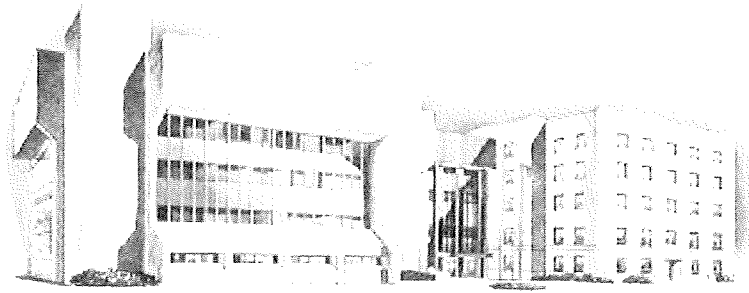


JOE K. RIPPLE
FLOODPLAIN ADMINISTRATOR, CFM
SOFIA GARCIA GIBSON
FLOODPLAIN / BUILDING PERMITS
OFFICE ASSISTANT SR.
BELINDA HOWELL
FLOODPLAIN / BUILDING PERMITS
PERMIT TECHNICIAN
VICKIE THOMAS
FLOODPLAIN/BUILDING PERMITS
FLOODPLAIN CONSULTANT



PHONE:
(979) 864-1295
(979) 388-1295
(281) 756-1295

BRAZORIA COUNTY

451 North Velasco, Suite #210
Angleton, Texas, 77515

July 24, 2024

Mei Ling Valdes
Planning, Permitting & Technical Services
Coastal Resources Division
Texas General Land Office
P.O. Box 12873
Austin, TX 78711-2873

Re: Beach front construction application for 4828 Bluewater Hwy (CR 257) Freeport, TX

Dear Ms. Valdes,

This application is for a residential structure with 1556 Square feet of living area with (4) bedrooms and (3) baths built upon pilings certified by a professional engineer.

After construction a final elevation certificate will be turned into this office to show compliance with County and FEMA elevation requirements.

This beachfront construction application does not include a walkover and it complies with and promotes Brazoria County's beach access policies and requirements, particularly the dune protection and beach access policies relation to public beach ingress/egress, off beach parking and avoidance of reduction in the size of the public beach due to erosion.

Sincerely,

Joe K. Ripple
Floodplain Department

Enclosures



TEXAS GENERAL LAND OFFICE
COMMISSIONER DAWN BUCKINGHAM, M.D.

August 5, 2024

Via Electronic Mail

Joe Ripple, CFM
Floodplain Administrator
Brazoria County
451 N Velasco, Suite #210
Angleton, Texas 77515

Beachfront Construction Certificate and Dune Protection Permit in Brazoria County

Site Address: 4828 Bluewater Highway (CR 257), Freeport
Legal Description: San Luis Beach (A0029 S F Austin) Blk 8 Lot 16-17 Blk 7 Lot 16
Lot Applicant: RCCADEN LLC
GLO ID No.: BDBC-24-0144

Dear Mr. Ripple:

The General Land Office (GLO) has reviewed the application materials for a beachfront construction certificate and dune protection permit for the above-referenced location. The applicant proposed to construct a single-family residence with fibercrete paving beneath the habitable structure, a crushed concrete driveway, and a septic system. The construction is located more than 200 feet landward of the line of vegetation. According to the Bureau of Economic Geology, the area is stable.

Based on the materials forwarded to our office for review, we have the following comments:

- The applicant proposes to construct the habitable structure seaward of the Building Setback Line, which is prohibited without an exemption from Brazoria County.¹ To qualify for an exemption, the applicant must demonstrate to the satisfaction of the County that no practicable alternatives to construction seaward of the Building Setback Line exist.²
- Cisterns, septic tanks, and septic fields are prohibited from being constructed seaward of any structure serviced by the cisterns, septic tanks, and septic fields.³ As proposed, the septic system appears to comply with this requirement.
- The County must ensure the proposed construction is consistent with the FEMA-approved county commissioners court order.⁴

¹ Brazoria County Erosion Response Plan § 5.

² Brazoria County Erosion Response Plan § 5.1.

³ Brazoria County Dune Protection and Beach Access Plan § 3(II)(K) & 31 Tex. Admin. Code § 15.4(c)(10).

⁴ 31 Tex. Admin. Code § 15.6(e)(3).

Mr. Ripple
August 5, 2024
Page 2 of 2

Any deviations from what is proposed in this permit application requires a new or amended beachfront construction certificate and dune protection permit and further GLO review. If you have any questions, please contact me at (512) 463-5720 or at meiling.valdes@glo.texas.gov.

Sincerely,

A handwritten signature in black ink that reads "Mei Ling Valdes". The signature is written in a cursive, flowing style.

Mei Ling Valdes
Beach Access & Dune Protection Program
Coastal Resources Division
Texas General Land Office

cc: Vickie Thomas, Brazoria County

**BRAZORIA COUNTY
DEVELOPMENT/BUILDING PERMIT APPLICATION**

Angleton 979-864-1295

451 North Velasco, Suite 210, Angleton, TX 77515

Houston/Alvin 281-756-1295

OWNERSHIP INFORMATION:

Name: RCCADEN - Ryan Cade Phone: 9795838351

Mailing Address: PO Box 1989 Angleton TX 77516
Street or PO Box City/State Zip

Contractor Information: <u>RCCADEN</u>	Address: <u>PO Box 1989</u>	Phone: <u>9798043540</u>
--	-----------------------------	--------------------------

LOCATION OF CONSTRUCTION:

Subdivision: <u>San Luis</u>		SITE ADDRESS Street Address: <u>4828 Bluewater Hwy</u> City (required): <u>FREEPORT</u>			
Section: <u>3</u>	Block: <u>8</u>	Lot: <u>16</u>	Abstract No.: <u>29</u>	Acreage:	Other: <u>245639</u>

TYPE OF IMPROVEMENT	PROPOSED USE	OWNERSHIP	TYPE OF WATER SUPPLY	TYPE OF SEWAGE DISPOSAL
<input checked="" type="checkbox"/> New Building <input type="checkbox"/> Addition to Building <input type="checkbox"/> Manufactured Home <input type="checkbox"/> Levee Construction <input type="checkbox"/> Relocated Building - <input type="checkbox"/> Came from Outside County <input type="checkbox"/> Manufactured Home or RV Park # of Spaces _____ <input type="checkbox"/> Filling/Grading	<input checked="" type="checkbox"/> Residential <input checked="" type="checkbox"/> One Family <input type="checkbox"/> Multi Family - # of Units: <u>1</u> Number of Bedrooms: <u>4</u> Number of Bathrooms: <u>3</u> Full <u>3</u> Partial _____ <input type="checkbox"/> Non Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Other: _____	<input checked="" type="checkbox"/> Private (Individual, Corp, Non Profit) <input type="checkbox"/> Public (Federal, State, etc...) Cost: \$ <u>375,000</u> Floor Area Sq. Ft. (including garage): <u>1556</u> sq. ft.	<input type="checkbox"/> Public/Private Company <input checked="" type="checkbox"/> Individual (Water Well) Copy of Environmental Health Permit attached: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No #: <u>2024-246</u>	<input type="checkbox"/> Public/Private Company <input checked="" type="checkbox"/> Individual (Septic)

Fee: Application fee of **\$75.00** for Residential permits. If the property lies within the **Special Flood Hazard Area** of the County, an additional fee of **\$0.04** per square foot for Inspection fees will be charged. A natural ground elevation certificate and copy of floor plan are also required for Flood Zone areas. Any application for property of less than ten (10) acres shall obtain an Environmental Permit approval before a County building permit will be issued. **UNLESS** otherwise specified. **MAKE CHECKS PAYABLE TO "TREASURER OF BRAZORIA COUNTY" - NO REFUNDS.**

ALL COMMERCIAL BUILDINGS will require approvals from the local Drainage District, Environmental Health and a Fire Code permit by the County Emergency Management Coordinator. **Special flood hazard areas require additional documents.** All commercial construction in Pearland's ETJ is required to contact Pearland City Hall. **Fees Vary According To Type of Business.**

ANY construction located on a proposed County and/or Municipal Thoroughfare in Pearland's ETJ is required to contact Pearland City Hall

Signature: [Signature] Date: 6-18-24

DO NOT WRITE BELOW THIS LINE									
Approved By: <u>Vuhie Thomas</u>		Highest Natural Ground is <u>5.0</u> ft. Certified By: <u>Terry Singletary</u> RPLS # <u>4808</u> on <u>4/6/21</u>			Permit Fee \$ <u>75</u>	Inspection Fee \$ <u>62.24</u>	Date Of Permit	Permit Number	
Census Tract	Electric	Mailbox Ltr	Setback Ltr	Thoroughfare	Total Fee: \$ <u>137.24</u>		Check #	Receipt No.	
	<u>CP</u>	<u>Yes</u>	<u>40'</u>	<u>Major</u>			<u>1082</u>	<u>19889</u>	
ETJ	Storm Water	Inspection Ltr	Ack Ltr	Mobile Home Information	FEMA Zone: <u>AE</u> <u>142</u> Elevation: <u>16</u> MSL Depth Criterion: <u>N/A</u>		Panel No.: <u>85014</u> Map Date: <u>12/30/20</u>	Class	
<u>No</u>		<u>Yes</u>	<u>No</u>	<u>No</u>				<u>B</u>	
Special Provisions: _____									
Mail <input type="checkbox"/>	Fax <input type="checkbox"/>	Email <input checked="" type="checkbox"/>	To: <u>ryan er-c development.com</u>			Pick Up <input type="checkbox"/>	By: _____		

lisa er-c development.com
ryan er-c branch.com

**Brazoria County Floodplain Receipt****(979) 864-1295****(281) 756-1295**111 East Locust Bldg. A-29
Angleton, Texas 77515

