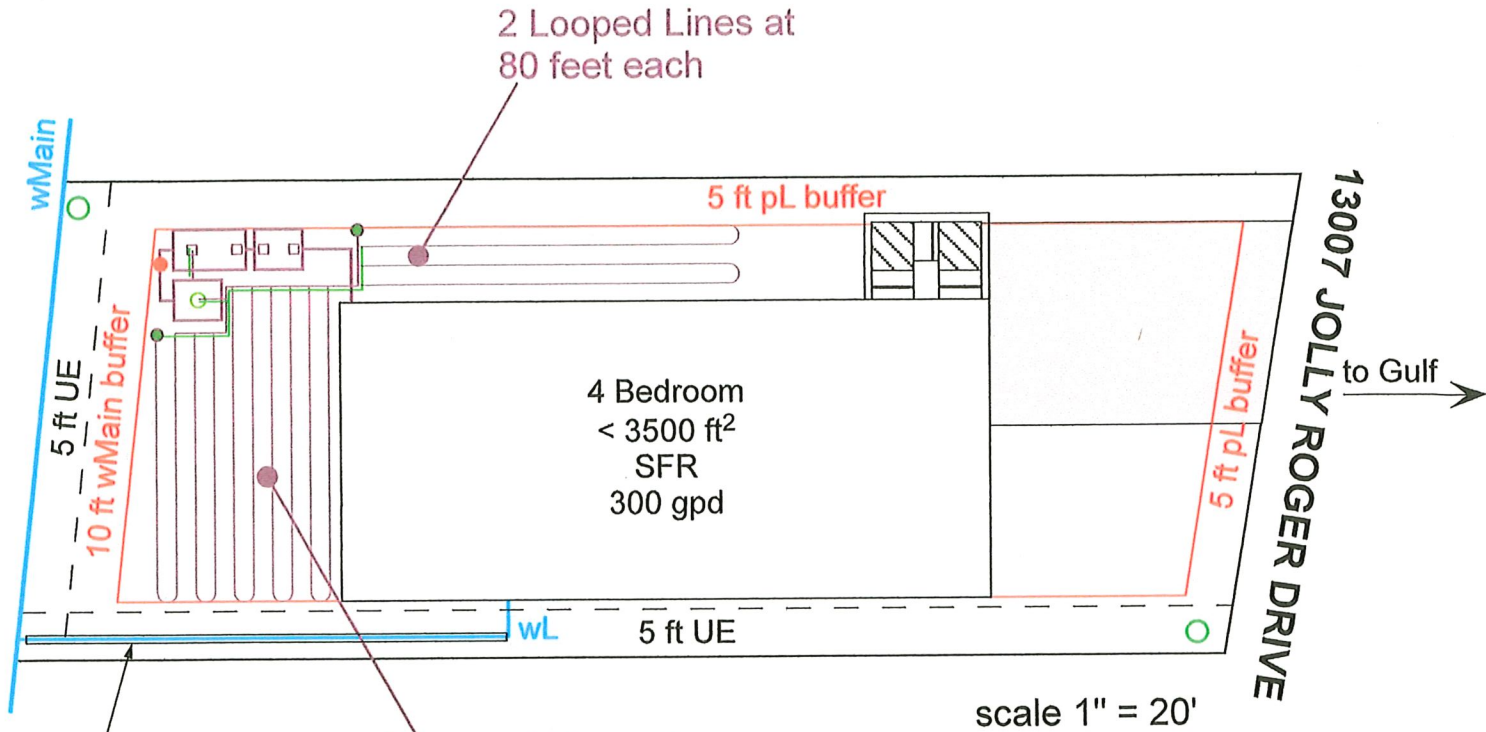
Authorization to Construct Provided to Installer: Josh Ripple Date: 11-3-23 In person Fax Mail By: me

INSPECTION: APPROVAL DISAPPROVAL DATE INSPECTOR LIC#

Final Permit Copies Provided to Installer: Date: In person Fax Mail By:

Provided to Maintenance Prov: Date: In person Fax Mail By: Revised 9/30/21 jcs

Treasure Island (A0029 SF Austin),
Block 10, Lot 16



13007 JOLLY ROGER DRIVE
to Gulf →

scale 1" = 20'

sleeve water line
as shown

2 Looped Lines at
56 feet each and
3 Looped Lines at
66 feet each

- = Chlorinator
- = soil test site
by Site Evaluator
- = vacuum breaker

This property does
lie within the 100 year
floodplain

This property exhibits less
than 4% slope across
its entire area

Note:
The OSSF drainfield is to
be completely sodded by
the property owner prior
to operation of the system



Handwritten signature and date:
4-25-22

ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1-9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A – PROPERTY INFORMATION				FOR INSURANCE COMPANY USE	
A1. Building Owner's Name I Declare Homes				Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 13007 Jolly Roger				Company NAIC Number:	
City Freeport		State Texas		ZIP Code 77541	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) Treasure Island, Sec. 1, Lot 16 Block 10 S.F. Austin Peninsular League, Abstract 29 (Volume 9, Page 73-74 B.C.P.R.)					
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>Residential</u>					
A5. Latitude/Longitude: Lat. <u>29°04'22.88" N</u> Long. <u>95°07'28.20" W</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983					
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.					
A7. Building Diagram Number <u>5</u>					
A8. For a building with a crawlspace or enclosure(s):					
a) Square footage of crawlspace or enclosure(s) <u>0.00</u> sq ft					
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>0</u>					
c) Total net area of flood openings in A8.b <u>0.00</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
A9. For a building with an attached garage:					
a) Square footage of attached garage <u>0.00</u> sq ft					
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>0</u>					
c) Total net area of flood openings in A9.b <u>0.00</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number Brazoria County Unincorporated Area 485458			B2. County Name Brazoria		B3. State Texas
B4. Map/Panel Number 48039C0700	B5. Suffix K	B6. FIRM Index Date 06-05-1989	B7. FIRM Panel Effective/ Revised Date 12-30-2020	B8. Flood Zone(s) VE	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) 16.0'
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 13007 Jolly Roger			Policy Number:
City Freeport	State Texas	ZIP Code 77541	Company NAIC Number

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction

*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO. Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.

Benchmark Utilized: RTCM-REF 2521 Vertical Datum: NAVD 88

Indicate elevation datum used for the elevations in items a) through h) below.

NGVD 1929 NAVD 1988 Other/Source: _____

Datum used for building elevations must be the same as that used for the BFE.

Check the measurement used.

- | | | | |
|---|------|--|---------------------------------|
| a) Top of bottom floor (including basement, crawlspace, or enclosure floor) | 20.0 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| b) Top of the next higher floor | | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| c) Bottom of the lowest horizontal structural member (V Zones only) | 18.0 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| d) Attached garage (top of slab) | | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| e) Lowest elevation of machinery or equipment servicing the building
(Describe type of equipment and location in Comments) | | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| f) Lowest adjacent (finished) grade next to building (LAG) | 3.6 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| g) Highest adjacent (finished) grade next to building (HAG) | 4.1 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support | | <input type="checkbox"/> feet | <input type="checkbox"/> meters |

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor? Yes No Check here if attachments.

Certifier's Name Terry Singletary	License Number TX RPLS 4808	
Title Registered Professional Land Surveyor		
Company Name Doyle & Wachtstetter Inc.		
Address 131 Commerce St.		
City Clute	State Texas	

Signature <i>Terry Singletary</i>	Date 11-11-2021	Telephone (979) 265-3622	Ext. 1042
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Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)
A railroad spike was found in a power pole on the Northwest corner of the Lot 11, Block 15 (12939 Jolly Roger) for bench mark at elevation 8.55 feet (8' 6 5/8").
Elevation called in Section C2(a) and (c) are proposed elevations.

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 13007 Jolly Roger			Policy Number:
City Freeport	State Texas	ZIP Code 77541	Company NAIC Number

**SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED)
FOR ZONE AO AND ZONE A (WITHOUT BFE)**

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the HAG.
- b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the LAG.
- E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ feet meters above or below the HAG.
- E3. Attached garage (top of slab) is _____ feet meters above or below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is _____ feet meters above or below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? Yes No Unknown. The local official must certify this information in Section G.

SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner or Owner's Authorized Representative's Name

Address City State ZIP Code

Signature Date Telephone

Comments

Check here if attachments.

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 13007 Jolly Roger			Policy Number:
City Freeport	State Texas	ZIP Code 77541	Company NAIC Number

SECTION G – COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8–G10. In Puerto Rico only, enter meters.

- G1. The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. The following information (Items G4–G10) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate of Compliance/Occupancy Issued
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- G7. This permit has been issued for: New Construction Substantial Improvement
- G8. Elevation of as-built lowest floor (including basement) of the building: _____ feet meters Datum _____
- G9. BFE or (in Zone AO) depth of flooding at the building site: _____ feet meters Datum _____
- G10. Community's design flood elevation: _____ feet meters Datum _____

Local Official's Name	Title
-----------------------	-------

Community Name	Telephone
----------------	-----------

Signature	Date
-----------	------

Comments (including type of equipment and location, per C2(e), if applicable)

Check here if attachments.

BUILDING PHOTOGRAPHS

See Instructions for Item A6.

OMB No. 1660-0008
Expiration Date: November 30, 2022

ELEVATION CERTIFICATE

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 13007 Jolly Roger			Policy Number:
City Freeport	State Texas	ZIP Code 77541	Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.

Photo One

Photo One

Photo One Caption

Front View

Clear Photo One

Photo Two

Photo Two

Photo Two Caption

Rear View

Clear Photo Two

ELEVATION CERTIFICATE

BUILDING PHOTOGRAPHS

Continuation Page

OMB No. 1660-0008
Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 13007 Jolly Roger			Policy Number:
City Freeport	State Texas	ZIP Code 77541	Company NAIC Number

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.

