

RECORDING REQUESTED BY
AND WHEN RECORDED MAIL TO:

Brazoria Solar I, LLC
c/o TotalEnergies Renewables USA, LLC
4330 Gaines Ranch Loop, Suite 100
Austin, Texas 78735
Attn: Jan Adams

AFFIDAVIT OF RIGHT-OF-WAY CROSSING

THE STATE OF TEXAS	§	
	§	KNOW ALL MEN BY THESE PRESENTS
COUNTY OF BRAZORIA	§	

BEFORE ME, the undersigned authority on this day personally appeared the person listed, Greg Nelson, authorized representative of Brazoria Solar I, LLC, hereinafter referred to as PROJECT COMPANY, who is known to me to be credible person of lawful age, who first being by me duly sworn and upon his oath depose and state the following:

PROJECT COMPANY has leased certain real property located in Brazoria County, Texas for the development, construction and operation of a utility scale solar energy project (the "Project");

In connection with the development and construction of the Project, PROJECT COMPANY submitted an Application for Work in Brazoria County Right-of-Way, which was approved by the Brazoria County Engineering Department, as evidenced by the attached Exhibit "A", dated February 27, 2024, pursuant to which PROJECT COMPANY has been granted a license to install underground electrical crossings as described and depicted in Exhibit "A" (collectively, the "License").

Such License affects portions of the thoroughfare roads dedicated to Brazoria County, Texas by that certain Public Road Dedication executed by PROJECT COMPANY, as Grantor, and Brazoria County, a body politic, as Grantee, dated December 18, 2023, and recorded January 10, 2024, in Instrument No. 2024001428, Official Public Records, Brazoria County, Texas, and being described more fully in Exhibit "B," attached hereto (the "Property").

PROJECT COMPANY understands that it shall comply with all applicable requirements of the Brazoria County Utility and Work in the Right-of-Way Design Standards or additional requirements as noted on Exhibit "A".

PROJECT COMPANY understands that if the underground electrical crossing is installed in a manner contrary to the requirements in Exhibit "A", Brazoria County may take such action as it deems appropriate to compel compliance.

The License shall continue for so long as it is used by the Project Company; provided, however, Brazoria County retains the right to revoke the License for failure to comply with the requirements in Exhibit "A".

PROJECT COMPANY understands that it shall, within a reasonable time as determined by the County Engineer reset or relocate the underground electrical crossings if the County Engineer determines

that it is necessary for the construction, repair, improvement, alteration, or relocation of all or any portion of the future roads. Such resetting or relocation shall be done at the expense of PROJECT COMPANY.

These restrictions, covenants and conditions are for the purpose of protecting the future contemplated County Roads. Consequently, they shall run with the real property and shall be binding on all parties having any right, title, or interest in the Property in whole or in part, and their heirs, successors and assigns.

Signed this ____ day of _____, 2024.

PROJECT COMPANY:
Brazoria Solar I, LLC, a Delaware limited liability company

Name: Greg Nelson
Title: Vice President

ACKNOWLEDGMENT

THE STATE OF TEXAS §
 §
COUNTY OF TRAVIS §

This instrument was acknowledged before me on this ____ day of _____, 2024, by Greg Nelson, as Vice President of Brazoria Solar I, LLC, a Delaware limited liability company, on behalf of Brazoria Solar I, LLC, a limited liability company.

[SEAL]

Notary Public
State of Texas

My commission expires:

ACKNOWLEDGMENT

THE STATE OF TEXAS	§	
	§	KNOW ALL MEN BY THESE PRESENTS
COUNTY OF BRAZORIA	§	

ENGINEER'S APPROVAL

The foregoing Right-of-Way Crossing is approved by the Brazoria County Engineering Department.

Signed this ____ day of _____, 2024.

Name: _____
Assistant County Engineer

SUBSCRIBED AND SWORN TO BEFORE ME on _____, 2024
by _____, Assistant County Engineer.

Notary Public in and for the State of Texas

Exhibit “A”

[see attached]

**APPLICATION FOR WORK IN
BRAZORIA COUNTY RIGHT OF WAY**

TO: THE COUNTY ENGINEER OF BRAZORIA COUNTY, TEXAS

Comes now Brazoria Solar I, LLC [company name], hereinafter referred to as "Company" a
Delaware [state] Corporation, with authority to transact business in Texas, acting by and through its duly
authorized representative, and hereby petitions the County Engineer for the right to lay, construct, maintain, repair and/or
operate a facility under, over, across and/or along certain County Roads as shown on drawings and diagrams attached
hereto and said location described as follows:

- ☐ Gas (Texas Utility Code, Section 181.024) ☐ Cable (Texas Utility Code, Section 181.103)
- ☒ **Electrical (Texas Utility Code, Section 181.044)** ☐ Telephone (Texas Utility Code, Section 181.089)
- ☐ Pipeline: ☐ Petroleum ☐ Water ☐ Sewer ☐ Landscaping
- ☐ Geotechnical Investigation ☐ Surveying
- ☒ **Work in Right of Way** ☐ Other _____

CONSTRUCTION TYPE (as applicable):

- _____ Diameter _____ Wall Thickness _____ Depth
- ☐ High Pressure Underground Pipeline (60 psi or greater operating pressure) ☐ Low Pressure Underground Pipeline (less than 60 psi operating pressure)
- Minimum Depth 10 ft. below lowest point

Material Specification: Electrical - 34.5Kv Underground Crossing

Minimum Yield Strength: _____

Maximum Operation Pressure: _____

**Thoroughfares*

Facility to Cross Road

*Angleton - Clute -
Central - South
Pct. 1*

Road Name and Block Number	Length of Crossing	TYPE OF CONSTRUCTION (LENGTH)		
		BORE	OPEN-CUT	AERIAL
Thoroughfares (future)	120'(6 crossings)	20 ft		
Thoroughfares (future)	40'(4 crossings)	20 ft		
CR 213 Future Expansion	120'(3 crossings)	20 ft		

**Open-cut is not allowed on County Roads.*

**Bore pits must be minimum ten (10') from edge of pavement.*

**Crossing of a County Road must be Perpendicular.*

Facility to Parallel County Road within Right-Of-Way

Road Name and Block Number	From	To	Distance

The location and description of the proposed installation and appurtenances must be fully shown on the attached detailed drawings.

The Company shall commence actual construction/work in good faith within 60 days from the date of said permit and shall complete said construction/work within 630 working days. (**COMPANY MUST FILL IN**). If such construction is not begun by the 60th day, Company will be required to apply for a new permit.

Company declares that prior to filing this application, it has ascertained the location of all existing utilities, both aerial and underground, and the filing of this application is prima facie evidence that the proposed installation will not conflict with any existing utility.

A copy of this permit shall be kept at the job site any time work is being performed.

It is expressly stipulated that this Permit is a license use only and the placing of facilities upon public property pursuant to this permit shall not operate to create or vest any property right in said holder.

It is understood and agreed that the rights and privileges herein set out are granted only to the extent of the County's right, title and interest in the land to be entered upon and used by the holder and the holder will at all times assume risk of and indemnify, defend and save harmless Brazoria County from and against any and all loss, damages, cost or expense arising in any manner on account of the exercise or attempted exercise by said holder of the aforesaid rights and privileges.

Any deviation from these specifications must be approved by Brazoria County Engineer's Office or its designated representative.

Approval of County Engineer's Office may take as long as two weeks after complete application is received.

Applicant agrees to comply with all rules of the County Commissioners and the County Engineer in construction of said installation attached hereto as **BRAZORIA COUNTY DESIGN STANDARDS AND SAFETY PRECAUTION REQUIREMENTS FOR WORK CONDUCTED IN BRAZORIA COUNTY RIGHTS OF WAY** and incorporated herein for reference.

In the event Company fails to obtain a permit prior to the installation or does not install utilities in compliance with installation requirements set forth herein (i.e. depth, locations, etc.), Company assumes all financial responsibility for damages and/or destruction of lines, cables, etc. based upon its failure to comply with Brazoria County requirements.

Applicant agrees that if Brazoria County demonstrates a violation of the terms of this policy, Applicant stipulates that requisites for injunctive relief exist and that Brazoria County is entitled to relief enjoining any conduct by applicant which is contrary to the policies.

This permit is a revocable permit. Brazoria County reserves the right revoke this permit at any time, in the sole discretion of Brazoria County, for interests of public health, safety or welfare, or for failure to repair any damages upon demand, or for any other reason deemed sufficient by Brazoria County.