Floodplain Administrator

Receipt No	00019889	Receipt Date	7/17/2024	Receipt Time	07:55:37 AM
Received From:				RCCADEN LLC	
NO REFUND(S)					

Trans Type:	RPR75	Permit Fee - NC - Residential, Mobile Homes and Barns	HUD / County Exempt:	N	
Misc. Descr:		Qty:	1	Price:	\$75.00

Permit No:	Square Footage:	0	Amount Sq. Ft	\$0.00
Contractor:				
Owner:				

Amount Owed: \$75.00

Trans Type:	SQFTG	Square Footage	HUD / County Exempt:	N	
Misc. Descr:		Qty:	1	Price:	\$0.04

Permit No:	Square Footage:	0	Amount Sq. Ft	\$0.00
Contractor:				
Owner:				

Amount Owed: \$62.24

Comments: 4828 BLUEWATER HWY FREEPORT CK # 1082

Payment Information

Payment Type:	CHK	Check# / MO#:	1082	Pay Amount:	\$137.24
Payment Type:		Check# / MO#:		Pay Amount:	\$0.00

Office Use Only	Posted:	N
-----------------	---------	---

Total Amount Received: \$137.24

Rec. By:	14554		
Void:	N	Void By	
Void Date:		Void Time:	
Void Reason:		Void Time:	

STATEMENT OF COMMISSIONER'S COURT
OF BRAZORIA COURT
TO CONFORM TO REQUIREMENTS OF
CLASS "B" BUILDING PERMIT

STATE OF TEXAS

COUNTY OF BRAZORIA

The undersigned holder of Development Permit No. _____ (whether acting individually or through a duly authorized agent or attorney) does hereby certify to Commissioners' Court of Brazoria County, Texas as follows.

The undersigned permittee:

1. Accepted Development Permit No. _____.
2. Is familiar with all plans, specifications and other written material attached to or filed with the Development Permit Application on file with the County Floodplain Administrator.
3. Acknowledges that the plans, specifications and other written material filed with Development Permit Application is incorporated by reference and made part of this Certificate for purposes.
4. Acknowledges self (itself) to be strictly bound to Commissioners' Court to construct the work permitted under the above described building permit in strict conformity with the plans, specifications and other written material incorporated by reference of this Certificated.
5. Hereby binds himself to establish the required construction elevation to a National Geodetic Survey Marker and have same certified by Texas Registered Surveyor (or agreeable alternate). The original Finished Construction Elevation certificate with registered surveyor's stamp, signature, date and pictures shall be forwarded to the County Floodplain Administrator's office verifying top of bottom floor reading upon completion of the structure. It must indicate that it is the "Finished Construction" certificate showing (a) top of bottom floor reading and (e) lowest elevation of machinery or equipment in Section C of the certificate.

If the Finished Construction Elevation Certificate is not received, your building permit will be put in violation in the Brazoria County Floodplain Administrator's office.

6. Is required to notify the County Floodplain Administrator when construction progresses to the point necessary for the foundation inspection (after certification) and later for the electrical/plumbing to verify the electrical and plumbing facility are above the base flood.
7. Shall not have a valid permit until this agreed upon and signed original document is on file and in possession of the County Floodplain Administrator.
8. If at anytime an Engineering Study was required and the data submitted is found to be inaccurate, Brazoria County or the County Floodplain Administrator cannot be held liable. The responsibility shall fall back on the property owner and/or Engineering Firm submitting the information.
9. Any structure that is used for commercial or a public facility must adhere to the International Fire Codes. Contact the Emergency Management Coordinator of Brazoria County for inspections required.



Applicant/Permittee Signature

RECEIVED

JUN 11 2024

ENVIRONMENTAL
HEALTH DEPT.

ON-SITE SEWAGE FACILITY PERMIT APPLICATION
BRAZORIA COUNTY ENVIRONMENTAL HEALTH DEPT
 111 East Locust Bldg A-29, Suite 270 ANGLETON, TX 77515
 HOUSTON (281)756-1600 ANGLETON (979)864-1600 CLUTE (979)388-1600

This application will expire one year from the application date if inspection
 not complete. No refunds once permit is issued.
 Attach Copy of Legal Description (i.e. Deed, Plat, Survey, Appraisal)

2024-246

Permit Number

- ☒ \$250 Single Family
☐ \$450 Multi-Hookup
☐ \$450 Commercial
☒ New
☐ Replacement
☐ Alteration

Type DE w/chlorination
 BCEHD USE ONLY

PROPERTY OWNER RC Caden LLC
 (NAME ON DEED) (LAST) (FIRST) (INT)

PHONE NUMBERS 979-583-8351 EMAIL Ryan @ R-CRANCH.COM

MAILING ADDRESS P.O. Box 1989 Angleton, TX 77516-1989

SITE ADDRESS CR 251 4828 Bluewater Highway Freeport, TX 77541 Acres 0.11

WATER SOURCE ☒ Private ☐ Public (Name) Water Saving Devices: Yes ☒ No ☐

SINGLE FAMILY RESIDENCE: # of Bedrooms 4 Living Area(Sq Ft) <3500 Daily Wastewater Usage Rate 300

COMMERCIAL/MULTI FAMILY: Type _____ # of Employees/Units _____ Days/Wk Occupied _____

DESIGNER Jerry Ince Reg# PE81062 Phone# 832-344-6604

SITE EVALUATOR Jerry D. Monical Reg# OS9673 Phone# (979) 798-7678

INSTALLER Jerry D. Monical Reg# OS29938 Phone# (979) 798-7678

MAINTENANCE PROVIDER Jerry D. Monical Reg# MP1870 Phone# (979) 798-7678

TREATMENT TANK(S):

Tank	# of Compartments	Size	Manufacturer	Model
#1	4	600	Clearstream	600NC3
#2				
#3				
#4				

DISPOSAL TYPE (check one):

☐ Standard ☐ Gravelless ☐ Leaching Chamber ☐ Low Pressure Dosing ☐ Surface Irrigation ☐ Drip X Emitter

Disposal Area 812 FT² Disposal Length 406 LF Trench Depth 15" Trench width 2ft

I certify that the above statements are true and correct to the best of my knowledge. Authorization is hereby given to the Authorized Agent to enter upon the above described property for the purpose of lot evaluation and inspection of the OSSF. I also acknowledge that inspection of the OSSF is required prior to all components being covered and use of the system.

Signature of Owner (Name on Deed) [Signature] Date 6/11/24

DEPARTMENT USE ONLY BELOW THIS LINE

APPLICATION: ☒ APPROVAL ☐ DISAPPROVAL DATE 6-14-2024 INSPECTOR [Signature] LIC# 0033966

Well Log or Plug Report Required? ☒ Yes ☐ No Recorded Plat Required? ☐ Yes ☒ No Flood Zone: ☒ Yes ☐ No BOD Test Req? ☐ Yes ☒ No

Brazoria County Appraisal ID # 245639 ETJ — Flood Plain Info: ☒ New Construction ☐ Upgrade

Legal Description: SUB San Luis Brach Ab 0029 Sec _____ Block 8 Lot 16 Precinct 1

Authorization to Construct

Provided to Installer: _____ Date: _____ ☐ In person ☐ Fax ☐ Mail By: _____

INSPECTION: ☒ APPROVAL ☐ DISAPPROVAL DATE _____ INSPECTOR _____ LIC# _____

Final Permit Copies

Provided to Installer: _____ Date: _____ ☐ In person ☐ Fax ☐ Mail By: _____

Provided to Maintenance Prov: _____ Date: _____ ☐ In person ☐ Fax ☐ Mail By: _____

Revised 3/22/24 jcs

17-2024
JEU

- A - TWO WAY CLEAN OUT
- B - CLEARSTREAM 600NC3T
- D - VALVE BOX
- F - VACUUM BREAKER
- G - VACUUM BREAKER / BACK FLOW PREVENTOR

ELECTRICAL EQUIPMENT
MUST BE MOUNTED ABOVE
BASE FLOOD LEVEL
SEPTIC TO BE INSTALLED IN
ACCORDANCE TO 30 TAC 285
AND BRAZORIA COUNTY
RULES & REGULATIONS

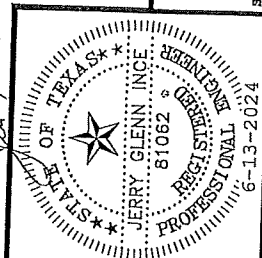
DRIP AREA MUST BE CLEAR OF
ALL VEGETATION AND LEVELED TO
DRAIN

SLOPE .2%

THE PROPOSED LOTS, HOUSES, WATER WELLS
AND DRIVEWAYS MUST BE INSTALLED ACCORDING
TO DESIGN IN ORDER FOR THE
THE SEPTIC SYSTEMS TO BE INSTALLED CORRECTLY.