Photo Three

Photo Three

Photo Three Caption

Left Side View

Clear Photo Three

Photo Four

Photo Four

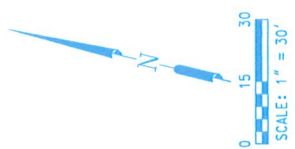
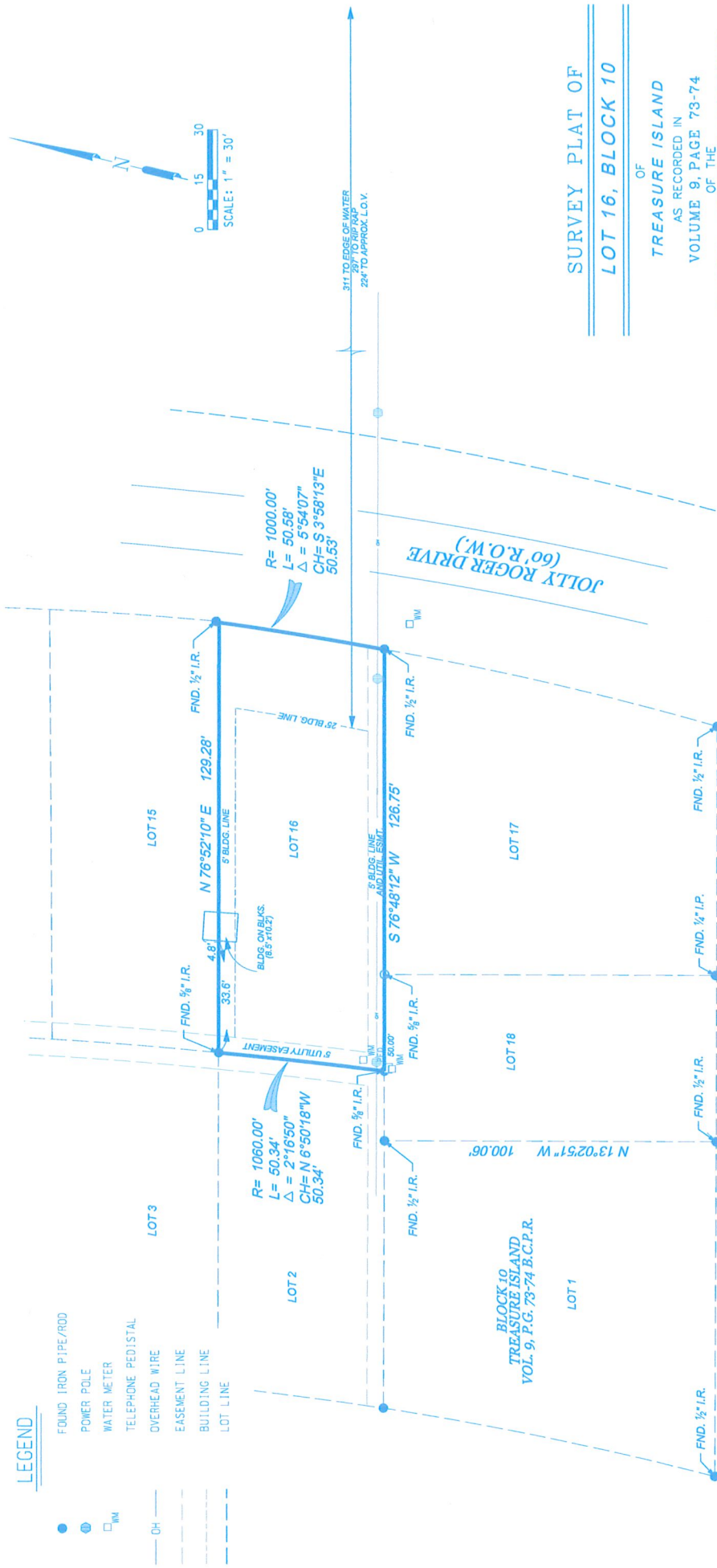
Photo Four Caption

Right Side View

Clear Photo Four

LEGEND

- FOUND IRON PIPE/ROD
- ⊕ POWER POLE
- WM WATER METER
- OH TELEPHONE PEDISTAL
- OVERHEAD WIRE
- EASEMENT LINE
- BUILDING LINE
- LOT LINE



SURVEY PLAT OF
LOT 16, BLOCK 10

OF
TREASURE ISLAND
AS RECORDED IN
VOLUME 9, PAGE 73-74
OF THE
BRAZORIA COUNTY PLAT RECORDS
IN THE
S.F. AUSTIN PENINSULAR LEAGUE
ABSTRACT 29

BRAZORIA COUNTY, TEXAS
FOR
I DECLARE HOMES
13007 JOLLY ROGER



Doyle & Wachstetter, Inc.
Surveying and Mapping GPS/GIS
131 COMMERCE STREET, CLUTE, TEXAS 77531
OFFICE: 979-265-3627 FAX: 979-265-5940
FIRM NO: 10054500

PALM BOULEVARD (70' R.O.W.)

I, TERRY SINGLETARY, REGISTERED PROFESSIONAL LAND SURVEYOR DO HEREBY CERTIFY THAT THE ABOVE PLAT IS A TRUE REPRESENTATION OF A SURVEY MADE UNDER MY SUPERVISION, ON THE GROUND, AND THAT THERE ARE NO EXCESSES NOR INTRUSIONS ON THIS PROPERTY, EXCEPT AS SHOWN.
DATE SURVEYED: NOVEMBER 11, 2021.



Terry Singletary
TERRY SINGLETARY
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NUMBER 4808

USER: LLOFTOS DATE: 10/24/2021 TIME: 9:41:18 AM FILE: 1016121.dwg PLOT: 16.dwg

I Declare Homes

14623 Bramblewood Dr.
Houston, TX 77079
(713) 899-9579
IDeclareHomes@gmail.com

November 16, 2023

BUILDING PERMIT DEPARTMENT
111 EAST LOCUST, BLDG A-29, SUITE 210
ANGLETON, TX 77515
ATTN: JOE RIPPLE

Please accept this letter for the purpose of submitting to Brazoria County an application for Beachfront Construction. Below I will provide pertinent information for the purpose of permit evaluation and approval.

Applicant Information

I Declare Homes LLC
14623 Bramblewood Dr., Houston, TX 77079
(713) 899-9579
IDeclareHomes@gmail.com

Contractor Information

Khodr Homes
Owner: Nour Khodr
8018 Rippling Stream Ln., Richmond, TX 77407
(832) 770-1010
Nour@khodrhomes.com

Property Information

Property Owner: I Declare Homes LLC
Legal Description: Lot Sixteen (16) Block Ten (10), Treasure Island Subdivision, Brazoria County, Texas, a subdivision out of the S.F. Austin Survey, Abstract 29, in Brazoria County, Texas
Property Address: 13007 Jolly Roger Dr., Freeport, TX 77541

Development Description

A single family residence is proposed for new construction. Total living area is 2,224 square feet. The main first floor will have 1,483 square feet of living area and the second floor will have 741 square feet of living area. The first floor will be constructed eighteen (18) feet above base flood elevation.

Wood frame construction with hardie board siding will be used. A detailed floor plan is attached. Below the home, within the boundaries of the foundation, will be concrete decking with a 200 square foot storage shed. A crushed limestone driveway entering from Jolly Roger Dr. will provide parking for three vehicles. The lot is relatively flat with the lowest grade 3.6 ft and highest grade 4.1 ft. Any grading will be determined by the concrete contractors, which will provide adequate slope for any water run off. The remaining pervious surface areas of the lot will be graded with a slight slope towards the drainage ditch and will be covered with St. Augustine grass, which is the extent of the proposed landscaping. Property is staked and ready for onsite inspection.

Duration

The proposed duration for construction and clean up will be approximately six (6) months, dependent on weather and material availability. No-revegetation will be necessary on this property.

Dune Effects

This lot does not have any dunes present, therefore construction will not have any effect on dunes and vegetation. The lot lies inland away from the beach waterfront. No walkway or walkover is required for this property. Photographs from the lot facing north, south, east, and west are attached.

Septic System

Aerobic system manufactured by Texas PreCast with 500 gallon capacity. OSSF design and permit is attached.

Statement of Concern

I, Gregory Filippov % I Declare Homes LLC affirm the construction and use of or access to and from the structure will not adversely affect the public beach or public beach access ways or exacerbate erosion.

Sincerely,

Gregory Filippov

Owner, I Declare Homes LLC

JOLLY ROGER DRIVE
(60' R.O.W.)

SITE PLAN
1/8"=1'-0"

LEGAL DESCRIPTION:

LOT 16, BLOCK 10, OF TREASURE ISLAND SECTION 1, A SUBDIVISION IN THE S.E. QUARTER, PENINSULAR LEAGUE OF BRAZORIA COUNTY, TEXAS, ACCORDING TO THE MAP OF SAID SUBDIVISION FILED FOR RECORD IN THE OFFICE OF THE CLERK OF THE COUNTY CLERK OF BRAZORIA COUNTY, TEXAS