In the event Company fails to comply with any or all of the requirements as set forth herein, the County may take such action as it deems appropriate to compel compliance. The County Engineer further retains the right to revoke this Permit by verbal notification to the Application/Company. Failure to obtain this permit and/or notify the County Engineer's Office within 24 hours of beginning construction shall constitute grounds for job shutdown.

By signing below, I certify that I am authorized to represent the Company listed below, and that the Company agrees to the conditions/provisions included in this permit.

Logan Lindsey
By:
Logan LINDSEY Digitally signed by Logan LINDSEY
Date: 2024.01.11 17:13:24 -0600
Signature
Project Developer
Title
4330 Gaines Ranch Loop, Suite 100
Address
Austin TX 78735
City State Zip
512-757-4612
Phone Number
logan.lindsey@totalenergies.com
Email

APPROVAL

Brazoria County offers no objection to the proposed location of the utility in the County right of way as shown by accompanying drawings and notice dated 2/27/24 except as noted below:
(Month/Day/Year)

EXCEPTIONS:

Crossing of future Thoroughfares are required to be a minimum of
6' in depth below existing grade.

Karen O'M-Kinner
Brazoria County Engineer Representative
Assistant County Engineer
Title
KOMK
Signature

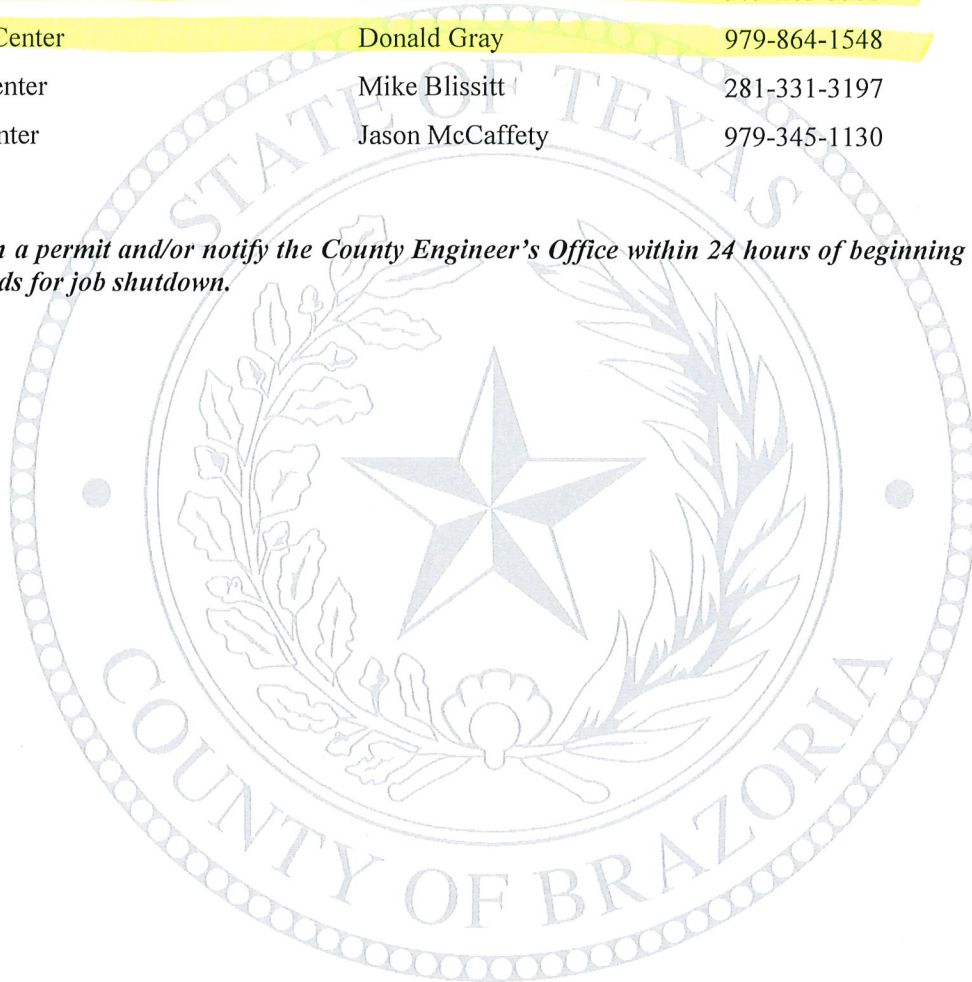
Verbal Notices are required:

1. Notify the inspector no less than 24 hours in advance;
2. If an emergency existed, 24 hours' notice after construction started
3. Notification that construction is complete and ready for County to inspect to ensure right of way is returned back to original condition.

Provide Notice to:

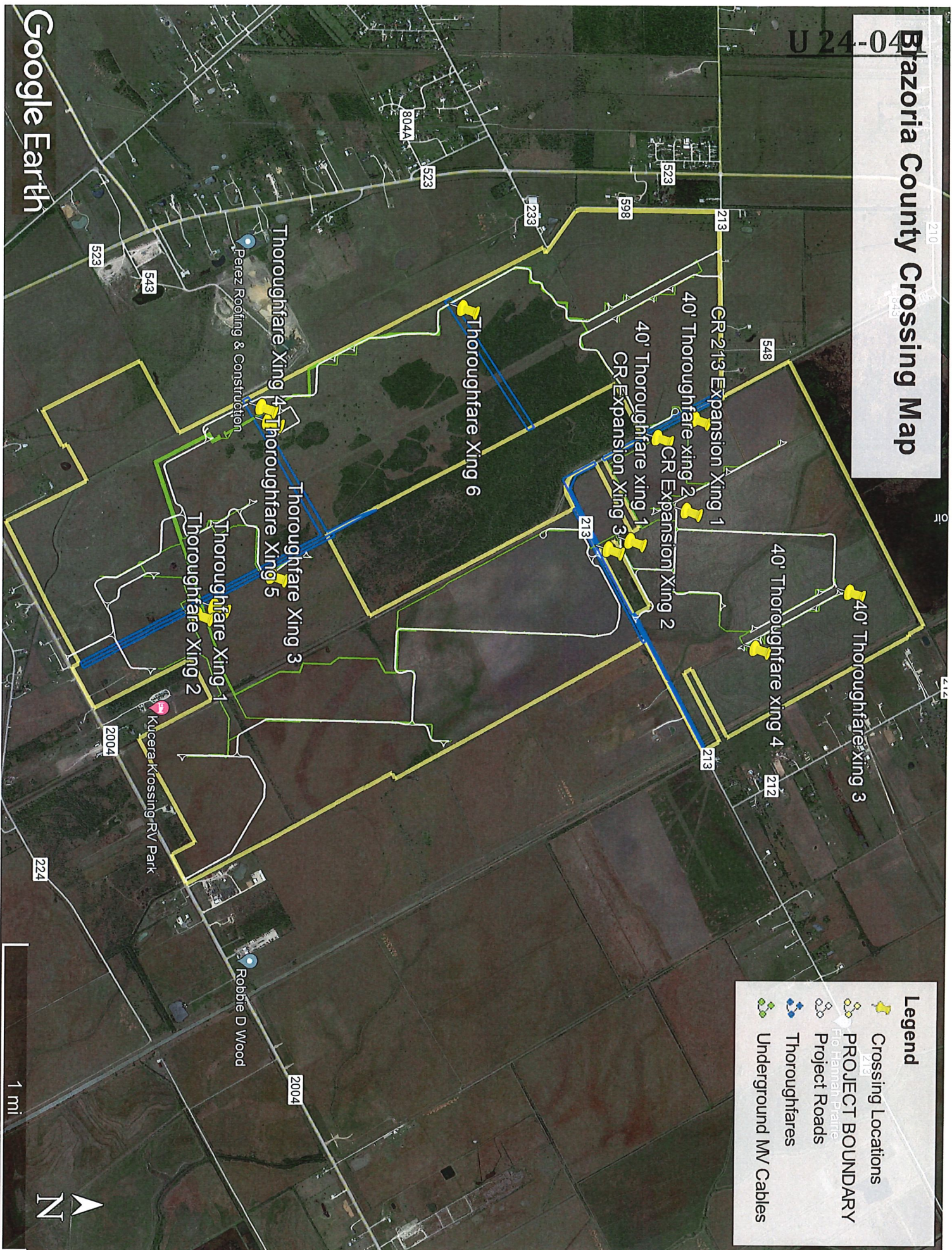
South Service Center	Joe Alvarado	979-265-3953
Central Service Center	Donald Gray	979-864-1548
North Service Center	Mike Blissitt	281-331-3197
West Service Center	Jason McCaffety	979-345-1130

Failure to obtain a permit and/or notify the County Engineer's Office within 24 hours of beginning construction shall constitute grounds for job shutdown.