BARRIERS AROUND THE DRIP LINES
ARE RECOMMENDED IN ORDER
TO PREVENT PARKING ON LINES

J. D. L. PE



INCE ENGINEERING, LLC

FIRM# F-8680
2507 SILENT SHORE CT
RICHMOND, TEXAS

RCCADEN LLC
LOT 16, BLK 8, SEC 3
4828 BLUEWATER DR (CR 257)
SAN LUIS, TEXAS 77541
BRAZORIA COUNTY

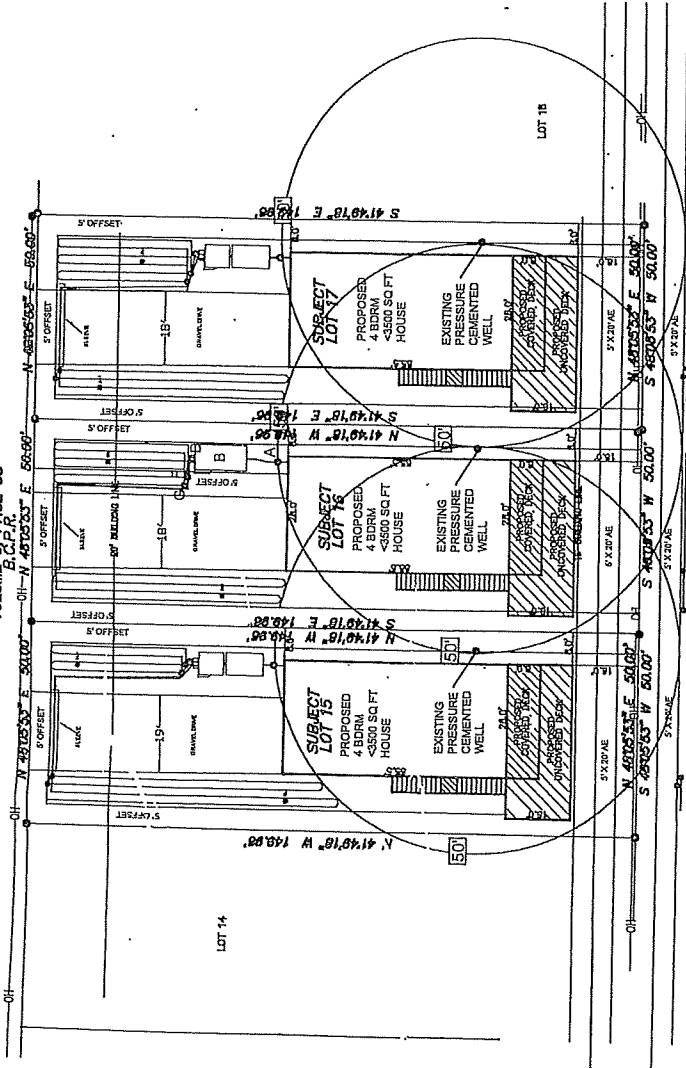
DSSP

File Name: RCCADEN L16 28 53
Dwn. By: J. D. L. Date: 6-24

Sheet Number: 1 of 2

BLUEWATER HIGHWAY (120' R.O.W.)

BLOCK B
SAN LUIS BEACH
VOLUME 8, PAGE 53
B.C.P.R.



ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1–9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A – PROPERTY INFORMATION				FOR INSURANCE COMPANY USE	
A1. Building Owner's Name Ryan Cade				Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 4828 Bluewater Drive (CR 257C)				Company NAIC Number:	
City San Luis		State Texas		ZIP Code 77541	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) Lot 16, Block 8, San Luis Beach Subdivision, Section 3 (Volume 8, Page 53 B.C.P.R.), S.F. Austin Peninsular League, Abstract 29					
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>Residential Pre-Construction</u>					
A5. Latitude/Longitude: Lat. <u>28°59'52.17" N</u> Long. <u>95°13'46.86"W</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983					
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.					
A7. Building Diagram Number <u>5</u>					
A8. For a building with a crawlspace or enclosure(s):					
a) Square footage of crawlspace or enclosure(s) <u>0.00</u> sq ft					
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>0</u>					
c) Total net area of flood openings in A8.b <u>0.00</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
A9. For a building with an attached garage:					
a) Square footage of attached garage <u>0.00</u> sq ft					
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>0</u>					
c) Total net area of flood openings in A9.b <u>0.00</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number Brazoria County Unincorporated Area 485458			B2. County Name Brazoria		B3. State Texas
B4. Map/Panel Number 48039C0850	B5. Suffix K	B6. FIRM Index Date 06-05-1989	B7. FIRM Panel Effective/ Revised Date 12-30-2020	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) 14.0'
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Designation Date: <u>10-01-1983</u> <input checked="" type="checkbox"/> CBRS <input type="checkbox"/> OPA					

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 4828 Bluewater Drive (CR 257C)			Policy Number:
City San Luis	State Texas	ZIP Code 77541	Company NAIC Number

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

- C1. Building elevations are based on: ☒ Construction Drawings* ☐ Building Under Construction* ☐ Finished Construction
*A new Elevation Certificate will be required when construction of the building is complete.

- C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO. Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.

Benchmark Utilized: RR-455 Vertical Datum: NAVD 88

Indicate elevation datum used for the elevations in items a) through h) below.

☐ NGVD 1929 ☒ NAVD 1988 ☐ Other/Source: _____

Datum used for building elevations must be the same as that used for the BFE.

Check the measurement used.

- | | | | |
|---|-------------|--|---------------------------------|
| a) Top of bottom floor (including basement, crawlspace, or enclosure floor) | <u>16.0</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| b) Top of the next higher floor | <u>N/A</u> | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| c) Bottom of the lowest horizontal structural member (V Zones only) | <u>N/A</u> | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| d) Attached garage (top of slab) | <u>N/A</u> | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| e) Lowest elevation of machinery or equipment servicing the building
(Describe type of equipment and location in Comments) | <u>N/A</u> | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| f) Lowest adjacent (finished) grade next to building (LAG) | <u>4.6</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| g) Highest adjacent (finished) grade next to building (HAG) | <u>5.0</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support | <u>N/A</u> | <input type="checkbox"/> feet | <input type="checkbox"/> meters |

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor? ☒ Yes ☐ No ☐ Check here if attachments.

Certifier's Name
Terry Singletary

License Number
TX RPLS 4808

Title
Registered Professional Land Surveyor

Company Name
Doyle & Wachtstetter Inc.

Address
131 Commerce St.

City
Clute

State
Texas

ZIP Code
77531

Signature

Terry Singletary

Date
04-06-2021

Telephone
(979) 265-3622

Ext.
1042

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)

A Bridge spike was set in a power pole at the northeast corner of Block 8, Lot 17 for bench mark at elevation 7.16 feet (7' 2").



ELEVATION CERTIFICATEOMB No. 1660-0008
Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 4828 Bluewater Drive (CR 257C)			Policy Number:
City San Luis	State Texas	ZIP Code 77541	Company NAIC Number

**SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED)
FOR ZONE AO AND ZONE A (WITHOUT BFE)**

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ ☐ feet ☐ meters ☐ above or ☐ below the LAG.
- E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E3. Attached garage (top of slab) is _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? ☐ Yes ☐ No ☐ Unknown. The local official must certify this information in Section G.

SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner or Owner's Authorized Representative's Name

Address City State ZIP Code

Signature Date Telephone

Comments

☐ Check here if attachments.

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 4828 Bluewater Drive (CR 257C)			Policy Number:
City San Luis	State Texas	ZIP Code 77541	Company NAIC Number

SECTION G – COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8–G10. In Puerto Rico only, enter meters.

- G1. ☐ The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. ☐ A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. ☐ The following information (Items G4–G10) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate of Compliance/Occupancy Issued
-------------------	------------------------	---

- G7. This permit has been issued for: ☐ New Construction ☐ Substantial Improvement
- G8. Elevation of as-built lowest floor (including basement) of the building: _____ ☐ feet ☐ meters Datum _____
- G9. BFE or (in Zone AO) depth of flooding at the building site: _____ ☐ feet ☐ meters Datum _____
- G10. Community's design flood elevation: _____ ☐ feet ☐ meters Datum _____

Local Official's Name	Title
Community Name	Telephone
Signature	Date

Comments (including type of equipment and location, per C2(e), if applicable)

☐ Check here if attachments.

ELEVATION CERTIFICATE**BUILDING PHOTOGRAPHS**

See Instructions for Item A6.

OMB No. 1660-0008

Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 4828 Bluewater Drive (CR 257C)			Policy Number:
City San Luis	State Texas	ZIP Code 77541	Company NAIC Number
<p>If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.</p>			
<p>Photo One</p>			
Photo One			Photo One
Photo One Caption			Clear Photo One
<p>Photo Two</p>			
Photo Two			Photo Two
Photo Two Caption			Clear Photo Two

ELEVATION CERTIFICATE**BUILDING PHOTOGRAPHS**

Continuation Page

OMB No. 1660-0008

Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 4828 Bluewater Drive (CR 257C)			Policy Number:
City San Luis	State Texas	ZIP Code 77541	Company NAIC Number

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.