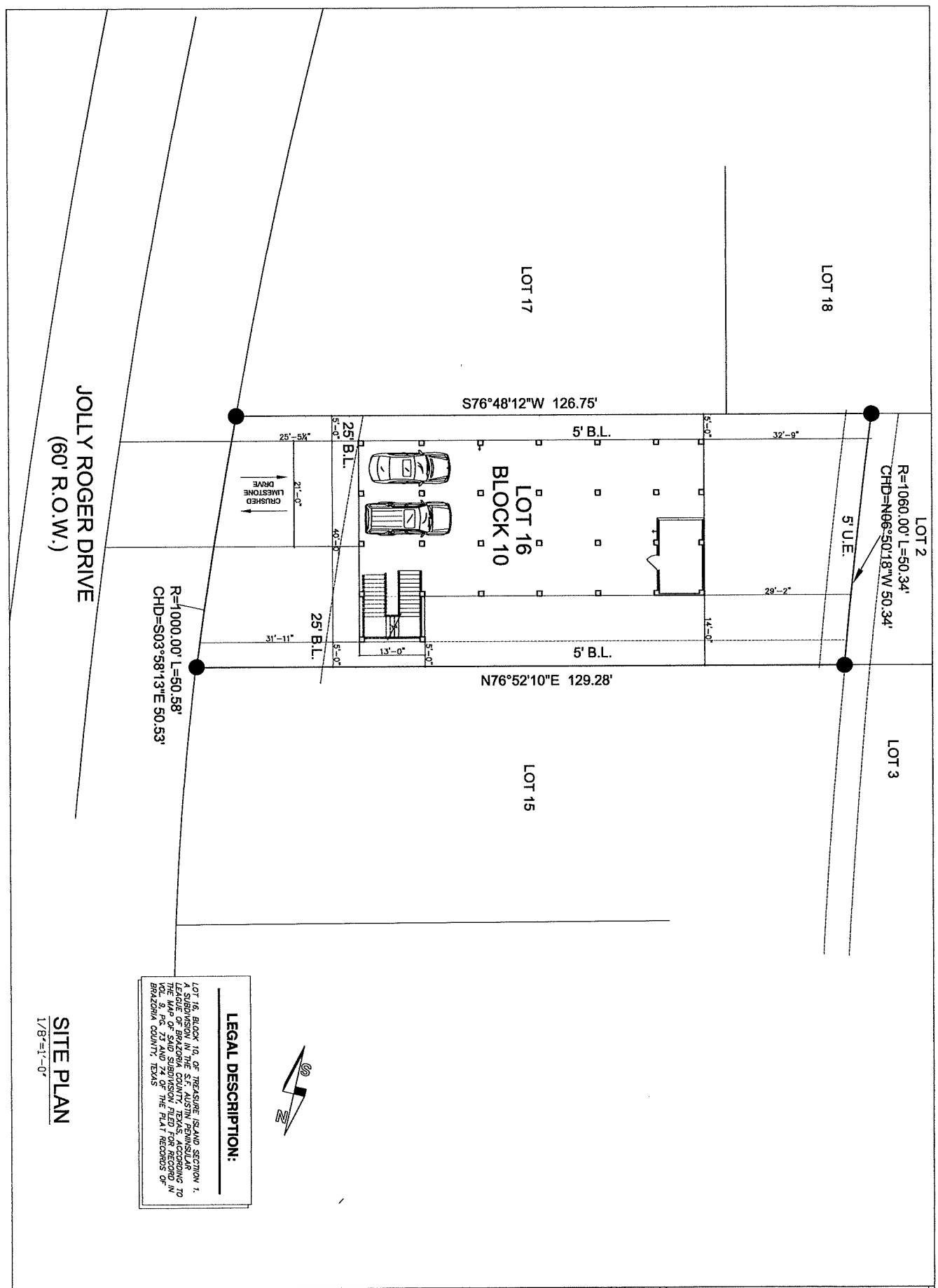
A CUSTOM RESIDENCE AT:
13007 JOLLY ROGER DRIVE,
FREEPORT, TX 77541

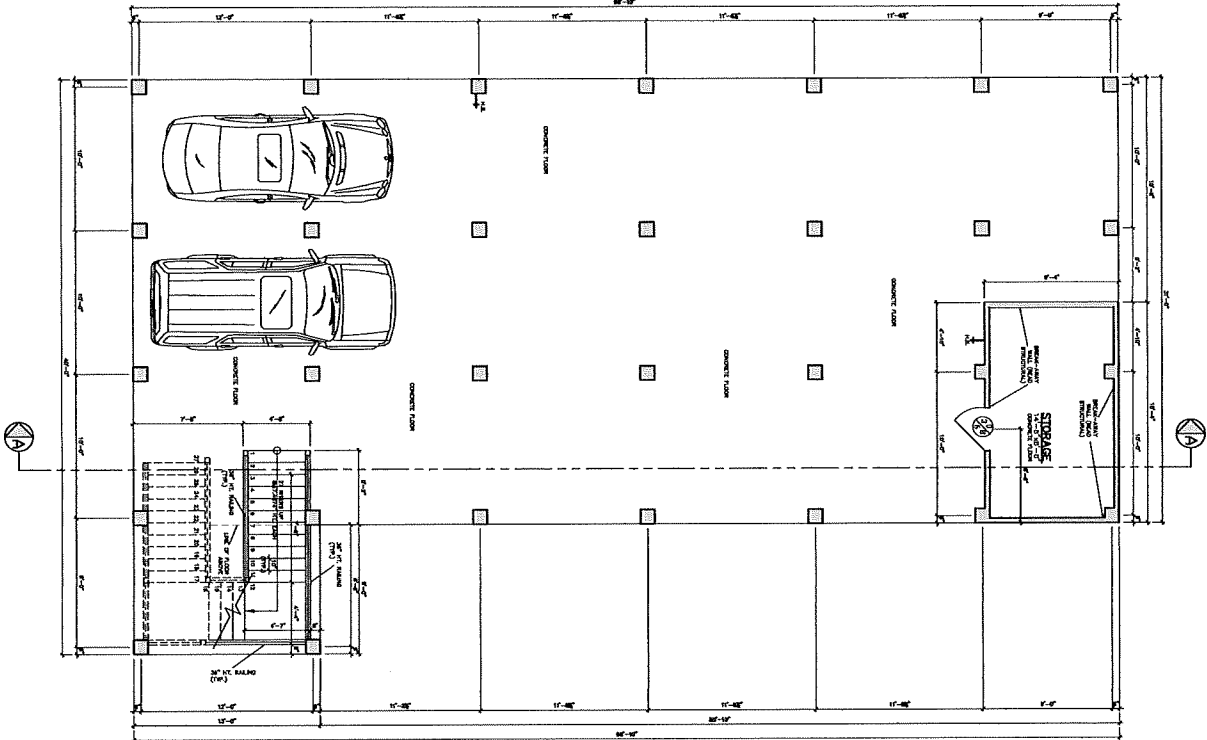


Antong
Design
24718 Twilight Hollow Ln.
Richardson, TX 77466
Contact: Tony Jiang
Tel: (972) 492-4992
Email: antongdesign@gmail.com

NO SCALE
(FOR MAIL USE)

A001





STAIR SPECIFICATIONS:

- 1) 27 RISERS @ 7.400" HT. EACH (ROUND TO 1ST FIN.)
- 19 RISERS @ 7.2431" HT. EACH (1ST FLOOR TO 2ND FLOOR)
- 2) DESIGN & INSTALL STAIRS AS PER I.A.C. R214, R214.1
- 3) HANDRAIL SHALL BE @ 36" HIGH MIN. PER I.A.C. R215
- 4) BALUSTRADE SHALL BE @ 36" HIGH MIN. PER I.A.C. R215
- 5) BALUSTRADE SHALL BE @ 1 1/2" DIA. MIN. PER I.A.C. R215
- 6) MINIMUM VERTICAL CLEARANCE SHALL BE 6'8"
- 7) 5/8" FIRE-CODE OPSISUM BOARD UNDER STAIRS.
- 8) ATTC ACCESS STAIRWAY SHALL MIN. 30" DIA. 300 LBS 1000

GENERAL NOTES

CONSTRUCTION OF INTERIOR (INT) AND EXTERIOR WALL (EXT) COMPLIES AS PER (I.A.C. Ch. 7)

BATHING AND SLEEPING ROOMS AND WALLS ABOVE BATHING WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH AN NONABSORBENT SURFACE SUCH AS WALL COVERINGS SHALL EXTEND TO THE FINISH FLOOR (I.A.C. R207.2)

PROVIDE CLADDING AT ALL HAZARDOUS LOCATIONS AS PER I.A.C. R208.4

BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SULLAR ROOMS SHALL BE PROVIDED WITH ABSORBENT CLADDING FROM CEILING TO FINISH FLOOR. ABSORBENT CLADDING SHALL BE FINISHED WITH A FINISH WHICH MUST BE PERVAHIC IN LEAD OR NATURAL VENTILATION, A MECHANICAL VENTILATION SYSTEM SHALL BE PROVIDED TO EXHAUST AIR FROM THESE ROOMS TO THE OUTSIDE (I.A.C. R203.3)

ALL ESCAPE OR RESCUE WINDOWS FROM SLEEPING ROOMS SHALL BE OPENED FROM THE INSIDE. OPENING HEIGHT DIMENSION SHALL BE NOT LESS THAN 24 IN. THE MINIMUM NET CLEAR OPENING WITH FINISHED SURFACE SHALL BE 20" ABOVE FINISH FLOOR (I.A.C. R202.1). ALL ESCAPE OR RESCUE WINDOWS FROM SLEEPING ROOMS SHALL HAVE A FINISHED SILL HEIGHT NOT LOWER THAN 44 INCHES ABOVE THE FLOOR (I.A.C. R202.1).

SMOKE DETECTORS SHALL BE HARD-WIRED, BATTERY OPERATED AND TESTED PER I.A.C. R207.1, BATTERY BACK-UP AS PER I.A.C. R207.1, BATTERY

WALL LEGEND

- 2x4 WALL
- 2x6 WALL
- 2x8 WALL
- 2x10 WALL
- 2x12 WALL
- 2x14 WALL
- 2x16 WALL
- 2x18 WALL
- 2x20 WALL
- 2x22 WALL
- 2x24 WALL
- 2x26 WALL
- 2x28 WALL
- 2x30 WALL
- 2x32 WALL
- 2x34 WALL
- 2x36 WALL
- 2x38 WALL
- 2x40 WALL
- 2x42 WALL
- 2x44 WALL
- 2x46 WALL
- 2x48 WALL
- 2x50 WALL
- 2x52 WALL
- 2x54 WALL
- 2x56 WALL
- 2x58 WALL
- 2x60 WALL
- 2x62 WALL
- 2x64 WALL
- 2x66 WALL
- 2x68 WALL
- 2x70 WALL
- 2x72 WALL
- 2x74 WALL
- 2x76 WALL
- 2x78 WALL
- 2x80 WALL
- 2x82 WALL
- 2x84 WALL
- 2x86 WALL
- 2x88 WALL
- 2x90 WALL
- 2x92 WALL
- 2x94 WALL
- 2x96 WALL
- 2x98 WALL
- 2x100 WALL

GROUND FLOOR PLAN
1/4"=1'-0"

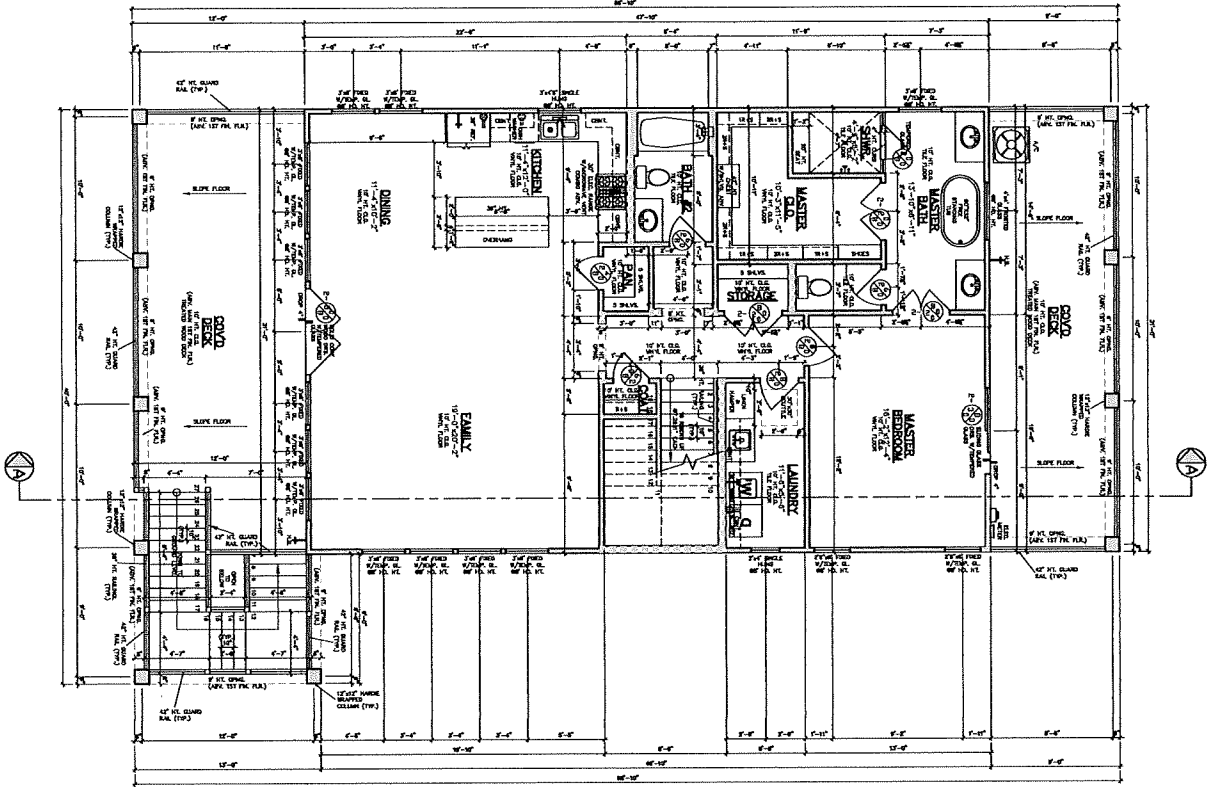
**A CUSTOM RESIDENCE AT:
13007 JOLLY ROGER DRIVE,
FREEPORT, TX 77541**

NOV 19, 2023
(PERMIT SET)