Brazoria County Crossing Map

- Legend**
- Crossing Locations
 - PROJECT BOUNDARY
 - Proposed Thoroughfares
 - Thoroughfares
 - Underground MV Cables





Path: C:\Users\j1070641\TotalEnergies\TERUSA - 002 DEVELOPMENT - GIS\Geospatial_Server\003_SOLAR_PROJECTS\TX\BRAZORIA_CO_BRAZORIA_SOLAR_I\BRAZORIA_CO_BRAZORIA_SOLAR_I.aprx



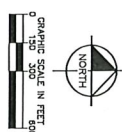
 Project Boundary



Brazoria Solar I, LLC

Vicinity Map
Brazoria County, TX

Date Created: 7/26/2023



SHEET NUMBER
C4.15

BRAZORIA 1 SOLAR
PREPARED FOR
ROSENDIN

Brazoria County

TX

BRAZORIA COUNTY
CROSSINGS (1 OF 2)

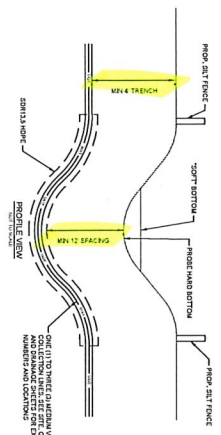
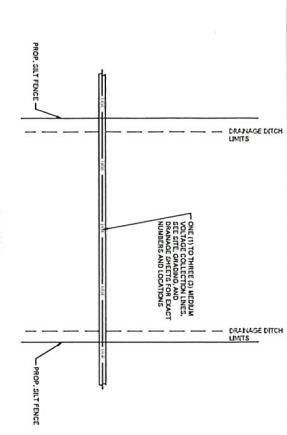
KHA PROJECT 068909604	
DATE DEC. 14 2023	
SCALE AS SHOWN	
DESIGNED BY	EES
DRAWN BY	EES
CHECKED BY	KWC

Kimley»Horn

© 2024 JIMLEY-HORN AND ASSOCIATES, INC.
11700 KATY FREEWAY, SUITE 800, HOUSTON, TX 77079
PHONE: 281-597-9300
WWW.JIMLEY-HORN.COM
TBPE FIRM REGISTRATION F-928

No.	REVISIONS	DATE	B

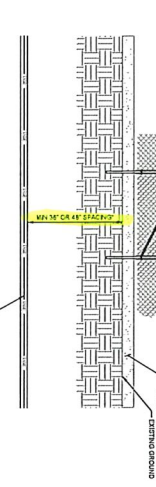
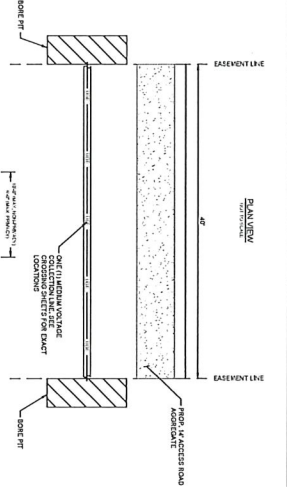
Printed By: Revit, Date: 12/14/2023, Time: 11:08 AM, K:\work\240609004\Brazoria 1 CAD\plan\sheet\U-24-041.dwg
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NOTE:
1. CONTRACTOR SHALL REFER TO CROSSING AGREEMENT TO DETERMINE COMPLIANCE WITH DRAINAGE DISTRICT REQUIREMENTS.
2. ALL SLOPES PREPARED BY ROAD DEPARTMENT SHALL BE LOCATED ON THE RIGHT SIDE OF THE ROAD. ALL SLOPES SHALL BE LOCATED WITHIN 10' OF THE PAVEMENT.

1) BRAZORIA COUNTY DRAINAGE DISTRICT 5 CHANNEL CROSSING DETAIL

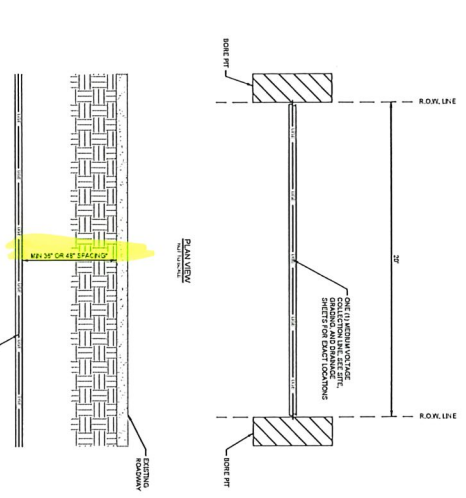
SCALE: NTS



NOTE:
1. CONTRACTOR SHALL REFER TO CROSSING AGREEMENT TO DETERMINE COMPLIANCE WITH DRAINAGE DISTRICT REQUIREMENTS.
2. ALL SLOPES PREPARED BY ROAD DEPARTMENT SHALL BE LOCATED ON THE RIGHT SIDE OF THE ROAD. ALL SLOPES SHALL BE LOCATED WITHIN 10' OF THE PAVEMENT.

2) 40' R.O.W. CROSSING DETAIL

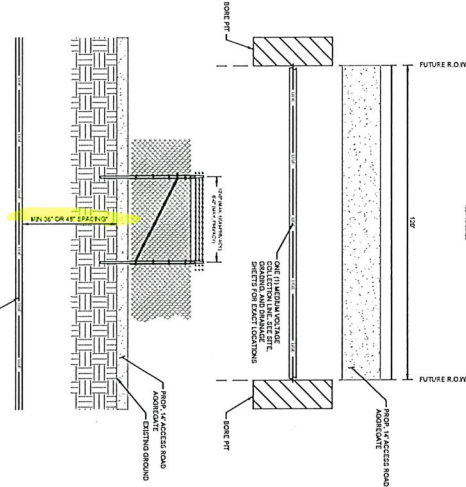
SCALE: NTS



NOTE:
1. CONTRACTOR SHALL REFER TO CROSSING AGREEMENT TO DETERMINE COMPLIANCE WITH DRAINAGE DISTRICT REQUIREMENTS.
2. ALL SLOPES PREPARED BY ROAD DEPARTMENT SHALL BE LOCATED ON THE RIGHT SIDE OF THE ROAD. ALL SLOPES SHALL BE LOCATED WITHIN 10' OF THE PAVEMENT.

3) BRAZORIA COUNTY OR 213 CROSSING DETAIL

SCALE: NTS



NOTE:
1. CONTRACTOR SHALL REFER TO CROSSING AGREEMENT TO DETERMINE COMPLIANCE WITH DRAINAGE DISTRICT REQUIREMENTS.
2. ALL SLOPES PREPARED BY ROAD DEPARTMENT SHALL BE LOCATED ON THE RIGHT SIDE OF THE ROAD. ALL SLOPES SHALL BE LOCATED WITHIN 10' OF THE PAVEMENT.

4) 120' FUTURE MAJOR THOROUGHFARE CROSSING DETAIL

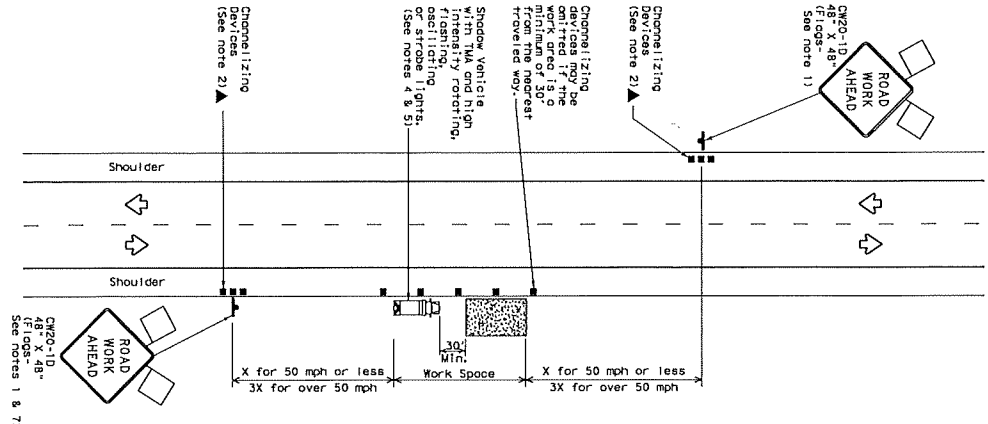
SCALE: NTS

DISCLAIMER: The use of this standard is governed by the "Texas Engineering Practice Act". No warranty of any kind is made by TxDOT for any purpose whatsoever. TxDOT assumes no responsibility for the conversion of this standard to other formats or for incorrect results or damages resulting from its use.