Photo Three

Photo Three

Photo Three Caption

Clear Photo Three

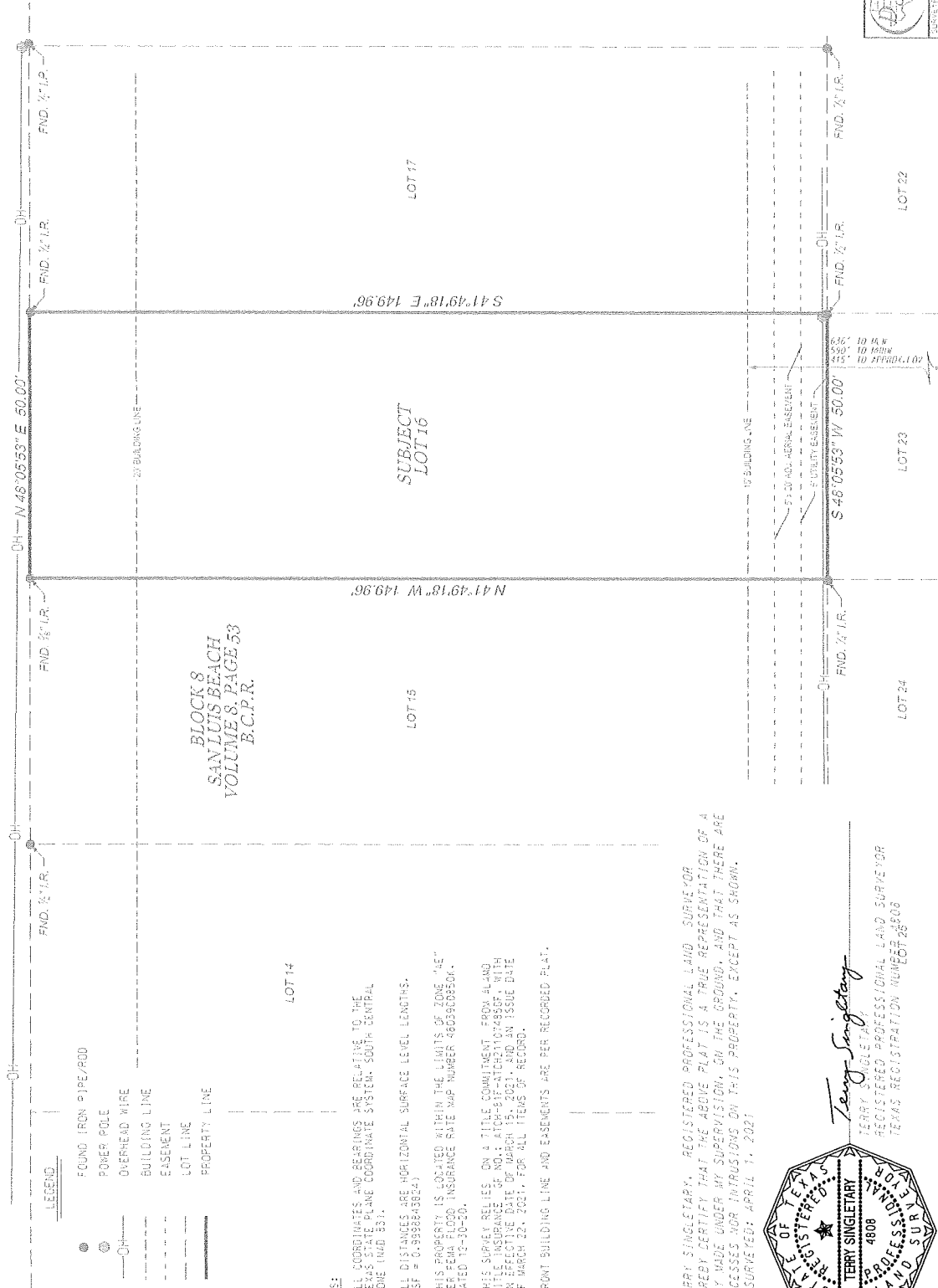
Photo Four

Photo Four

Photo Four Caption

Clear Photo Four

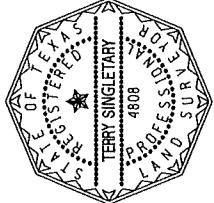
BLUEWATER HIGHWAY (120' R.O.W.)



NOTES:

1. ALL COORDINATES AND BEARINGS ARE RELATIVE TO THE TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH CENTRAL ZONE (NAD 83).
2. ALL DISTANCES ARE HORIZONTAL SURFACE LEVEL LENGTHS.
3. THIS PROPERTY IS LOCATED WITHIN THE LIMITS OF ZONE 14E. BEING INSURED BY THE TEXAS INSURANCE COMPANY (TIC) WITH POLICY NUMBER 1805500504, DATED 12-10-20.
4. THIS SURVEY RELIES ON A TITLE COMMITMENT FROM ALAMO TITLE INSURANCE OF NO. 1 ATCH-51F-ATCH211074850F, WITH AN EFFECTIVE DATE OF MARCH 15, 2021, AND AN ISSUE DATE OF MARCH 22, 2021, FOR ALL ITEMS OF RECORD.
5. FRONT BUILDING LINE AND EASEMENTS ARE PER RECORDED PLAT.

1. TERRY SINGLETARY, REGISTERED PROFESSIONAL LAND SURVEYOR DO HEREBY CERTIFY THAT THE ABOVE PLAT IS A TRUE REPRESENTATION OF A SURVEY MADE UNDER MY SUPERVISION, ON THE GROUND, AND THAT THERE ARE NO EXCESSES NOR INTRUSIONS ON THIS PROPERTY, EXCEPT AS SHOWN. DATE SURVEYED: APRIL 1, 2021



Terry Singletary
TERRY SINGLETARY
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NUMBER 4808

SURVEY PLAT
OF
LOT 16, BLOCK 8

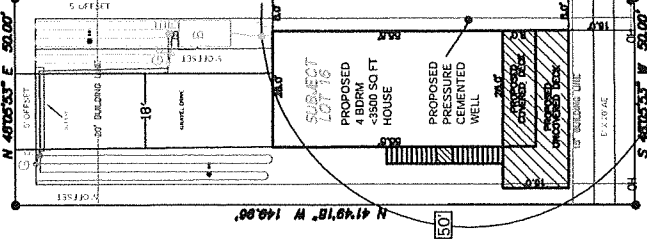
OF
SAN LUIS BEACH
SECTION NO. 3
RECORDED IN
VOLUME 8, PAGE 53
OF THE
BRAZORIA COUNTY PLAT RECORDS
IN THE
S. F. AUSTIN PENINSULA LEAGUE
ABSTRACT 29
BRAZORIA COUNTY, TEXAS
FOR

RCCADEN, LLC
BLUEWATER HIGHWAY

Doyle & Wachstetter, Inc.
Surveying and Mapping GPS/GIS
151 LOUISIANA STREET, SUITE 100
HOUSTON, TEXAS 77055
TEL: 281-288-8888 FAX: 281-288-8889
WWW.DOYLEANDWACHSTETTER.COM

BLUEWATER HIGHWAY (120' R.O.W.)

BLOCK 8
SAN LUIS BEACH
VOLUME 8, PAGE 53
B.C.P.R.



- A - TWO WAY CLEAN OUT
- B - CLEARSTREAM 600NC3T
- D - VALVE BOX
- E - KRAIN ALTERNATING VALVE OR EQUIVALENT
- F - VACUUM BREAKER
- G - VACUUM BREAKER / BACKFLOW PREVENTOR

ELECTRICAL EQUIPMENT MUST BE MOUNTED ABOVE BASE FLOOD LEVEL

SEPTIC TO BE INSTALLED IN ACCORDANCE TO 30 TAC 285 AND BRAZORIA COUNTY RULES & REGULATIONS

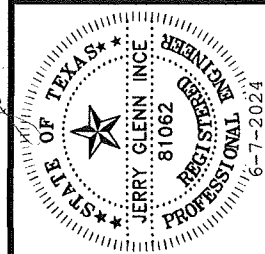
DRIP AREA MUST BE CLEAR OF ALL VEGETATION AND LEVELED TO DRAIN.

SLOPE < 2%

THE PROPOSED BEACH HOUSES, WATER WELLS AND DRIVEWAYS MUST BE INSTALLED ACCORDING TO DESIGN IN ORDER FOR THE SEPTIC SYSTEMS TO BE INSTALLED CORRECTLY.

BARRIERS AROUND THE DRIP LINES ARE RECOMMENDED IN ORDER TO PREVENT PARKING ON LINES

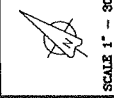
J. D. L. PE



INCE ENGINEERING, LLC

PTM# F-6860
2507 SILENT SHORE CT
RICHMOND, TEXAS

RCCADEN LLC
LOT 16, BLK 8, SEC 3
4828 BLUEWATER DR (CR 257)
SAN LUIS, TEXAS 77541
BRAZORIA COUNTY



SCALE 1" = 30'

USST

File Name: RCCADEN LIS BB 53

Drawn By: J. BLVS Date: 6-24

Sheet Number: 1 of 2

LOT 16, BLK 8
 ZONE ONE
 4 LINES @ 55' = 220'
 ZONE TWO
 4 LINES @ 55' = 220'
 TOTAL = 408 LINEAR FT.