A.100

AnTong Design
24718 Twilight Hollow Ln.
Houston, TX 77466
Contact: Tong Jiang
Tel: (832)717-0692
tongjiang@antongdesign.com

I DECLARE



AREAS (SQ. FT.)

MAIN 1ST FLOOR (A/C)	1,463
MAIN 2ND FLOOR (A/C)	1,171
TOTAL LIVING	2,634
1ST FLOOR COVERED DECK	718
2ND FLOOR COVERED DECK	372
STORAGE ROOMS (L.F.F.)	142
TOTAL NONLIVING	1,284
TOTAL COVERED	3,918

- STAIR SPECIFICATIONS:**
- 1) 27 RISERS @ 47.600" HT. EACH (RISING TO 1ST FLD.)
 - 2) 18 RISERS @ 47.600" HT. EACH (1ST FLD. TO 2ND FLD.)
 - 3) DESIGN & INSTALL STAIRS AS PER I.A.C. 801.4
 - 4) HANDRAIL SHALL BE @ 36" FROM WALK PER I.A.C. 801.5
 - 5) BALUSTERS SHALL BE @ 4" O.C. MAX. PER I.A.C. 801.6
 - 6) MINIMUM VERTICAL CLEARANCE SHALL BE 6'8"
 - 7) 5/8" PRE-CODE CRUSHED SAND UNDER STAIRS.
 - 8) ATIC ACCESS STAIRWAY SHALL BE 36" WIDE.
 - 9) 200 LBS. LOAD

GENERAL NOTES

CONSTRUCTION OF INTERIOR (INTO) AND EXTERIOR WALL (EXTO) OPENINGS AS PER (I.A.C. 801.7)

BATHS AND SHOWER FLOORS AND WALLS ABOVE BATHS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH AN NONWATERABSORBING SURFACE SHALL EXCEED 1/8" ABOVE FINISH FLOOR. (I.A.C. 802.2)

PROVIDE CLADDING AT ALL HAZARDOUS LOCATIONS AS PER I.A.C. 802.4

BATHROOM, WALK-IN CLOSET COMPARTMENTS AND OTHER SLEEPING ROOMS SHALL BE FINISHED WITH A FINISH FLOOR SHALL BE FINISHED WITH A FINISH FLOOR LESS THAN 3 SQUARE FEET, INCLUDING OF WHICH MUST BE OPENABLE IN USE OF NATURAL VENTILATION, A MECHANICAL VENTILATION AND FROM THE SPACE SHALL BE EXHAUSTED DIRECTLY TO THE OUTSIDE. (I.A.C. 802.3)

ALL ESCAPE OR RESCUE PASSAGES FROM SLEEPING ROOMS SHALL BE FINISHED WITH A FINISH FLOOR SHALL BE FINISHED WITH A FINISH FLOOR LESS THAN 3 SQUARE FEET, INCLUDING OF WHICH MUST BE OPENABLE IN USE OF NATURAL VENTILATION, A MECHANICAL VENTILATION AND FROM THE SPACE SHALL BE EXHAUSTED DIRECTLY TO THE OUTSIDE. (I.A.C. 802.3)

ALL ESCAPE OR RESCUE PASSAGES FROM SLEEPING ROOMS SHALL BE FINISHED WITH A FINISH FLOOR SHALL BE FINISHED WITH A FINISH FLOOR LESS THAN 3 SQUARE FEET, INCLUDING OF WHICH MUST BE OPENABLE IN USE OF NATURAL VENTILATION, A MECHANICAL VENTILATION AND FROM THE SPACE SHALL BE EXHAUSTED DIRECTLY TO THE OUTSIDE. (I.A.C. 802.3)

SMOKE DETECTORS SHALL BE HARD-WIRED AND SHALL BE INSTALLED IN EACH SLEEPING ROOM AND IN EACH BATHROOM. (I.A.C. 802.1)

SMOKE DETECTORS SHALL BE INSTALLED IN EACH SLEEPING ROOM AND IN EACH BATHROOM. (I.A.C. 802.1)

WALL LEGEND

---	2nd WALL
---	2nd WALL
---	2nd WALL
---	2nd WALL

MAIN 1ST FLOOR PLAN
1/4" = 1'-0"

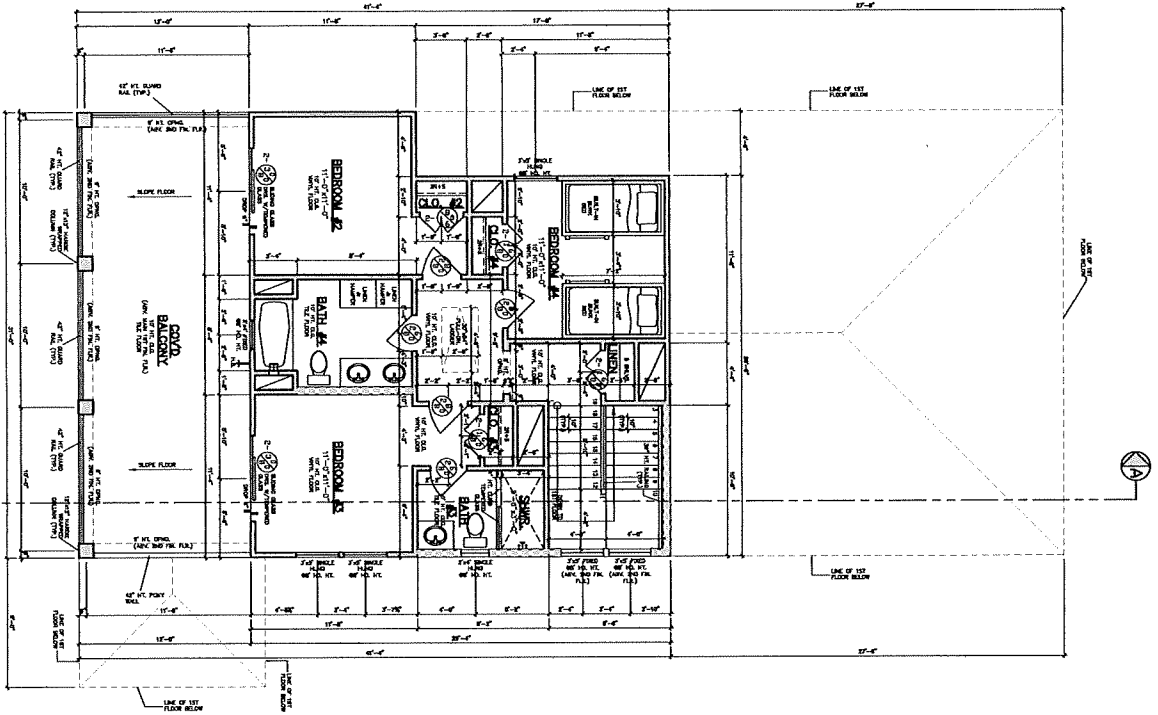
NOV 19 2023
(REV. 1) SET

A CUSTOM RESIDENCE AT:
13007 JOLLY ROGER DRIVE,
FREEPORT, TX 77541

AnTong Design

24718 Tindal Hollow Ln.,
Richmond, TX 77466

Contact: Tong Jiang
Tel: (832) 217-6692
tongjiang@gmail.com



STAIR SPECIFICATIONS:

- 1) 27 RISERS @ 8 1/2" H.T. EACH (ROUND TO 1ST FLOOR)
- 2) 19 RISERS @ 8 1/2" H.T. EACH (1ST FLOOR TO 2ND FLOOR)
- 3) DESIGN & INSTALL STAIRS AS PER I.A.C. B314
- 4) HANDRAIL SHALL BE @ 3" FROM WALL PER I.A.C. B314
- 5) BALUSTERS SHALL BE 4" O.C. MAX.
- 6) MINIMUM VERTICAL CLEARANCE SHALL BE 6'8"
- 7) 5/8" PRE-CODE CRIPSLAM BOARD UNDER STAIRS
- 8) ALL ACCESS STAIRWAYS SHALL BE FINISHED WITH CRIPSLAM BOARD
- 9) FINISH: 3/4" OAK, 300' USE UNOAK

GENERAL NOTES

CONSTRUCTION OF INTERIOR (INT.) AND EXTERIOR WALL (EXT.) COVERINGS AS PER I.A.C. B317

BATHS AND SHOWERS FLOORS AND WALLS ABOVE BATHS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH NON-SLIP SURFACE. SURFACE SHALL BE FINISHED WITH 1/4" THICK 18" X 18" CERAMIC TILE SET IN 1/2" SBT. ABOVE FLOOR. (I.A.C. B307.2)

PROVIDE CABLING AT ALL TELEPHONE LOCATIONS AS PER I.A.C. B304.4

BATHROOMS, WALK-IN CLOSET COMPARTMENTS AND OTHER SLEEPING ROOMS SHALL BE PROVIDED WITH AT LEAST 3 SQUARE FEET, ONE-HALF" OF WHICH MUST BE PROVIDABLE IN USE OF NATURAL VENTILATION, A MECHANICAL VENTILATION SYSTEM OR A MECHANICAL EXHAUST SYSTEM. AIR FROM THE SPACE SHALL BE EXHAUSTED DIRECTLY TO THE OUTSIDE. (I.A.C. B313.3)