DATE: FILE:

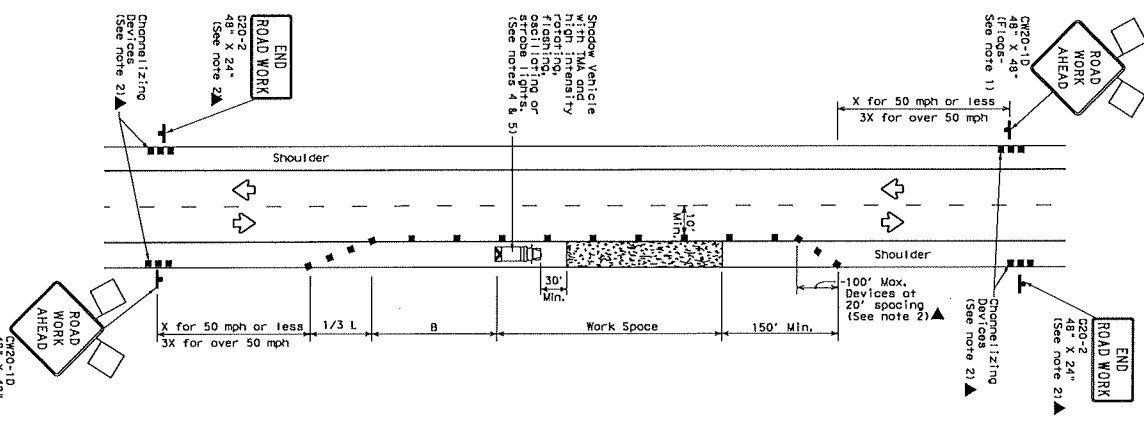
WORK SPACE NEAR SHOULDER
Conventional Roads

TCP (1-1a)



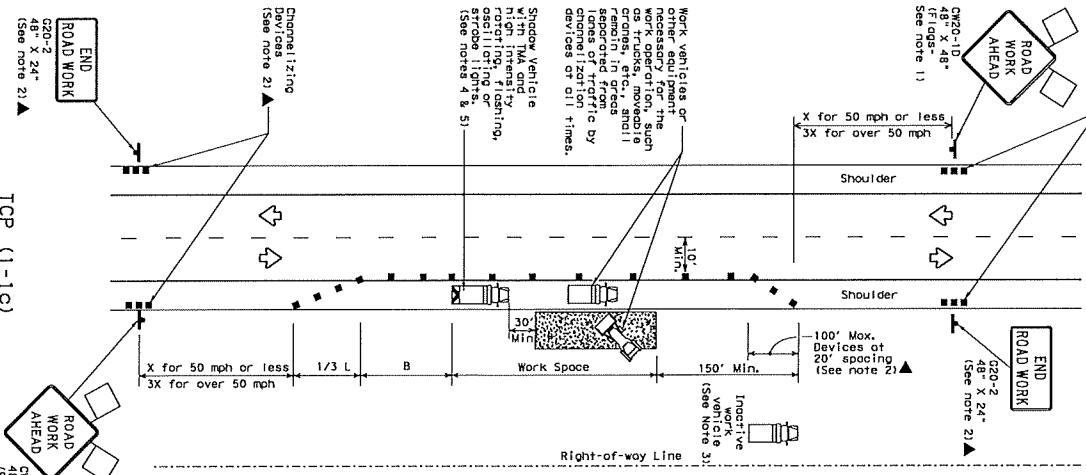
WORK SPACE ON SHOULDER
Conventional Roads

TCP (1-1b)



WORK VEHICLES ON SHOULDER
Conventional Roads

TCP (1-1c)



LEGEND

	Type 3 Barricade		Channelizing Devices
	Heavy Work Vehicle		Truck Mounted Attenuator (TMA)
	Trailer Mounted Flaming Arrow Board		Portable Changeable Message Sign (PCMS)
	Sign		Traffic Flow
	Flag		Flagger

Table with 4 columns: Posted Speed, Minimum Taper Length, Suggested Location, Suggested Longitudinal Spacing. Rows include various vehicle types and speeds.

Table with 4 columns: MOBILE, SHORT, SHORT TERM, INTERMEDIATE, LONG TERM. Rows include various vehicle types and speeds.

- GENERAL NOTES
- Flags attached to signs where shown are required.
 - All traffic control devices illustrated are REQUIRED, except those depicted with the triangle symbol may be omitted when stored elsewhere.
 - For routine maintenance work, when approved by the Engineer.
 - Inactive work vehicles or other equipment should be parked near the right-of-way line and not parked on the paved shoulder.
 - A shadow vehicle with a TMA should be used anytime it can be positioned offering the performance or quality of the work. If workers are no longer present but road or work conditions require the traffic control to remain in place, Type 3 Barricades or other channelizing devices may be substituted for the Shadow Vehicle and TMA.
 - Channelizing devices should be placed at least 100 feet off the paved surface, next to those shown in order to protect wider work spaces.
 - See TPD-5-11 for shoulder work on divided highways, expressways and freeways.
 - TCP-5 SHOULDER WORK signs may be used in place of C20-10 and C20-2 with AHEAD signs for shoulder work on conventional roadways.

Texas Department of Transportation

Traffic Operations Standard

TRAFFIC CONTROL PLAN
CONVENTIONAL ROAD
SHOULDER WORK

TCP (1-1) - 18

DATE: 2-24-18
FILE: 2-24-18

PROJECT: 2-24-18

DESIGN: 2-24-18

CHECK: 2-24-18

DATE: 2-24-18

FILE: 2-24-18

**BRAZORIA COUNTY
UTILITY AND WORK IN THE RIGHT OF WAY
DESIGN STANDARDS**

A. General Requirements

1. Adequate drainage shall be maintained in ditches at all times.
2. Permittee will use best management practices (“BMP”) (EPA and TCEQ both provide lists of examples of BMPs) to minimize erosion and sedimentation resulting from the proposed installation.
3. The permittee shall take precautions to avoid damage to property. All County Right of Way and property shall be restored to its original condition, as far as practical, in the opinion of the County Engineer or appointed representative.
4. The construction and maintenance of such utility shall not interfere with the property or rights of a prior occupant.
5. Permittee shall not interfere with other utilities located in the right of way. In the event damages occur, permittee will be liable to the County or other utilities running through the right of way.
6. County Engineer shall determine whether or not permittee’s plans shall inconvenience the public. If it is determined that inconvenience to the public exists, then the County Engineer will decide whether such project will be allowed or if an alternative exists so as not to inconvenience the public.

B. Safety Requirements

1. Proper traffic control measures must be put in place prior to beginning work and remain in place during the duration of the job. All traffic control measures must follow the Texas Manual of Uniform Traffic Control Devices (TMUTCD). See Traffic Control Requirements below.
2. During construction, all safety regulations of the Texas Department of Transportation shall be observed.
3. Permittee must take such precautions and measures, including placing and displaying safety devices, as may be necessary, in order to safely conduct the public through the project area. Company shall provide flagmen, signs, signals or devices necessary to provide complete safety to the public.
4. Adequate provisions must be made to cause minimum inconveniences to traffic and adjacent property owners.
5. No cable, conduit and/or pole line shall be laid, constructed, maintained and/or repaired so as to constitute a danger or hazard of any kind to persons or vehicles using such road. Any poles placed in the Right of Way for future installation shall be placed at the back of the Right of Way. Exceptions may be approved by the County Engineer.