Drip Irrigation Calculations Zone 1:

1. NUMBER OF EMITTERS ZONE 1 = 110
2. FLOW RATE PER EMITTER = 0.53 GPH
3. FLOW RATE PER ZONE = $110 \times 0.53 / 60 = 0.97$ GPM
4. FLUSHING REQUIREMENT = 1.11 GPM
5. TOTAL FLOW = 2.08 GPM
6. ZONE 1 CAN ACCEPT $2.08 \times 300 = 624$ GPD
7. NUMBER OF DOSES ZONE 1 PER DAY = 6
8. RUN TIME ZONE 1 PER DOSE = $163 / 6 / 0.97 = 28.01$ MINUTES PER DOSE USE 29
9. TIMER OFF BETWEEN DOSES 3 HRS AND 31 MINUTES

Drip Irrigation Calculations Zone 2:

1. NUMBER OF EMITTERS ZONE 2 = 110
2. FLOW RATE PER EMITTER = 0.53 GPH
3. FLOW RATE PER ZONE = $110 \times 0.53 / 60 = 0.97$ GPM
4. FLUSHING REQUIREMENT = 1.11 GPM
5. TOTAL FLOW = 2.08 GPM
6. ZONE 2 CAN ACCEPT $2.08 \times 300 = 624$ GPD
7. NUMBER OF DOSES ZONE 2 PER DAY = 6
8. RUN TIME ZONE 2 PER DOSE = $163 / 6 / 0.97 = 28.01$ MINUTES PER DOSE USE 29
9. TIMER OFF BETWEEN DOSES 3 HRS AND 31 MINUTES

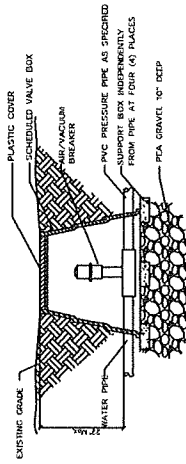
USE GEOPLOW WASTEFLOW MODEL WFC0160-24 IN WITH PRESSURE REDUCING EMITTERS SPACED EVERY 2 FEET OR EQUIVALENT.

LEVEL DRIP AREA WITH TYPE 15 SOIL

SLEEVE ALL LINES UNDER CONCRETE
 SLEEVE WHERE SEPTIC AND WATER LINES CROSS
 NO LANDSCAPING OR TREES CAN BE IN THE DRIP AREA

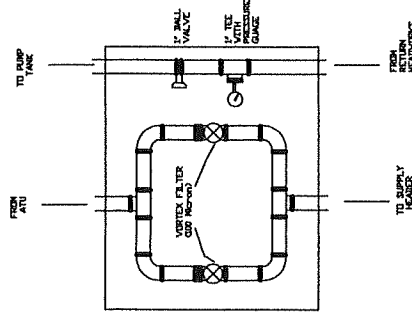
THIS PROPERTY IS LOCATED IN FEMA ZONE AE
 AS SHOWN ON FIRM 48039C0850K

IF DRIP FIELD IS LOCATED IN A LOW AREA
 BRING DRIP FIELD TO GRADE.

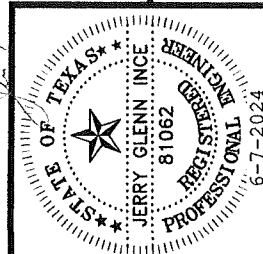


AIR/VACUUM BREAKER
 NTS

DRIP LINES TO BE BURIED 6"



HEADWORKS AND BOX
 NTS

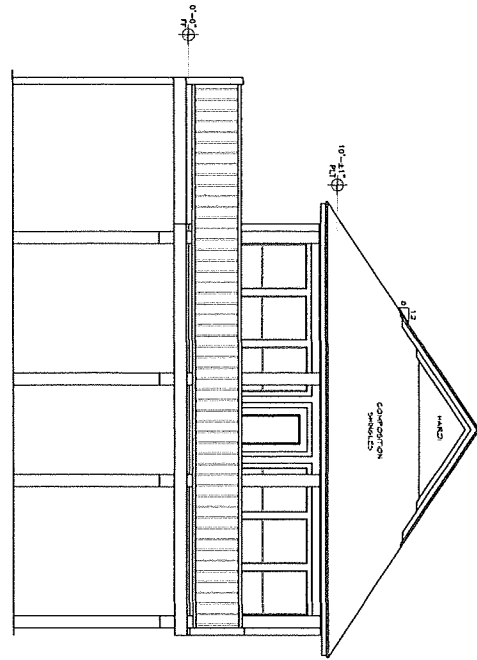


INCE ENGINEERING, LLC

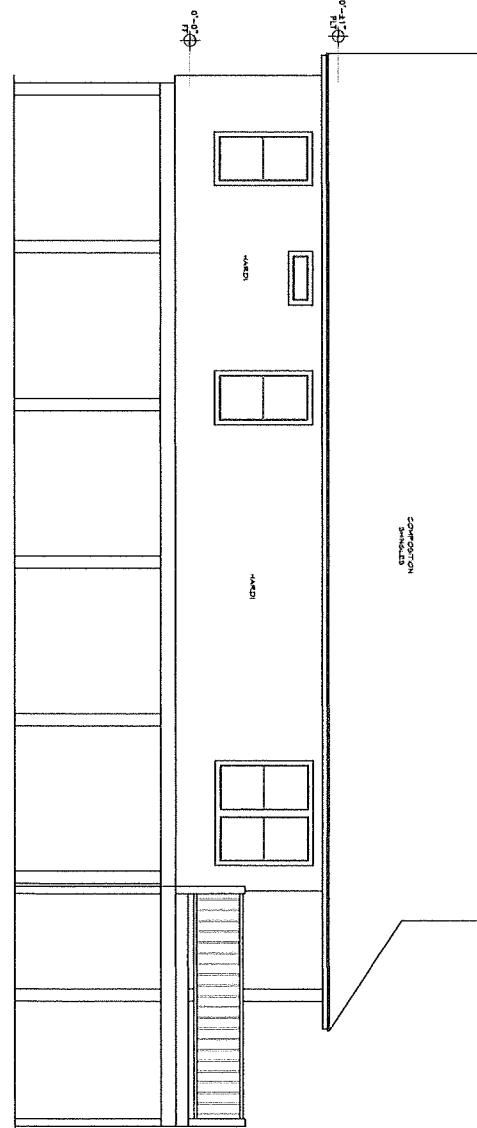
FIRM# F-6660
 2507 SILENT SHORE CT
 RICHMOND, TEXAS

RCCADEN LLC
 LOT 16, BLK 8, SEC 3
 4828 BLUEWATER DR (CR 257)
 SAN LUIS, TEXAS 77541
 BRAZORIA COUNTY

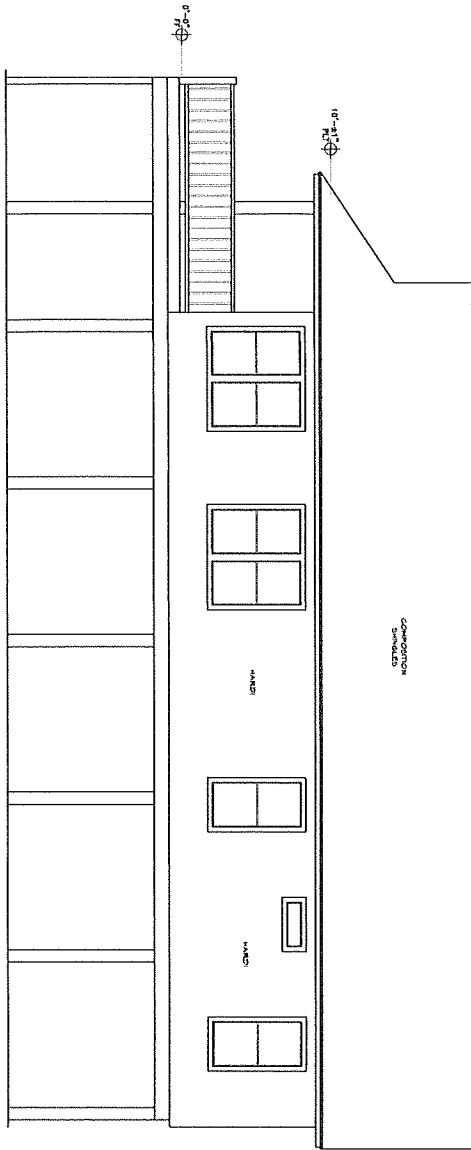
CSST
 File Name: RCCADEN L16 BB SS
 Drawn By: J. BLVS Date: 6-24
 Sheet Number: 2 of 2



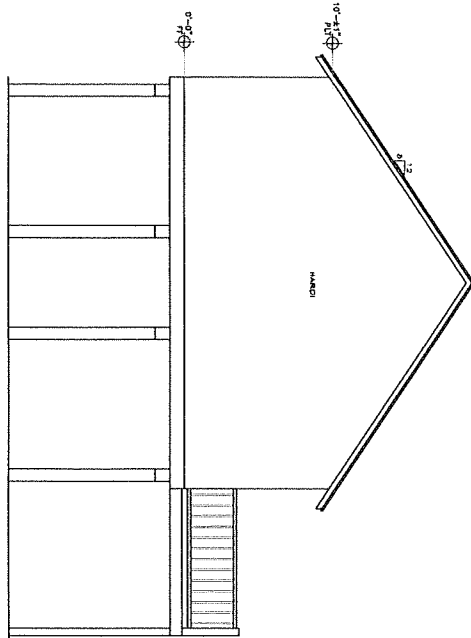
1 FRONT VIEW
A1 SCALE 1/4" = 1'