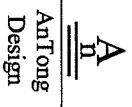
ALL ESCAPE OR RESCUE WINDOWS FROM SLEEPING ROOMS SHALL BE PROVIDED WITH CLEAR OPENING OF 20 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE NOT LESS THAN 24 IN. THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE NOT LESS THAN 20 IN. (I.A.C. B313.1) ALL ESCAPE OR RESCUE WINDOWS FROM SLEEPING ROOMS SHALL HAVE A MINIMUM NET HEIGHT NOT MORE THAN 44 INCHES ABOVE THE FINISH FLOOR FINISH. (I.A.C. B313.1)

SMOKE DETECTORS SHALL BE HARD-WIRED, BATTERY BACK-UP AS PER THE IBC 907.1.1 (NOTY)

WALL LEGEND

- 3/4" WALL
- 2 1/2" WALL
- 1/2" WALL ON CONCRETE 2 1/2" HIGH CAPPING OR WALL HEIGHT TO 5' OVER 1/2"

MAIN 2ND FLOOR PLAN
1/4" = 1'-0"

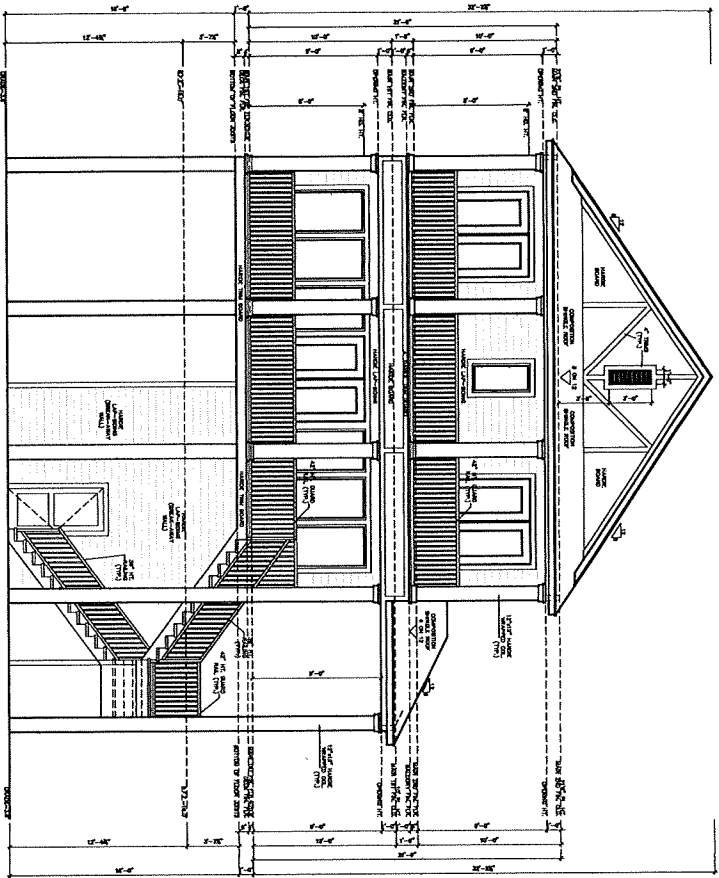


AnTong Design
24718 Tindal Hollow Ln.,
Richardson, TX 75085
Contact: Tong Jiang
Tel: (972) 411-4692
tongjiang@gmail.com

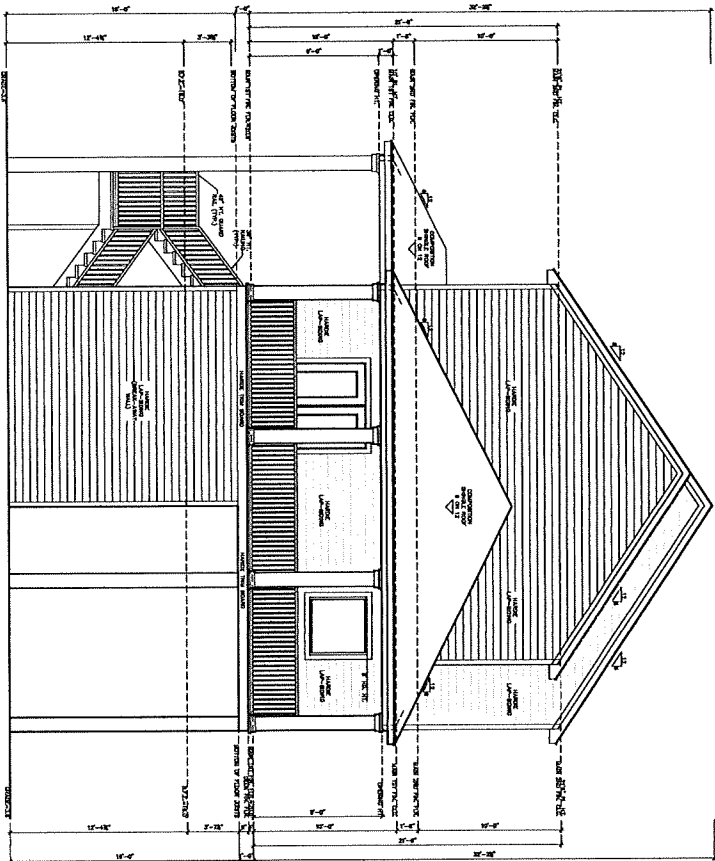


**A CUSTOM RESIDENCE AT:
13007 JOLLY ROGER DRIVE,
FREEPORT, TX 77541**

NOV 9 2023
(REVISION 5)



FRONT ELEVATION
1/4"=1'-0"



BACK ELEVATION
1/4"=1'-0"



**AnTong
Design**

24718 Tullaghan Hollow Ln.
Richmond, TX 77406

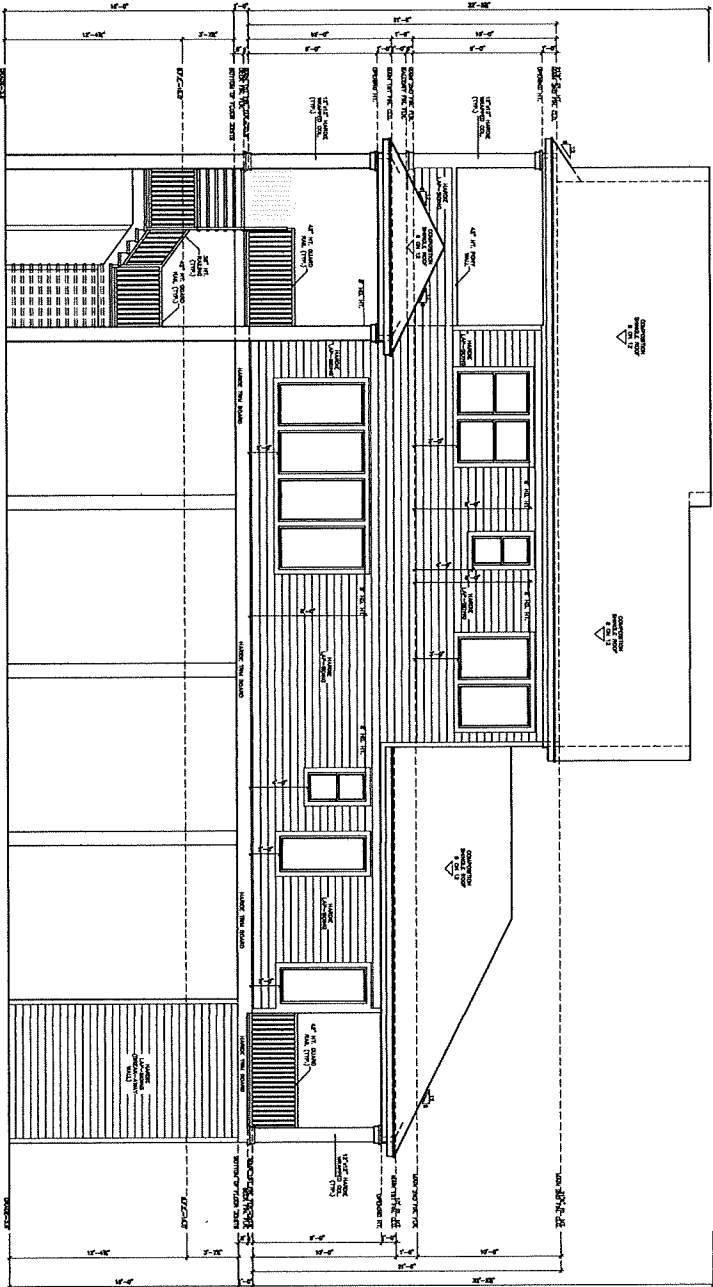
Contact: Tong Jiang
Tel: (832) 272-4092
Fax: (832) 272-4092
tongjiang@gmail.com



**A CUSTOM RESIDENCE AT:
13007 JOLLY ROGER DRIVE,
FREEPORT, TX 77541**

NOV 19 2010
(EMAIL SENT)

A 201



RIGHT ELEVATION
 1/4"=1'-0"



**Antong
 Design**

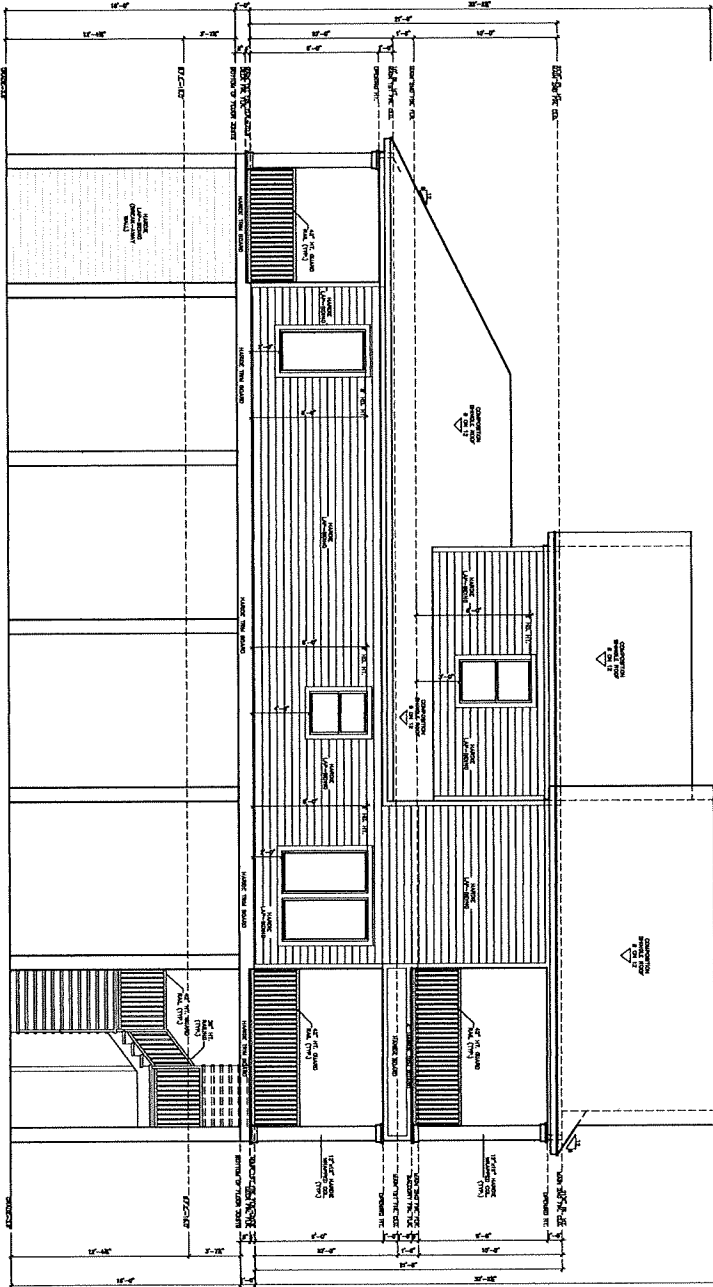
24718 Twilight Hollow Ln,
 Richmond, TX 77466