C. Traffic Control Plan

1. A traffic control plan, pursuant to the TMUTCD or Engineered Traffic Control Plan must be provided for the following:
 - a. Any construction (i.e. pit, excavation, hole) left open over night, requires specific nighttime traffic control measures pursuant to the TMUTCD;
 - b. If construction is within ten (10) feet of the roadway; or
 - c. Any work performed in the road right-of-way;

2. Plan must be attached to the permit and kept at the job site any time work is being performed.
3. Plan must set forth the time of completion for the job.

D. Design Standards

1. All overhead installations shall conform to clearance standards of the Texas Department of Transportation and the pole be placed in the designated area for power specified as set forth in the *Texas Utilities Code, Section 181.045*.
2. All pole installation (including lighting) shall be placed at the backside of the Right of Way to ensure safety to the public. Any pole placed in violation of this requirement will be required to be moved to the appropriate location at the company's expense. Exceptions may be approved by the County Engineer.
3. All underground installations shall (these are minimum depths – utility may place deeper):
 - a. be placed at a minimum depth of forty-eight (48) inches below the top of the pavement;
 - b. be at least thirty-six (36) inches below ditch flow line when installation is within the area measured from top of bank to top of bank;
 - c. be at least forty-eight (48) inches below ditch flow line if low pressure gas or petroleum lines. For high pressure gas and petroleum lines, see High Pressure Pipelines requirements listed below;
 - d. not be closer than ten (10) feet from the edge of pavement. Exceptions may apply in rights of way of less than 60'.
4. Water Lines: All water lines must be a minimum of 36-inches below the ditch flow line. Waterlines parallel to the roadway less than 12" must be cased. All waterlines crossing under roadway are required to be cased. Exceptions may apply for casing requirements.
5. Utilities in all new developments that have 60 feet or greater of right of way shall be installed within designated locations based upon the type of utility. The locations shall be as follows: (measured from back of right-of-way).
 - Power – 0-2 feet, nominally 1'
 - Phone – 2-4 feet, nominally 3'
 - Gas – 4-6 feet, nominally 5'
 - Cable – 6-8 feet, nominally 7'
6. Utilities with less than 60 feet right-of-way in all new developments shall install the utility in a similar manner as referenced in No. 3 above. However, the County Engineer or its designated representative will provide final approval of each utility location.
7. The length of any trench to be opened in advance of the pipe, conduit or ducts may not be longer than 400' if left open over night or unattended.
8. Crossings under a county road shall:
 - a. be bored or jacked. ABSOLUTELY NO OPEN CUTS WITHIN COUNTY ROAD PAVEMENT;
 - b. be pressure grouted for the full length of the crossing *if* the annular space between pipe and casing and soil exceeds one (1) inch. Brazoria County must be given 24 hours notice of pressure grouting operations and have the opportunity to have an inspector on site to observe pressure grouting operations;
 - c. TxDOT Standard Specification Item 476 shall be followed for all boring, jacking, tunneling and joints.
9. Bore Pits
 - a. no pits shall remain open longer than 2 days;
 - b. all pits shall have proper traffic control measures in place. See Traffic Control Plan listed above.

- c. pits shall NOT be located within ten (10) feet from the edge of pavement without prior approval from the County Engineer or his representative;
 - d. when pits are to remain open for more than 8 hours, due diligence will be used in protecting the spoil pile to prevent drainage problems;
 - e. based upon soil conditions, the County Engineer or his representative may require shoring to protect pavement integrity;
 - f. based upon soil conditions, the County Engineer or his representative may require pits be placed further from the edge of road.
10. Any installation within ten (10) feet of edge of pavement shall meet the following:
- a. location must be approved by the County Engineer or his representative
 - b. backfilled with cement stabilized material.
 - c. based upon soil conditions, the County Engineer or his representative may require shoring to protect pavement integrity.
 - d. All excess water and mud shall be removed from the trench prior to backfilling. Any backfill placed during a rainy period or at other times where excess water cannot be prevented from entering the trench will be considered TEMPORARY and shall be replaced with PERMANENT cement stabilized material as soon as weather permits;
 - e. All disturbed base and pavement materials shall be removed and restored to the satisfaction of the County Engineer or his representatives.
 - f. No side or lateral tamping to fill voids under the base and pavement materials is allowed.
11. Company must be careful to not jeopardize the slope or integrity of the shoulder of the road. In the event Company damages the slope, shoulder or any other portion of the right-of-way, Company will be responsible for repairing the damage and replacing the right-of-way to the condition it was prior to commencing construction.
12. Operation of construction and/or maintenance equipment on the traveled surface of any improved County road will not be permitted, except in an instance whereby the laying, construction, maintenance and/or repair of cables, conduits and/or pole lines cannot be accomplished by any other method and in this event all such equipment shall be of the rubber tire variety. Appropriate traffic control shall be provided meeting TMUTCD requirements.
13. In the event said construction and/or maintenance and/or repair requires Company to remove, cut or jeopardize any section of the road (asphalt, cement, road base, etc), Company will be required to provide a performance bond or letter of credit securing necessary repairs. Said bond amount will be determined by the County Engineer.
14. The applicant shall submit a letter of "No Objection" from the Army Corps of Engineers for all designated wetlands and environmentally sensitive lands.
- E. Emergency work***
1. In the event Company is required to perform emergency services, that requires excavation in a County Right of Way, and unable to notify the County Engineer prior to conducting emergency repairs, Company shall notify County Engineer within 24 hours of beginning construction/repairs. This will allow the County Engineer's Office an opportunity to inspect the site to ensure the integrity of the County Right of Way and traffic safety controls used.
- F. Repairs to existing facilities***
1. Maintenance and/or repair to existing cables, conduits, and/or pole lines which require disturbance of the soil, shall not be performed until plans describing such maintenance and/or repair have been approved by the County Engineer or its designated representative and a permit has been obtained.

G. *Relocation of utilities:*

1. When and if the County Engineer determines that it is necessary for the construction, repair, improvement, alteration or relocation of all or any portion of said road, any or all poles, wires, pipes, cables or other facilities and appurtenances authorized hereunder, shall be removed from said road, or reset or relocated thereon, as required by the County Engineer within a reasonable time as determined by the County Engineer and Utility Company, and at the expense of the Utility Company.

H. *High Pressure Pipelines*

1. All utility Permits for high pressure pipelines (generally 60 PSI or greater), whether pertaining to controlled access or non-controlled access installations, should contain the following additional information in the description of the permit.
 - diameter
 - wall thickness
 - material specification
 - minimum yield strength
 - maximum operation pressure of the pipeline
2. With the exception of the maximum operation pressure of the pipeline, this information is to be supplied for both the carrier pipe and the casing.
3. Assurance must also be given that the installation material and design meet the minimum Federal Safety Standards for Liquid and Gas Pipe Lines. Assurance must be provided on company letterhead and signed by an authorized representative of the company.
4. Petroleum Pipelines:

<u>Type of Pipeline</u>	<u>Depth (below deepest ditch grade)</u>	<u>Special Requirements</u>
Encased Pipe	*Less than 10'	Must be covered with a concrete pad at least 36" deep
Encased Pipe	Greater than 10'	No concrete pad required
Non-Cased Pipe	*Less than 10'	Must be covered with a concrete pad at least 48" deep
Non-Cased Pipe	Greater than 10'	No concrete pad required

*Depths less than 10' below deepest ditch grade will only be allowed in cases of a hardship.
Concrete pad shall be a minimum of 3" thick and width shall be pipe diameter plus 18" minimum.

5. Under no circumstances will a pipeline be installed parallel to a County Road within the Right-of-Way. (See Commissioners Court Order No. 20, dated September 9, 1981). Transmission lines have been determined to be petroleum pipelines (which includes natural gas lines) and shall not be parallel to a County Road.
6. Natural Gas Distribution is a line that serves the final customer.