2 LEFT SIDE VIEW
A1 SCALE 1/4" = 1'



2 RIGHT SIDE VIEW
A2 SCALE 1/4" = 1'



1 REAR VIEW
A2 SCALE 1/4" = 1'

ELEVATIONS

GILBERT RESIDENCE

BLUEWATER HIGHWAY - SAN LUIS BEACH

JOB #: 20189293

A1

12-11-18

REVISION HISTORY	
NUMBER	DATE

Moontlight House

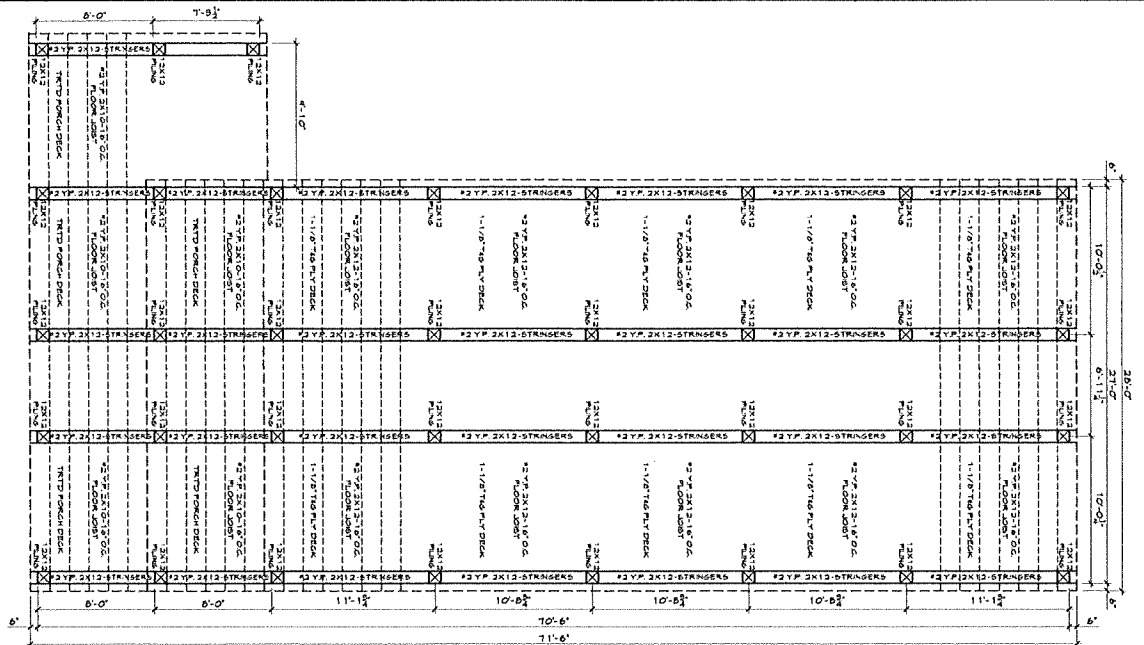
Plans

979-482-1967

MOONLIGHT HOUSE PLANS IS A DRAFTING FIRM, NOT AN ARCHITECTURAL FIRM. THESE PRINTS ARE TO BE APPROVED BY A LOCAL ENGINEER FOR ALL STRUCTURAL REASONS. MOONLIGHT HOUSE PLANS IS NOT RESPONSIBLE FOR ANY STRUCTURAL OR DESIGN MISTAKES. ALL DIMENSIONS, DETAILS & SPECIFICATIONS. ENGINEER WILL NOT BE LIABLE FOR HUMAN ERROR AFTER CONSTRUCTION IS BEGUN. THESE DRAWINGS, SPECIFICATIONS AND REAR ARE THE PROPERTY OF MOONLIGHT HOUSE PLANS AND SHALL NOT BE REPRODUCED, REPRODUCED, OR ALTERED IN ANY WAY.

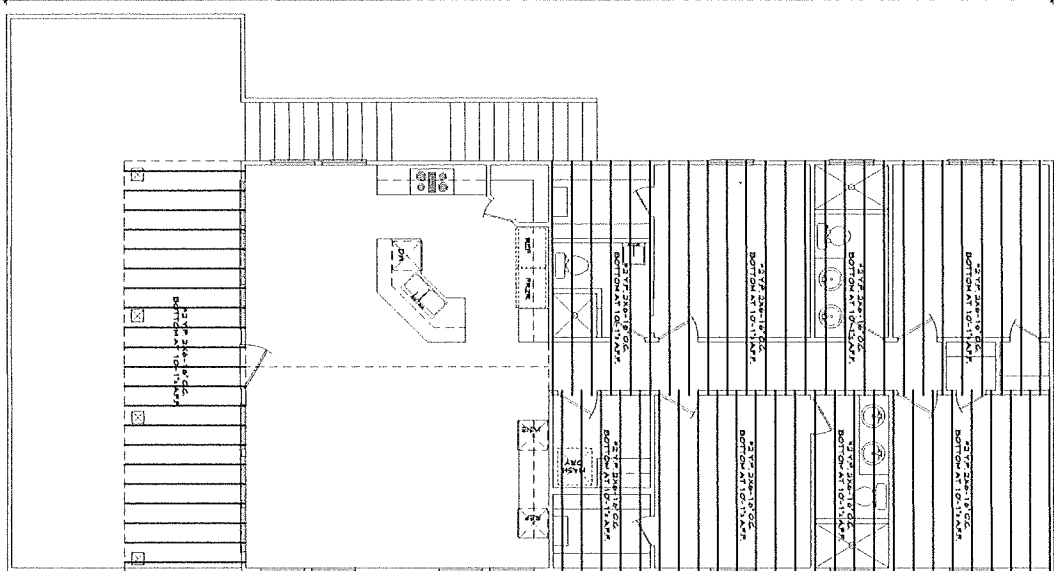
1 FOUNDATION

SCALE 1/4" = 1'



1 CEILING JOIST

SCALE 1/4" = 1'



NOTES

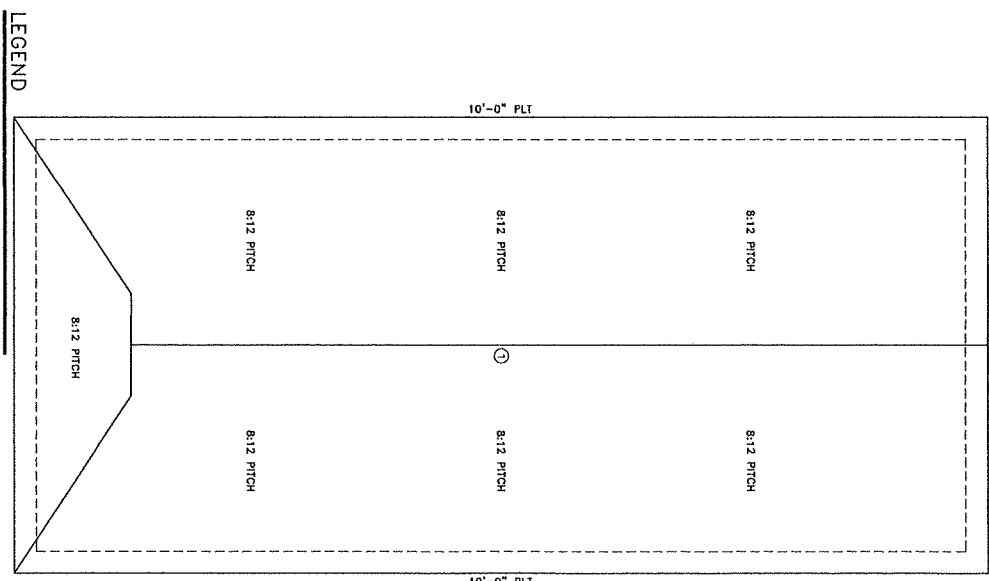
- 01. 8:12 PITCH
- 02. 10'-2 1/2" P.L.T. HTS.
- 03. COMPOSITION SHINGLES
- 04. 18" OVERHANG FROM OUTSIDE OF STUD WALL

UNLESS NOTED OTHERWISE (U.N.O.)

- 1 RIDGE
- 2 HP
- 3 VALLEY
- 4 OUTLOOKERS
- 5 KICKOUTS
- 6 CRICKET
- 7 PURLINS

1 ROOF LAYOUT

SCALE 1/4" = 1'



STRUCTURAL GILBERT RESIDENCE

BLUEWATER HIGHWAY - SAN LUIS BEACH

JOB # 20189299

S1

12-1-18

DWG. SCALE: 1/4" = 1'-0"