Contact: Tong Jiang
 Tel: (832) 469-8092
 E-mail: tongjiang@gmail.com



**A CUSTOM RESIDENCE AT:
 13007 JOLLY ROGER DRIVE,
 FREEPORT, TX 77541**

(PRINTED ON PERMANENT PAPER)



LEFT ELEVATION
1/4"=1'-0"



**Antong
Design**

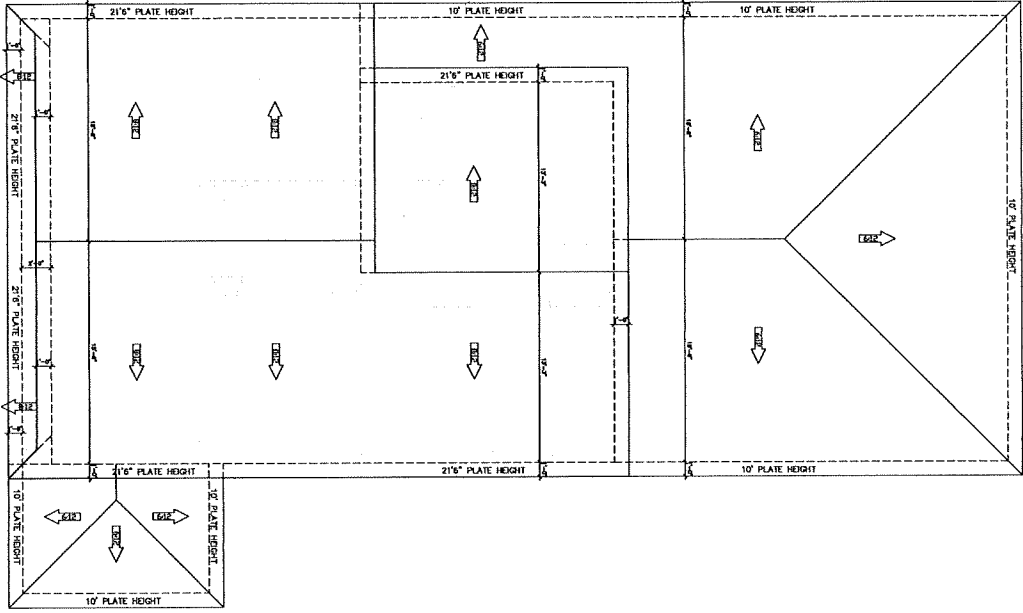
24718 Twilight Hollow Ln.
Richmond, TX 77406
Caitlyn Tong Jiang
Tel: (832)271-6692
E-mail:
tongjiang@gmail.com



**A CUSTOM RESIDENCE AT:
13007 JOLLY ROGER DRIVE,
FREEPORT, TX 77541**

NOV 19 2021
(PERMIT SETS)

A.203



ROOF NOTES

ROOF TO BE COMPOSITION SINGLE UNLESS NOTED OTHERWISE.

READ ROOF PLAN FOR ROOF FINISH.

TYPICAL ROOF OVERHANG IS 12" FROM FRAME UNLESS NOTED OTHERWISE.

READ STRUCTURAL PLAN FOR RAFTER SIZE AND SPACING.

ALL PLATE HEIGHT SHOWN IS TO BE MEASURED FROM MAIN FINISH FLOOR.

ROOF PLAN

1/4"=1'-0"

A.301

A CUSTOM RESIDENCE AT:
13007 JOLLY ROGER DRIVE,
FREEPORT, TX 77541



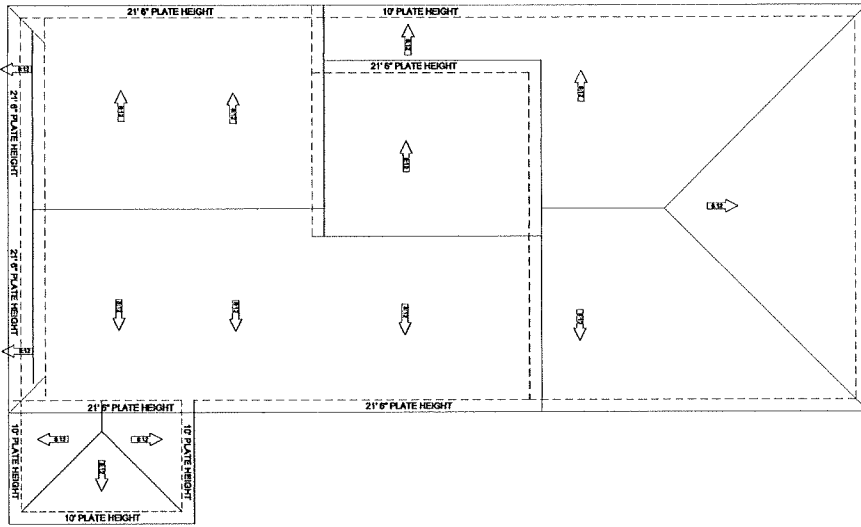
AntTong Design

24718 Twilight Hollow Ln,
Richmond, TX 77406

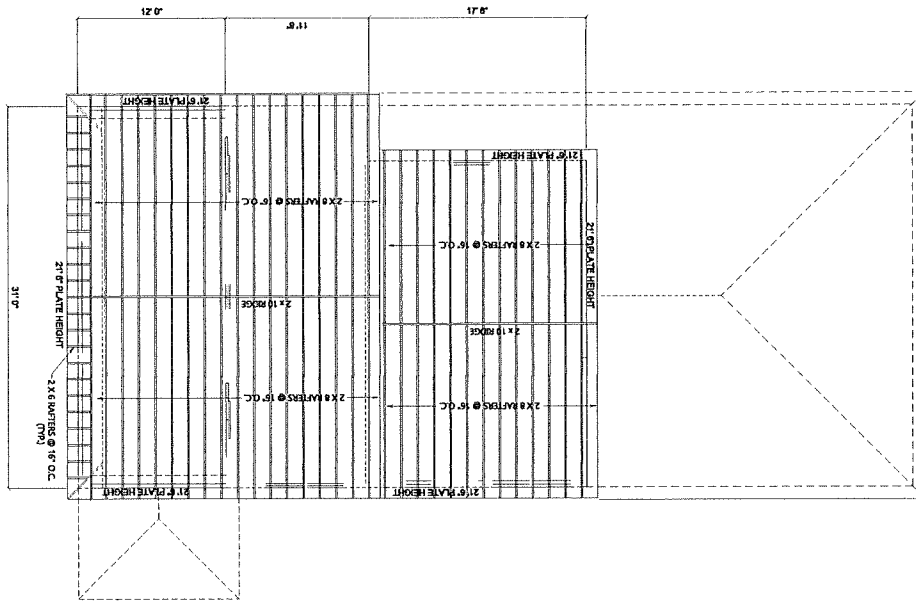
Contact: Tony Jiang
Tel: (713) 422-4092
E-mail: tongjiang@gmail.com