Exhibit "B"

The Property

Tract 1

LEGAL DESCRIPTION: BEING A 6.752 ACRE TRACT OF LAND LYING IN AND BEING SITUATED OUT OF THE WM. McDERMOTT SURVEY, ABSTRACT NO. 341 AND BEING A PORTION OF THOSE CERTAIN 78 ACRE AND 87.03 ACRE TRACTS CONVEYED TO LYN T. STOCKMAN BY DEED RECORDED IN INSTRUMENT NO. 2012056854 OF THE OFFICIAL PUBLIC RECORDS OF BRAZORIA COUNTY, TEXAS; SAID 6. 752 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS AND AS SURVEYED UNDER THE SUPERVISION OF SURVEYING AND MAPPING, LLC (SAM) IN JULY, 2023:

BEGINNING at a 12 inch pine fence corner post found in the northwest right of way line of Farm to Market Highway 2004 for the east corner of that certain 675.2326 acre tract conveyed to Ekenraw Enterprises, LLC by deed recorded in Instrument No. 2021057670 of said Official Public Records, the south corner of said 78 acre tract and the south corner hereof;

THENCE North 29°53'13" West along the common line of said 675.2326 acre tract and said 78 acre tract a distance of 2513.58 feet to a 1/2 inch iron rod in concrete found for an angle point of said 675.2326 acre tract, the west corner of said 78 acre tract, the south corner of said 87.03 acre tract and an angle point hereof;

THENCE North 30°03'32" West along the common line of said 675.2326 acre tract and said 87.03 acre tract a distance of 2388.12 feet to a 1/2 inch iron rod in concrete found for an angle point of said 675.2326 acre tract, the south corner of that certain 190.62 acre tract conveyed to Hill of Tara, LLC by deed recorded in Document No. 2008003853 of said Official Public Records, the west corner of said 87.03 acre tract and hereof;

THENCE North 59°49'23" East along the common line of said 190.62 acre tract and said 87.03 acre tract a distance of 60.00 feet to a point for the north corner hereof;

THENCE South 30°03'32" East a distance of 2388.34 feet to a point in the northwest line of said 78 acre tract for an angle point hereof and from which a bent 1/2 inch iron rod in concrete found for the east corner of said 87.03 acre tract and the north corner of said 78 acre tract bears North 59°48'59" East a distance of 1583.04 feet;

THENCE South 29°53'13" East a distance of 2513.93 feet to a point in said northwest right of way line of Farm to Market Highway 2004 for the east corner hereof;

THENCE South 60°21'31" West along said northwest right of way line a distance of 60.00 feet to the POINT OF BEGINNING and containing 6.752 acres of land more or less.

Tract 2

BEING 2.285 ACRES OF LAND LYING IN AND BEING OUT OF THE I.T. TINSLEY SURVEY, ABSTRACT NO. 375 AND BEING A PORTION OF THAT CERTAIN 210.642 ACRE TRACT CONVEYED TO EKENRAW ENTERPRISES, LLC, A TEXAS LIMITED LIABILITY COMPANY BY DEED RECORDED IN INSTRUMENT NO. 2021057670 OF THE OFFICIAL PUBLIC RECORDS OF BRAZORIA COUNTY, TEXAS; SAID 2.285 ACRES BEING MORE PARTICULARLY DESCRIBED

AS FOLLOWS AND AS SURVEYED UNDER THE SUPERVISION OF SURVEYING AND MAPPING, LLC (SAM) IN JULY, 2023:

BEGINNING at a point in the north line of said 210.642 acre tract for the north west corner hereof and from which a bent 1/2 inch iron rod found bears South 87°11'39" West a distance of 81.68 feet;

THENCE North 87°11'39" East along said north line a distance of 67.44 feet to a point in the west line of that certain 141.96 acre tract conveyed as Lots 39-62 and Lots 64-66 of the Fairview Farms Coast Lands Companies Subdivision, a subdivision recorded in Volume 2, Page 25 of the Plat Records of Brazoria County, Texas, to Marie T. Hillman by deed recorded in Instrument No. 2012-056855 of said Official Public Records for the northeast corner of said 210.642 acre tract and hereof from which a 5/8 inch iron rod with cap found in the south line of that certain 10 acre tract conveyed to Trevor McMahon by deed recorded in Instrument No. 2021-043270 of said Official Public Records bears North 45°07'29" West a distance of 87.09 feet;

THENCE South 29°57'57" East along the common line of said 141.96 acre tract a distance of 1643.70 to a point for the most northerly northeast corner of that certain 190.62 acre tract conveyed to Hill of Tara, LLC, a Texas Limited Liability Company by deed recorded in Instrument No. 2008003853 of said Official Public Records for the southeast corner of said 210.642 acre tract and hereof;

THENCE South 60°34'11" West along the common line of said 190.62 acre tract and said 210.642 acre tract a distance of 60.00 feet to a point for the southwest corner hereof and from which a bent 1/2 inch iron rod in concrete found for the northwest corner of said 190.62 acre tract, the northeast corner of that certain 675.2326 acre tract conveyed to said Ekenraw Enterprises, LLC by deed recorded in said Instrument No. 2021057670 bears South 60°34'11" West a distance of 982.15 feet;

THENCE North 29°57'57" West crossing said 210.642 acre tract a distance of 1673.93 feet to the POINT OF BEGINNING and containing 2.285 acres of land more or less.

Tract 3

BEING 7.485 ACRES LYING IN AND BEING SITUATED OUT OF THE WM. McDERMOTT SURVEY, ABSTRACT NO. 341 AND BEING A PORTION OF THAT CERTAIN 675.2326 ACRE TRACT CONVEYED TO EKENRAW ENTERPRISES, LLC, A TEXAS LIMITED LIABILITY COMPANY BY DEED RECORDED IN INSTRUMENT NO. 2021057670 OF THE OFFICIAL PUBLIC RECORDS OF BRAZORIA COUNTY, TEXAS; SAID 7.485 ACRES BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS AND AS SURVEYED UNDER THE SUPERVISION OF SURVEYING AND MAPPING, LLC (SAM) IN JULY, 2023:

BEGINNING at a point in the common line of that certain 190.62 acre tract conveyed to Hill of Tara, LLC, a Texas Limited Liability Company by deed recorded in Instrument No. 2008003853 of said Official Public Records and said 675.2326 acre tract for the northeast corner hereof and from which a bent 1/2 inch iron rod in concrete found in the south line of that certain 210.642 acre tract conveyed to said Ekenraw Enterprises, LLC by deed recorded in said Instrument No. 2021057670 for northwest corner of said 190.62 acre tract and the northeast corner of said 675.2326 acre tract bears North 29°54'44" West a distance of 1701.04 feet; THENCE South 29°54'44" East along said common line a distance of 120.14 feet to a point for the southeast corner hereof; THENCE crossing said 675.2326 acre tract the following three (3) courses:

1. South 57°17'47" West a distance of 8.04 feet to a point for the point of curvature of a curve to the left;

2. Along said curve to the left with an arc length of 125.12 feet, with a radius of 2500.00 feet, with a chord bearing of South 55°51'45" West and a chord length of 125.11 feet to a point for an angle point hereof;
3. South 54°25'44" West a distance of 2583.00 feet to a point in the common line of that certain 116.87 acre tract conveyed to Darrell W. and Kristi R. McIntyre by deed recorded in Instrument No. 2007032260 of said Official Public Records and said 675.2326 acre tract for the southwest corner hereof and from which a 1/2 inch iron rod found for a common corner of said 116.87 acre tract and said 675.2326 acre tract bears South 26°27'38" East a distance of 1221.48 feet;

THENCE North 30°56'15" West along said common line a distance of 120.39 feet to a point for the northwest corner hereof and from which a 1/2 inch iron rod found in the common line of said 210.642 acre tract and said 675.2326 acre tract bears North 29°39'34" West a distance of 1987.82 feet;

THENCE crossing said 675.2326 acre tract the following three (3) courses:

1. North 54°25'44" East a distance of 2573.27 feet to a point for the point of curvature of a curve to the right;
2. Along said curve to the right with an arc length of 131.13 feet, with a radius of 2620.00 feet, with a chord bearing of North 55°51'45" East and a chord length of 131.11 feet to a point for an angle point hereof;
3. North 57°17'47" East a distance of 13.89 feet to the POINT OF BEGINNING and containing 7.485 acres of land more or less.