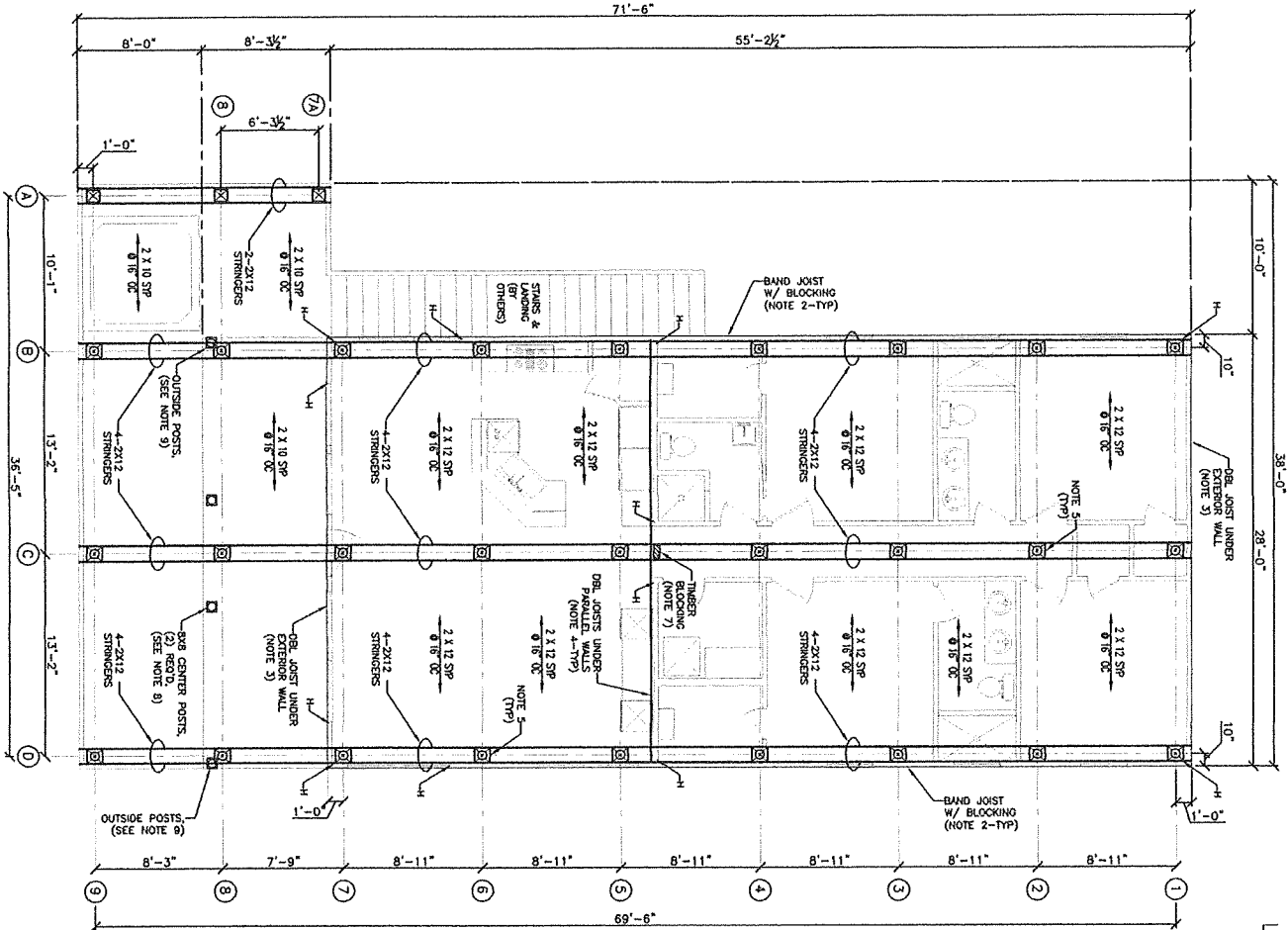
REVISION HISTORY	
NUMBER	DATE

Moonlight House Plans
979-482-1967

MOONLIGHT HOUSE PLANS IS A DRAFTING FIRM, NOT AN ENGINEERING OR ARCHITECTURAL FIRM. THESE PLANS ARE TO BE APPROVED BY A LOCAL ENGINEER FOR ALL STRUCTURAL REQUIREMENTS. MOONLIGHT HOUSE PLANS IS NOT RESPONSIBLE FOR ANY STRUCTURAL OR DESIGN MISTAKES. ALL SUBCONTRACTORS SHALL VERIFY ANY & ALL DIMENSIONS, DETAILS & SPECIFICATIONS. DESIGNER WILL NOT BE LIABLE FOR HUMAN ERROR AFTER CONSTRUCTION OF STUDIES. THESE DRAWINGS, SPECIFICATIONS AND REAS ARE THE PROPERTY OF MOONLIGHT HOUSE PLANS, AND SHALL NOT BE REPRODUCED, COPIED, OR REPRODUCED IN ANY MANNER.

SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN

NOTE: THIS DESIGN MEETS THE REQUIREMENTS OF THE 2018 IRC (INTERNATIONAL RESIDENTIAL CODE),
DESIGN WIND VELOCITY = 150 MPH (3 SEC GUSTS, USD), EXPOSURE D, RISK CATEGORY II.

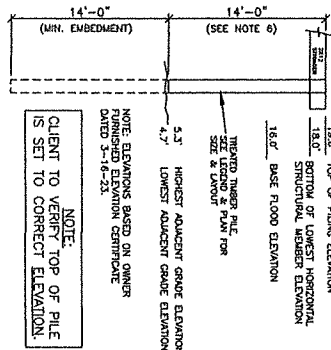


LEGEND:

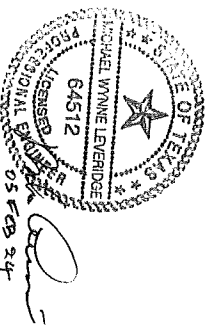
- 12x12 PILING
- H = HOLDOWN (SEE NOTE 1)
- 10x10 PILING (PILE ROW A)
- 8x8 POST
- 4x8 MIN. TIMBER BLOCKING

NOTES:

- SEE LEGEND ON WIND FORCE RESISTING PLAN (DRWG. S3)
- FOR TYPE OF HOLDOWN, INSTALL BAND JOIST WITH SOLID BLOCKING BETWEEN JOISTS AT EXTERIOR WALLS PARALLEL TO STRINGER BEAMS. SEE DETAIL 625162.
- INSTALL DOUBLE JOIST UNDER EXTERIOR WALL. SEE DETAIL 625161.
- DOUBLE JOIST UNDER PARALLEL WALLS ABOVE.
- TYPICAL STRINGER/PILE CONNECTION (SEE DET 625220). PILE LENGTH & EMBEDMENT, SEE TYPICAL PILE DETAIL THIS DRAWING. NOTE: GROUND ELEVATIONS VARY. CLIENT TO VERIFY ELEVATIONS, FILL REQUIREMENTS AND REQUIRED PILING LENGTH PRIOR TO PILING INSTALLATION. SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN.
- PROVIDE SOLID BLOCKING (MIN. 4x8 TIMBER) BETWEEN STRINGERS TO TOP OF FLOOR JOISTS AT INDICATED LOCATIONS. BOLT BLOCKING TO STRINGERS AND FLOOR JOISTS USING (2) 3/4" DIA. GALV. MACH. BOLTS WITH NUTS & WASHERS AT EACH CONNECTION.
- BETWEEN DBL DECK JOISTS (2-2x10's EACH SIDE) USING (2) 3/4" GALV. BOLTS WITH NUTS & WASHERS AT EACH CONNECTION. DO NOT NOTCH BOTTOM OF POST MORE THAN 50% OF THICKNESS. NOTCH TOP OF POST PER NOTE 8, DRWG. S3.
- OUTSIDE POSTS - BOTTOM OF 8x8 DECK POSTS ARE TO BE NOTCHED TO EXTEND ALONG OUTSIDE OF STRINGER BEAMS BELOW. NOTCH BOTTOM OF POST LEAVING 5" REMAINING THICKNESS WHERE POSTS BEAR UPON STRINGER. BOLT THROUGH STRINGER BEAMS AND JOISTS USING (2) 3/4" GALV. BOLTS WITH NUTS & WASHERS AT EACH CONNECTION.



TYPICAL PILE DETAIL



PILING FOUNDATION PLAN

SCALE: 1/8" = 1' 0"

JOB # 101-01779-046

Engineers of Brazosport, LLC
TBPE REG. NO. F-008007
122 West Way Street, Suite 401
Lake Jackson, Texas 77566
(979) 265-3383

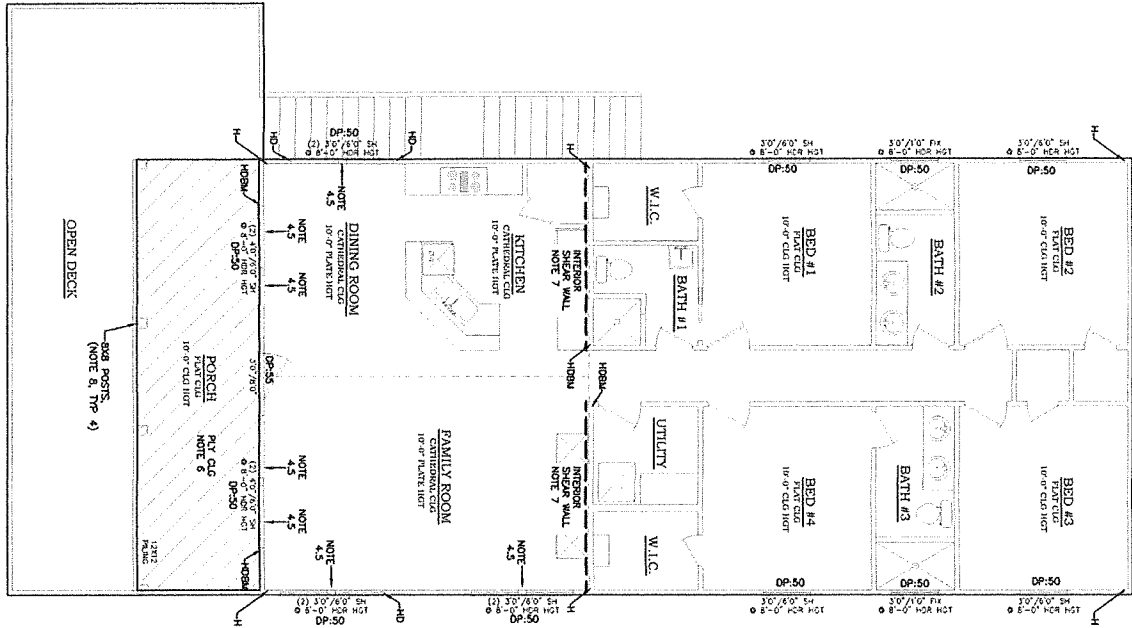
REV: 0
DATE:
02/05/24

S1

RYAN CADE
4828 BLUEWATER DRIVE
FREEPORT, TEXAS

SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN

NOTE: THIS DESIGN MEETS THE REQUIREMENTS OF THE 2018 IRC (INTERNATIONAL RESIDENTIAL CODE), DESIGN WIND VELOCITY = 150 MPH (3 SEC. Gusts, USD), EXPOSURE D, RISK CATEGORY II.