I DECLARE

ROOF PLAN



ROOF FRAMING PLAN - UPPER

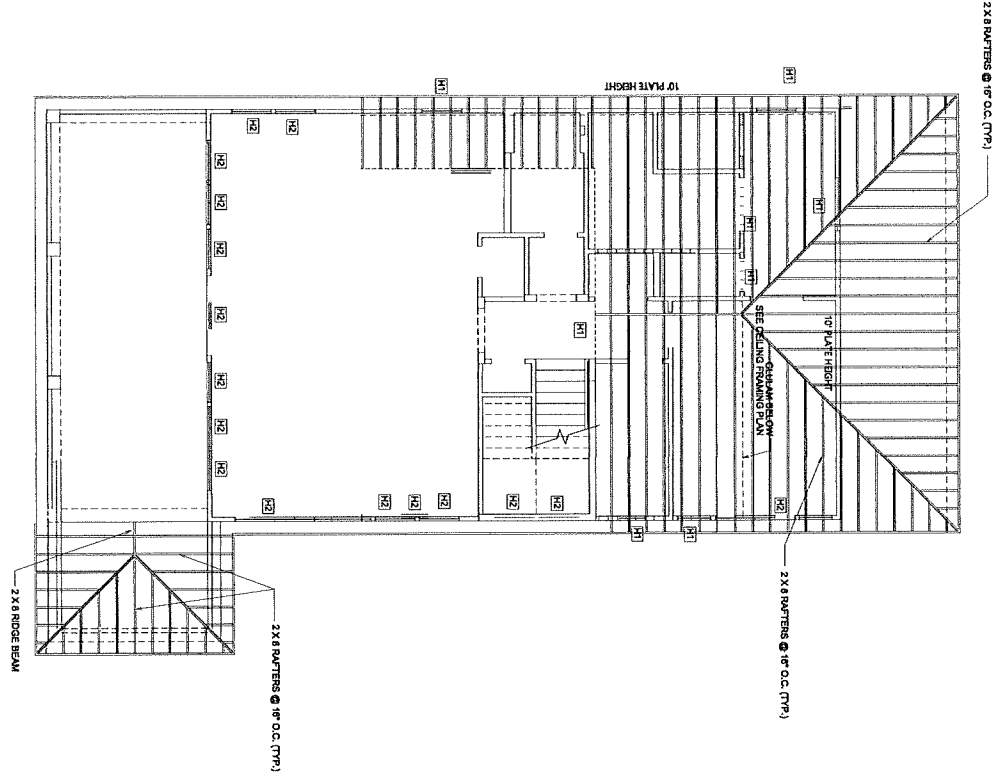


REFER TO S-1 FOR DETAILS AND NOTES



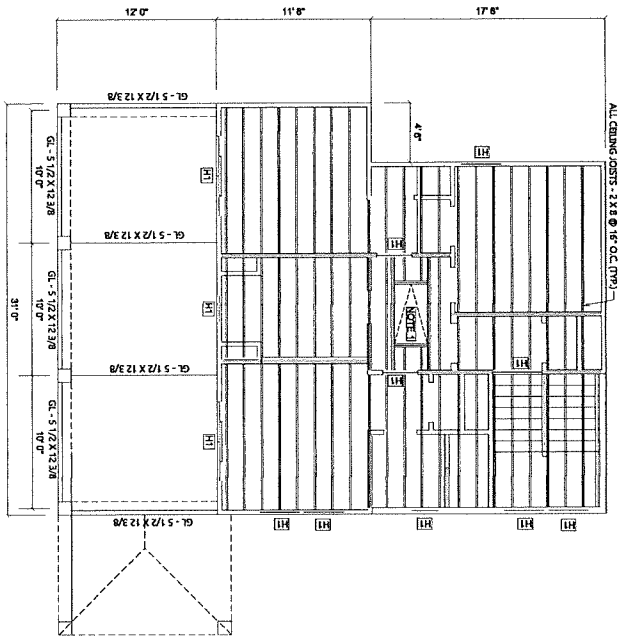
S-1	CUSTOM RESIDENCE	HARRY BRINDGEN, P.E. 5807 WANNAMAN DR HOUSTON, TX 77099 713/520-6247 FRM F-1142a	ISSUE B - GEN. REV. ROOF 5-5-22 ISSUE A - PERMIT 11-2-21
	13007 JOLLY ROGER - FREEPORT, TX 77541		
	FRAMING PLANS		

ROOF FRAMING PLAN - LOWER



[H1] ROOF SUPPORT WALLS
 [H2] 2-2X10 HEADERS
 [H3] 2-2X12 HEADERS
 ALL INTERIOR HEADERS NOT MARKED - 22X6

SECOND LEVEL CEILING FRAMING PLAN



[H1] ROOF SUPPORT WALLS
 [H2] 2-2X10 HEADERS
 ALL INTERIOR HEADERS NOT MARKED - 22X6
 NOTE 1 - FRAMED OPENING FOR ATTIC ACCESS
 FRAMING - DOUBLE 2X8S

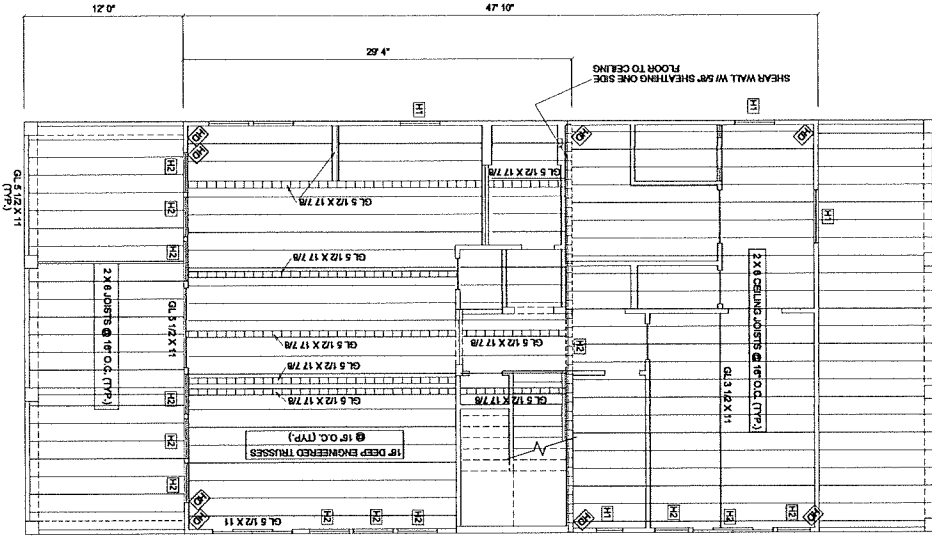
REFER TO S-1 FOR DETAILS AND NOTES



5-4-22

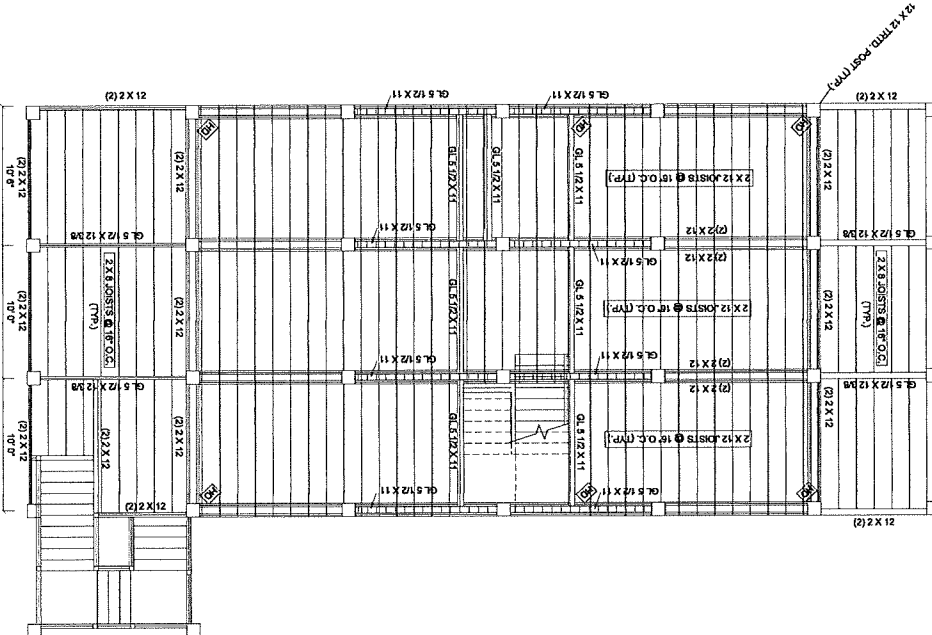
ISSUE: B
S-2

CUSTOM RESIDENCE 13007 JOLLY ROGER - FREEPORT, TX 77541 FRAMING PLANS		HARRY BRENDEN, P.E. 5807 WANAKAH DR HOUSTON, TX 77069 713/520-6247 FIRM F-11428	ISSUE B - GEN. REV. ROOF 5-5-22 ISSUE A - PERMIT 11-2-21
--	--	---	---



FIRST LEVEL CEILING FRAMING PLAN

- HT 2 - 2 X 10 HEADER
- HL 2 - 2 X 12 HEADER
- ALL INTERIOR HEADERS NOT MARKED - 2 X 4
- HOLD DOWN LOCATION EACH DIRECTION

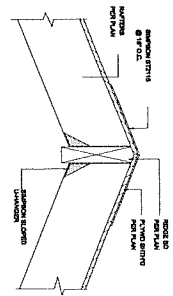


FIRST LEVEL FLOOR FRAMING PLAN

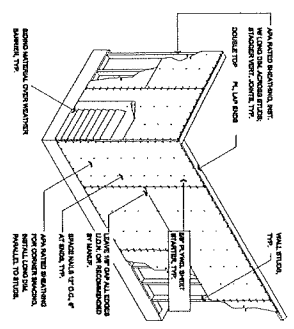


5-5-22

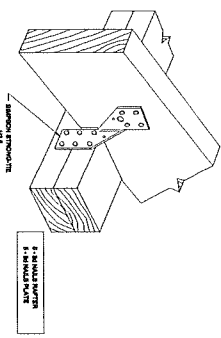
<p>ISSUE: 8</p> <p>S-3</p>	<p>CUSTOM RESIDENCE</p>	<p>HARRY BRENDGEN, P.E.</p> <p>5907 WANAKAH DR</p> <p>HOUSTON, TX 77069</p> <p>713/520-6247</p> <p>FIRM F-11428</p>	<p>ISSUE B - GEN. REV. 5-5-22</p> <p>ISSUE A - PERMIT 11-2-21</p>
	<p>13007 JOLLY ROGER - FREEPORT, TX 77541</p>		
	<p>FRAMING PLANS</p>		



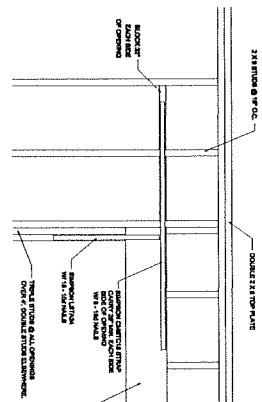
DETAIL 1
RIDGE BEAM DETAIL



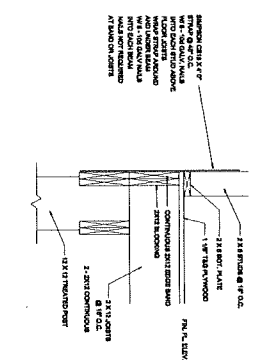
DETAIL 2
SHEATHING DETAIL



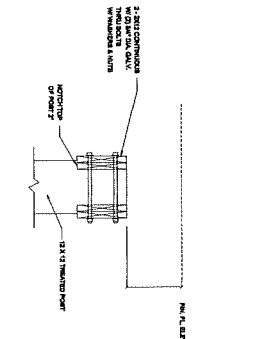
DETAIL 3
RAFTER TO TOP PLATE



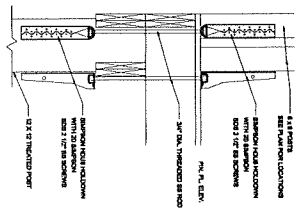
DETAIL 4
WALL OPENING DETAIL



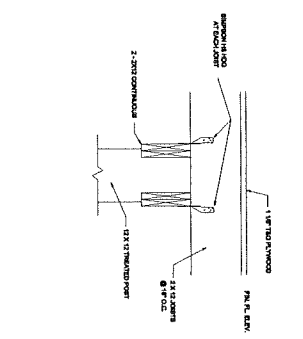
DETAIL 5
SECTION AT EXTERIOR WALL BASE



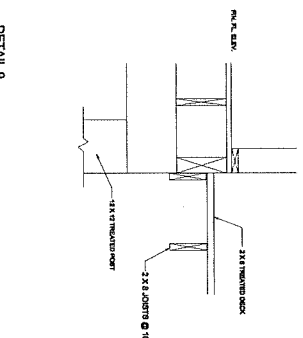
DETAIL 6
INTERIOR COLUMN DETAIL



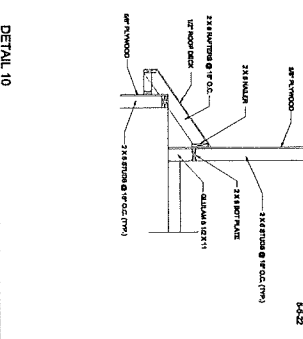
DETAIL 7
CORNER HOLD DOWN DETAIL



DETAIL 8
INTERIOR FLOOR JOIST DETAIL



DETAIL 9
SECTION AT DECK



DETAIL 10
SECTION AT GABLE ENDWALL

WOOD FRAMING NOTES:

1. ALL FRAMING SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOARDS (IRC) AND THE INTERNATIONAL BUILDING CODE (IBC).