Tract 4

BEING 15.191 ACRES OF LAND LYING IN AND BEING OUT OF THE WM. McDERMOTT SURVEY, ABSTRACT NO. 341 AND BEING A PORTION OF THAT CERTAIN 675.2326 ACRE TRACT CONVEYED TO EKENRAW ENTERPRISES, LLC., A TEXAS LIMITED LIABILITY COMPANY BY DEED RECORDED IN INSTRUMENT NO. 2021057670 OF THE OFFICIAL PUBLIC RECORDS OF BRAZORIA COUNTY, TEXAS; SAID 15.191 ACRES BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS AND AS SURVEYED UNDER THE SUPERVISION OF SURVEYING AND MAPPING, LLC (SAM) IN JULY, 2023:

BEGINNING at a 12 inch pine fence corner post found in the north right-of-way line of Farm to Market Highway 2004 for the southwest corner of that certain 78 acre tract conveyed to Lyn T. Stockman by deed recorded in Instrument No. 2012056854 of said Official Public Records, the southeast corner of said 675.2326 acre tract and hereof from which a concrete right-of-way monument found bears North 60°21'.39" East a distance of 731.33 feet;

THENCE South 60°22'40" West along said north right of way line a distance of 60.00 feet to a point for the most southerly southwest corner hereof and from which a 1/2 inch iron rod found for the southeast corner of that certain 53.67 acre tract conveyed to James C. and Tonnie S. Roth by deed recorded in Instrument No. 1996027874 of said Official Public Records and the southwest corner of said 675.2326 acre tract bears South 60°22'40" West a distance of 2730.11 feet;

THENCE crossing said 675.2326 acre tract the following three (3) courses:

1. North 29°53'13" West a distance of 2513.21 feet to a point for an angle point hereof;
2. North 30°03'32" West a distance of 2184.20 feet to a point for an interior corner hereof;
3. South 57°36'03" West a distance of 2723.79 feet to a point in the common line of that certain 78.87 acre tract conveyed to Sorrell Plus, LLC, A Texas Limited Liability Company by deed recorded in Instrument No. 2017018966 and said 675.2326 acre tract for the most northerly

southwest corner hereof and from which a 1/2 inch iron rod found in the west line of said 675.2326 acre tract for the northeast corner of said 53.67 acre tract bears South 29°49'36" East a distance of 1237.85 feet;

THENCE North 29°49'36" West along the common line of said 78.87 acre tract and said 675.2326 acre tract a distance of 120.12 feet to a point for the most westerly northwest corner hereof and from which a 1/2 inch iron rod found in the west line of said 675.2326 acre tract for the northeast corner of said 78.78 acre tract bears North 29°49'36" West a distance of 1416.57 feet;

THENCE crossing said 675.2326 acre tract the following four (4) courses:

1. North 57°36'0.3" East a distance of 2723.30 feet to a point for an interior corner hereof;
2. North 30°03'32" West a distance of 83.81 feet to a point for an angle point hereof;
3. North 29°54'44" West a distance of 307.87 feet to a point for the point of curvature of a curve to the right;
4. Along said curve to the right with an arc length of 572.57 feet, with a radius of 2963.68 feet, with a chord bearing of North 23°53'15" West and a chord length of 571.68 feet to a point in the common line of that certain 190.62 acre tract conveyed to Hill of Tara, LLC, a Texas Limited Liability Company by deed recorded in Instrument No. 2008003853 of said Official Public Records and said 675.2326 acre tract for the easterly northeast corner hereof;

THENCE South 29°54'44" East along the common line of said 190.62 acre tract and said 675.2326 acre tract a distance of 876.31 feet to a 1/2 inch iron rod in concrete found for the northwest corner of that certain 87.03 acre tract conveyed to Lyn T. Stockman by deed recorded in said Instrument No. 2012056854 of said Official Public Records, the southwest corner of said 190.62 acre tract, an angle point of said 675.2326 acre tract and hereof;

THENCE South 30°03'32" East along the common line of said 87.03 acre tract and said 675.2326 acre tract a distance of 2388.12 feet to a 1/2 inch iron rod in concrete found for the southwest corner of said 87.03 acre tract, the northwest corner of said 78 acre tract, an angle point of said 675.2326 acre tract and hereof;

THENCE South 29°53'13" East along the common line of said 78 acre tract and said 675.2326 acre tract a distance of 2513.58 feet to the POINT OF BEGINNING and containing 15.191 acres of land more or less.

Tract 5

LEGAL DESCRIPTION: BEING A 2.477 ACRE TRACT OF LAND LYING IN AND BEING SITUATED OUT OF THE S. F. AUSTIN LEAGUE NO. 2, ABSTRACT NO. 23, BRAZORIA COUNTY, TEXAS AND BEING A PORTION OF THAT CERTAIN 141.96 ACRE TRACT CONVEYED AS LOTS 39-62 AND LOTS 64-66 OF THE FAIRVIEW FARMS COAST LAND COMPANIES SUBDIVISION, A SUBDIVISION RECORDED IN VOLUME 2, PAGE 25 OF THE PLAT RECORDS OF BRAZORIA COUNTY, TEXAS, TO MARIE T. HILLMAN BY DEED RECORDED IN INSTRUMENT NO. 2012-056855 OF THE OFFICIAL PUBLIC RECORDS OF BRAZORIA COUNTY, TEXAS; SAID 2.477 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS AND AS SURVEYED UNDER THE SUPERVISION OF SURVEYING AND MAPPING, LLC (SAM) IN JULY, 2023:

BEGINNING at a point in the southeasterly line of said 141.96 acre tract and the north line of a 20-foot-wide road per said Plat for the southeast corner hereof and from which a 1/2 inch iron rod with cap found for the southeast corner of that certain 0.98 acre tract conveyed to James R. Bruner by deed recorded in Instrument No. 2021006566 of said Official Public Records and the southwest corner of that certain 9.340

acre tract conveyed to Louis Jefferson Soria by deed recorded in Instrument No. 2009025476 of said Official Public Records bears North 29°47'08" East a distance of 165.77 feet;

THENCE South 59°47'08" West along the north line of said 20-foot-wide road a distance of 1360.10 feet to a point in the east line of that certain 190.62 acre tract conveyed to Hill of Tara LLC, a Texas Limited Liability Company by deed recorded in Instrument No. 2008003853 of said Official Public Records for the southwest corner hereof;

THENCE North 29°57'57" West along said east line a distance of 663.55 feet to a point for the southwest corner of that certain 5.06 acre tract conveyed to Ada Loraine Morrison Living Trust by deed recorded in Instrument No. 1995003312 of said Official Public Records for the northwest corner hereof;

THENCE North 59°52'05" East along the southeast line of said 5.06 acre tract a distance of 60.00 feet to a point for the northeast corner hereof;

THENCE crossing said 141.96 acre tract the following three (3) courses:

1. South 29°57'57" East a distance of 422.21 feet to a point for an angle point hereof;
2. South 68°33'22" East a distance of 256.59 feet to a point for an angle point hereof;
3. North 59°47'08" East a distance of 1139.99 feet to a point in the west line of a 40-foot-wide road per said Plat for an ell corner hereof and from which a 1/2 inch iron rod with cap found for the northwest corner of said 0.98 acre tract bears North 22°22'52" West a distance of 299.77 feet;

THENCE South 30°02'57" East along the east line of said 40-foot-wide road a distance of 40.00 feet to the POINT OF BEGINNING and containing 2.477 acres of land more or less.

Tract 6

LEGAL DESCRIPTION: BEING A 3.400 ACRE TRACT OF LAND LYING IN AND BEING SITUATED OUT OF THE S. F. AUSTIN LEAGUE NO. 2, ABSTRACT NO. 23, BRAZORIA COUNTY, TEXAS AND BEING A PORTION OF THAT CERTAIN 141.96 ACRE TRACT CONVEYED AS LOTS 39-62 AND LOTS 64-66 OF THE FAIRVIEW FARMS COAST LAND COMPANIES SUBDIVISION, A SUBDIVISION RECORDED IN VOLUME 2, PAGE 25 OF THE PLAT RECORDS OF BRAZORIA COUNTY, TEXAS, TO MARIE T. HILLMAN BY DEED RECORDED IN INSTRUMENT NO. 2012-056855 OF THE OFFICIAL PUBLIC RECORDS OF BRAZORIA COUNTY, TEXAS; SAID 3.400 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS AND AS SURVEYED UNDER THE SUPERVISION OF SURVEYING AND MAPPING, LLC (SAM) IN JULY, 2023:

BEGINNING at a point in the southwest line of said 141.96 acre tract for the northeast corner of that certain 210.642 acre tract conveyed to Ekenraw Enterprises, LLC, a Texas Limited Liability Company, by deed recorded in Instrument No. 2021057670 of said Official Public Records for the northwest corner hereof and from which a bent 1/2 inch iron rod found in the north line of said 210.642 acre tract bears South 87°11'39" West a distance of 149.12 feet;

THENCE crossing said 141.96 acre tract the following two (2) courses:

1. North 87°11'39" East a distance of 67.44 feet to a point for the northeast corner hereof;
2. South 29°57'57" East a distance of 2452.71 feet to a point in the north line of that certain 5.06 acre tract conveyed to the Ada Loraine Morrison Living Trust by deed recorded in Instrument No. 1995003312 of said Official Public Records for the southeast corner hereof and from which a 1/2 inch iron rod with cap found for the northwest corner of that certain 0.98 acre tract conveyed

to James R. Bruner by deed recorded in Instrument No. 2021006566 of said Official Public Records bears North 79°51'23" East a distance of 1423.97 feet;

THENCE South 59°52'05" West along the north line of said 5.06 acre tract a distance of 60.00 feet to a point in the common line of that certain 190.62 acre tract conveyed to Hill of Tara, LLC, A Texas Limited Liability Company by deed recorded in Instrument No. 2008003853 of said Official Public Records and said 141.96 acre tract for the southwest corner hereof;

THENCE North 29°57'57" West along the common line of said 190.62 acre tract, said 210.642 acre tract and said 141.96 acre tract at a distance of 839.96 feet pass a common corner of said 190.62 acre tract and said 210.642 acre tract and continuing in all a total distance of 2483.67 feet to the POINT OF BEGINNING and containing 3.400 acres of land more or less.

Tract 7

LEGAL DESCRIPTION: BEING A 1.232 ACRE TRACT OF LAND LYING IN AND BEING SITUATED OUT OF THE S. F. AUSTIN LEAGUE NO. 2, ABSTRACT NO. 23, BRAZORIA COUNTY, TEXAS AND BEING A PORTION OF THAT CERTAIN 270.22 ACRE TRACT CONVEYED TO MARIE T. HILLMAN BY DEED RECORDED IN INSTRUMENT NO. 2012-056855 OF THE OFFICIAL PUBLIC RECORDS OF BRAZORIA COUNTY, TEXAS ALSO BEING A PORTION OF LOT 200 OF THE FAIRVIEW FARMS COAST LAND COMPANIES SUBDIVISION, A SUBDIVISION RECORDED IN VOLUME 2, PAGE 25 OF THE PLAT RECORDS OF BRAZORIA COUNTY, TEXAS; SAID 1.232 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS AND AS SURVEYED UNDER THE SUPERVISION OF SURVEYING AND MAPPING, LLC (SAM) IN JULY, 2023:

BEGINNING at a 1/2 inch iron rod with cap marked "PIN POINT RPLS 6809" found in the north line of a 20-foot-wide road per said Plat for the east corner of Lot 67 of said Plat, the south corner of said Lot 200 and the south corner hereof and from which a 5/8 inch iron rod found with cap marked "BAKER AND LAWSON" found bears North 74°35'29" East a distance of 89.57 feet;

THENCE North 30°01'00" West a distance of 40.00 feet along the east line of said Lot 67 to a point for the west corner hereof and from which a 1/2 inch iron rod with unreadable cap found for the common corner of said Lot 67, Lots 68 and 199 of said Plat and said Lot 200 bears North 30°01'00" West a distance of 293.87 feet;

THENCE North 59°47'08" East a distance of 1342.14 feet crossing said Lot 200 to a point in the west line of a 40-foot-wide road per said plat for the north corner hereof;

THENCE South 30°02'57" East a distance of 40.00 feet along said west line to a point in said north line for the east corner hereof;

THENCE South 59°47'08" West a distance of 1342.16 feet along said north line to the POINT OF BEGINNING and containing 1.232 acres of land more or less.

Tract 8

LEGAL DESCRIPTION: BEING A 1.233 ACRE TRACT OF LAND LYING IN AND BEING SITUATED OUT OF THE S. F. AUSTIN LEAGUE NO. 2, ABSTRACT NO. 23, BRAZORIA COUNTY, TEXAS AND BEING A PORTION OF THAT CERTAIN 140.64 ACRE TRACT CONVEYED TO MARIE T. HILLMAN BY DEED RECORDED IN INSTRUMENT NO. 2012-056855 OF THE OFFICIAL PUBLIC RECORDS OF BRAZORIA COUNTY, TEXAS ALSO BEING A PORTION OF

LOT 201 OF THE FAIRVIEW FARMS COAST LAND COMPANIES SUBDIVISION, A SUBDIVISION RECORDED IN VOLUME 2, PAGE 25 OF THE PLAT RECORDS OF BRAZORIA COUNTY, TEXAS; SAID 1.233 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS AND AS SURVEYED UNDER THE SUPERVISION OF SURVEYING AND MAPPING, LLC (SAM) IN JULY, 2023:

BEGINNING at a point in the north line of a 20-foot-wide road per said Plat for the south corner of Lot 325 of said Plat, the east corner of said Lot 201 and the east corner hereof and from which a 5/8 inch iron rod found with cap marked "BAKER AND LAWSON" found bears North 62°06'22" East a distance of 62.03 feet and another 5/8 inch iron rod found with cap marked "BAKER AND LAWSON" found bears South 86°38'15" East a distance of 119.21 feet;

THENCE South 59°47'08" West a distance of 1343.11 feet along said north line and the south line of said Lot 201 to a point for a corner of a platted 40-foot-wide road per said Plat, the south corner of said Lot 201 and the south corner hereof;

THENCE North 30°02'57" West a distance of 40.00 feet along said 40-foot-wide road to a point for the west corner hereof;

THENCE North 59°47'08" East a distance of 1343.18 feet crossing said Lot 201 to a point in the west line of said Lot 325 for the north corner hereof;

THENCE South 29°55'57" East a distance of 40.00 feet along the west line of said Lot 325 to the POINT OF BEGINNING and containing 1.233 acres of land more or less.

Tract 9

LEGAL DESCRIPTION: BEING A 3.734 ACRE TRACT OF LAND LYING IN AND BEING SITUATED OUT OF THE A.J. WATTS SURVEY, ABSTRACT NO. 583 AND BEING A PORTION OF THAT CERTAIN 64 ACRE TRACT, CONVEYED AS LOT 6 AND THAT CERTAIN 100 ACRE TRACT, CONVEYED AS LOT 5 TO MARIE T. HILLMAN BY DEED RECORDED IN INSTRUMENT NO. 2012-056855 OF THE OFFICIAL PUBLIC RECORDS OF BRAZORIA COUNTY, TEXAS; SAID 3.734 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS AND ASSURVEYED UNDER THE SUPERVISION OF SURVEYING AND MAPPING, LLC (SAM) IN JULY, 2023:

BEGINNING at a point in the south line of the Fairview Farms Coast Lands Subdivision recorded in Volume 2, Page 25 of the Plat Records of Brazoria far the southerly north corner of that certain 190.62 acre tract conveyed to Hill of Tara, LLC by deed recorded in Instrument No. 2008003853 of said Official Public Records, the west corner of said 64 acre tract and hereof and from which a 1/2 inch iron rad with a cap found far the southeast corner of that certain 0.98 acre tract conveyed ta James R. Bruner by deed recorded in Instrument Na. 2021-006566 of said Official Public Records and the south corner of that certain 9.340 acre tract to Louis Jefferson Sario by deed recorded in Instrument Na. 2009025476 of said Official Public Records bears North 58°17'54" East a distance of 953.69 feet;

THENCE North 59°47'08" East along the north line of said 64 acre tract and said 100 acre tract at a distance of 2258.03 feet pass a 5/8 inch iron found in County Road 213 and continuing in all a total distance of 2710.92 feet to a point far the west corner of that certain 15.000 acre tract conveyed to Mark A. Morales by deed recorded in Instrument No. 2021-029152 of said Official Public Records, the north corner of said 100 acre tract and hereof and from which a 1/2 inch iron rod with cap marked "Pin Point RPLS 6086" found far the southeast corner of said 9.340 acre tract bears South 62°12'55" West a distance of 539.97 feet;

THENCE South 30°15'00" East along the common line of said 15.000 acre tract and said 100 acre tract at a distance of 43.04 feet pass a 1/2 inch iron rod in concrete and continuing in all a total distance of 60.00 feet to a point far the east corner hereof;

THENCE South 59°47'08" West crossing said 100 acre tract and said 64 acre tract a distance of 2711.53 feet to a point in the east line of said 190.62 acre tract far the south corner hereof;

THENCE North 29°40'12" West along the common line of said 190.62 acre tract and said 64 acre tract a distance of 60. 00 feet to the POINT OF BEGINNING and containing 3.734 acres of land more or less.