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WINDOW & DOOR NOTES:

1. ALL WINDOWS & DOORS SHALL BE INSTALLED PER THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

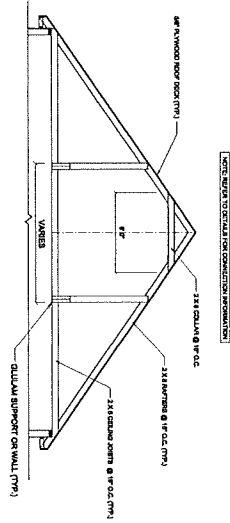
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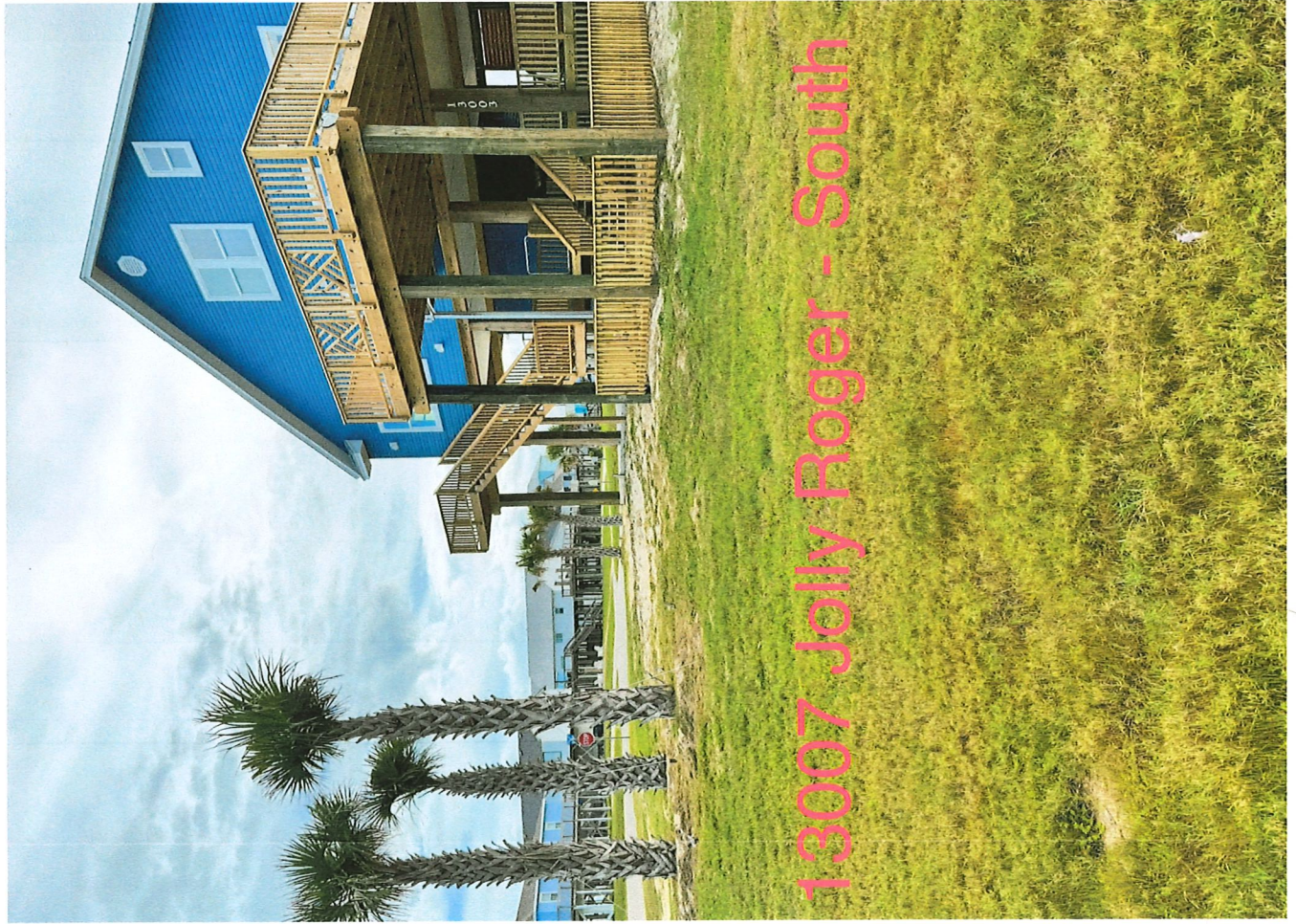
SECTION A
GROSS SECTION



SS <small>ISSUE: 0</small>	CUSTOM RESIDENCE	<small>HARRY BRENNKE, P.E. 5607 WANAKAH DR HOUSTON, TX 77066 713/620-6247 FIRM F-11426</small>	<small>ISSUE B - PERMIT 6-4-22 ISSUE A - PERMIT 11-2-21</small>
	13007 JOLLY ROGER - FREEPORT, TX 77541		
	DETAILS, NOTES		



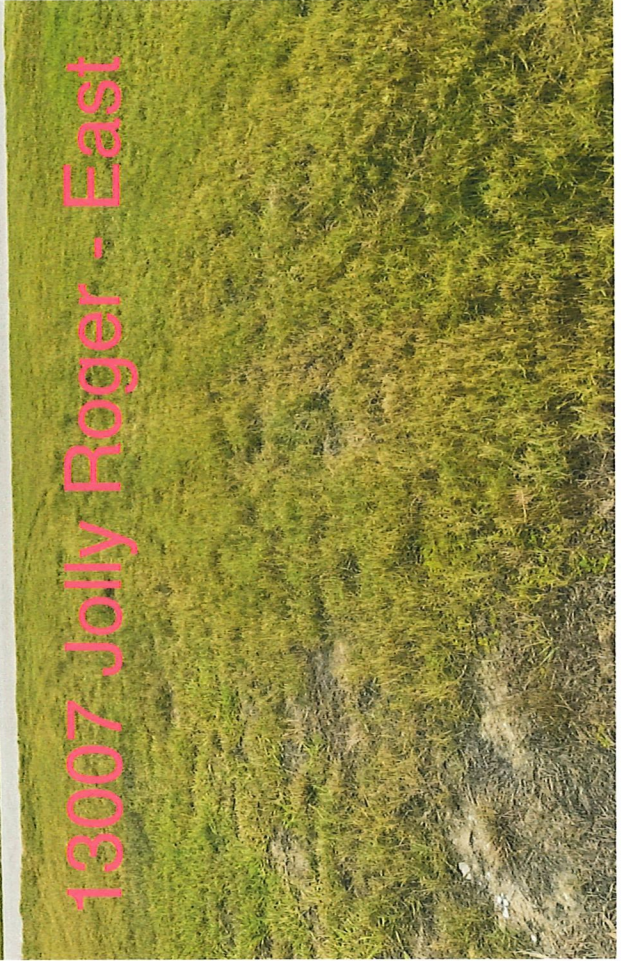
13007 Jolly Roger - North



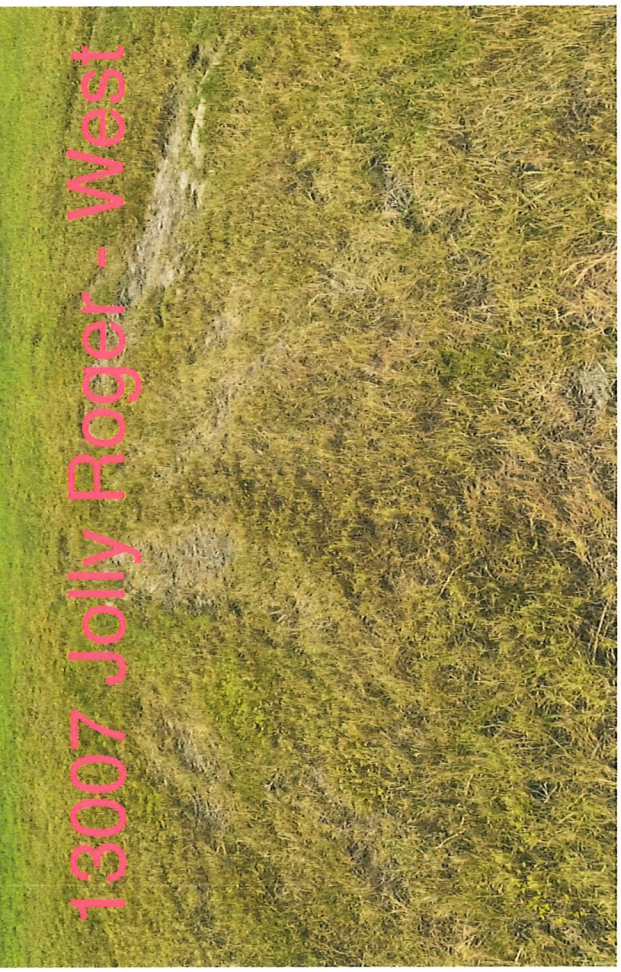
13007 Jolly Roger - South



13007 Jolly Roger - East



13007 Jolly Roger - West





BRAZORIA COUNTY

**NOTICE OF RESIDENTIAL CONSTRUCTION
INSPECTION COMPLIANCE
IN UNINCORPORATED AREA**

(TO BE SUBMITTED BY BUILDER)

Received _____

Related OSSF
Application # _____

Permit # _____

430

IRC # _____

BUILDERS NAME: I Declare Homes

PROJECT INFORMATION

TYPE OF CONSTRUCTION: (Check One)

- 1) New Residential Construction on a vacant lot
- 2) Addition to an Existing Residential Unit

NOTE: *If a property lies in an ETJ it is required to contact the city hall for appropriate building codes.*

LOCATION:

Address 13007 Jolly Roger, Freeport TX 77541

Lot and Block # 16, 10 Subdivision Treasure Island

or Survey _____ Tract/Acreage _____

or Deed Reference _____ Property ID (MCAD)# _____

RESIDENTIAL CODE USED IN CONSTRUCTION:

- 1) INTERNATIONAL RESIDENTIAL CODE – published _____ date _____