3" MAILING
FRONT & BACK EXTERIOR
(SEE NOTE 3)

LEGEND:

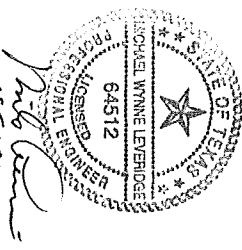
H = HTTS (TOP SIDE) ATTACHED TO MIN. (2) FULL STUDS W/ (26) 16d (0.162" DIA X 2.5" LONG) NAILS.
HDS (BOTTOM SIDE) TO STRAPERS. INSTALLATION PER DETAIL 62550 (CP-4959).
HO = HTTS HOLDOWN (TOP SIDE) WITH 8-5/8" x 2" WASHER ATTACHED TO MIN. (2) FULL STUDS W/ (26) SDS 3/8" x 2.5" SCREWS. USE (2) 1/4" x 1/2" STRIPS (STUD TO BAND JOIST / TOP SIDE), HDSB (BOTTOM SIDE) BOLT TO MIN. (2) STRAPERS W/ SOLID BLOCKING. USE 5/8" CALY. ROD TO CONNECT HOLDOWNS. INSTALLATION PER DETAIL 62526 (CP-6170).
HDSB = HOLDOWN, HTTS (TOP SIDE), ATTACHED TO MIN. (2) FULL STUDS WITH (26) 16d (0.162" DIA X 2.5" LONG) NAILS. ATTACH THRU DR. JOIST, BEAM OR TRUSS BELOW USING 5/8" CALY. BOLT & 2" SQUARE WASHER @ BOT., SEE DETAIL 62521 (CP-5089).

NOTES: WIND FORCE RESISTING SYSTEM PLAN

1. FULL HT. STUDS AT ALL EXTERIOR WALLS (AND POOR WALLS). 2X6 WALL FRAMING REQUIRED FOR STUD LENGTHS 12 FT & LONGER. CONSULT ENGINEER FOR MINIMUM STUD SIZE REQUIREMENTS FOR STUDS OVER 16 FT (SUCH AS CABLE END WALLS).
2. ROOFING: ROOFING PRODUCTS SHALL BE LISTED AS APPROVED PRODUCTS IN THE PRODUCT EVALUATION INDEX MAINTAINED BY THE TEXAS DEPARTMENT OF INSURANCE. ASPHALT SHINGLE ROOF COVERINGS MUST BE TESTED IN ACCORDANCE WITH ASTM D 7168 CLASS H OR ASTM D 3161 CLASS F AND INSTALLED IN ACCORDANCE WITH PACKAGE INSTRUCTIONS. SINGLE-TAB SHINGLES: APPLY SHINGLES AND STARTERS EXACTLY AS PRESCRIBED BY MANUFACTURER FOR HIGHEST WIND WARRANTY.
- 2.3. FOR LOW PITCH COMPOSITION ROOF (FROM 2:12 TO 4:12) DOUBLE UNDERLAYMENT IS REQUIRED AND INSTALLED PER CODE REQUIREMENTS.
- 2.4. METAL ROOFING PRODUCTS SHALL BE TESTED AND APPROVED PRODUCT SUITABLE FOR ROOF PITCH. CLADDING: VERIFY DECKING REQUIREMENTS PRIOR TO COMMENCEMENT ON METAL ROOF PRODUCT.
3. WALL SHEATHING TO BE NAILED AT 3" O.C. (PERIMETER) AND 6" O.C. (FIELD) ON SIDES INDICATED.
4. WINDOWS AND DOORS: WINDOWS AND DOORS MUST MEET PRESSURE REQUIREMENTS AS NOTED NEXT TO OPENING. BE LISTED AS AN APPROVED PRODUCT IN THE PRODUCT EVALUATION INDEX MAINTAINED BY THE TEXAS DEPARTMENT OF INSURANCE, AND BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE TD PRODUCT EVALUATION.
- 4.2. WINDOW DECKS PROTECTION - ALL PRODUCTS WITH GLAZING MUST USE AN IMPACT RATED PRODUCT OR HAVE AN APPROVED IMPACT PROTECTION SYSTEM. DOORS WITH GLAZING MUST BE IMPACT RATED (GLAZING AND GLASS ASSEMBLY) OR HAVE AN APPROVED IMPACT PROTECTION SYSTEM FOR THE ENTIRE DOOR OPENING.
- 4.3. INSTALL MULTIPLE WINDOW UNITS WITH 6" MINIMUM FRAMING (OBL. 2X KING STUDS + 2 JACK STUDS) BETWEEN UNITS OR USE TESTED AND APPROVED FACTORY BUILT UNITS.
5. SEE DETAILS WITH TRANSMITTAL DOCUMENT. REFER TO DRAWING 54 FOR CEILING FRAMING.
6. INSTALL 1/2" SHEATHING ON UNDERSIDE OF CEILING JOISTS IN AREA INDICATED. NAIL 3" O.C. (PERIMETER) AND 6" O.C. (FIELD). AS AN ALTERNATIVE (FOR PORCH AREAS) HARDWOOD PANEL MAY BE USED PROVIDED PANELS ARE INSTALLED AS FOLLOWS: PANELS SHALL BE INSTALLED WITH LONG LAYS ACROSS JOISTS AND WITH ALL PANEL EDGES BLOWED WITH MIN. 3/4" WIRE FRAMING, NAIL 4" O.C. AT PANEL EDGES AND 6" O.C. IN FIELD USING 8d NAILS.
7. INSTALL INTERIOR SHEATHING (IN LOCATIONS INDICATED) PER DETAIL 62311. NOTE: INTERIOR SHEATHING IS TO EXTEND INTO ATTIC SPACE AND CONNECTED TO RAFTERS ABOVE.
8. NOTCH TOP OF POST AND BOLT TO COVERED DECK ROOF BEAMS WITH (2) 3/4" CALY. WASH. BOLTS W/ NUTS & WASHERS ON EACH SIDE OF BOLT. DO NOT NOTCH MORE THAN 50% OF THICKNESS OF POST.

WIND FORCE RESISTING
SYSTEM PLAN

SCALE: 1/8" = 1'-0"



JOB # 101-01779-046

Engineers of Brazosport, LLC
TBPB REG. NO. F-008007
122 West Way Street, Suite 401
Lake Jackson, Texas 77566
(979) 265-3383

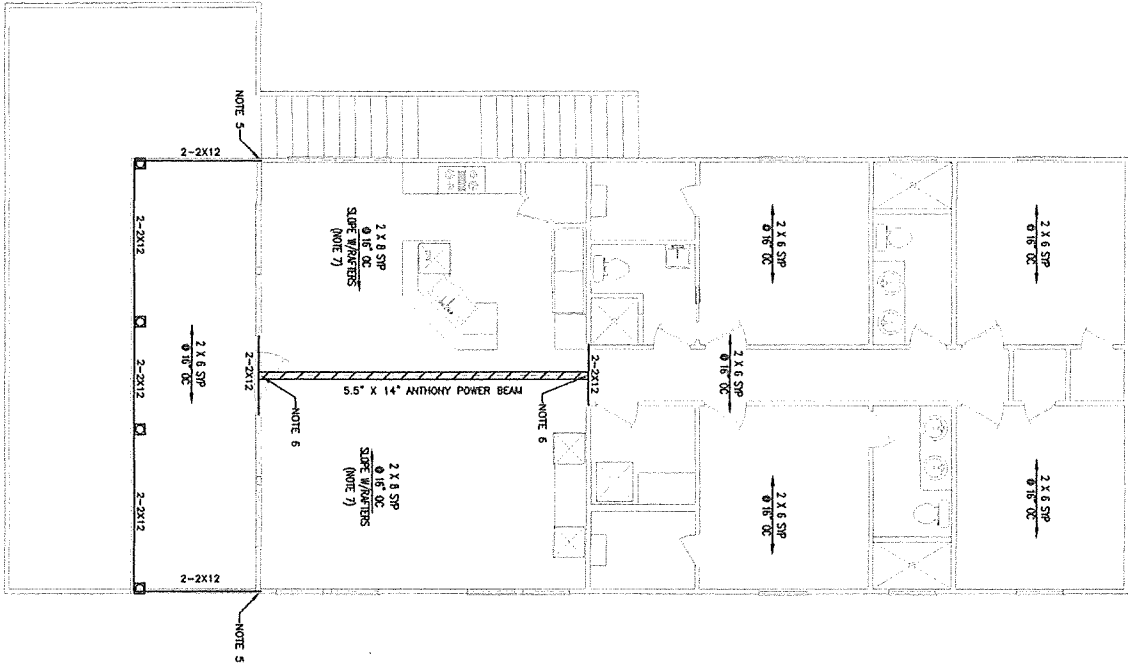
REV: 0
DATE:
02/05/24

S3

RYAN CADE
4528 BLUEWATER DRIVE
FREEPORT, TEXAS

SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN

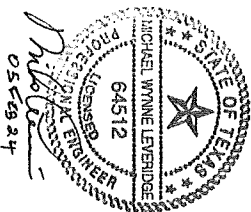
NOTE: THIS DESIGN MEETS THE REQUIREMENTS OF THE 2018 IRC (INTERNATIONAL RESIDENTIAL CODE), DESIGN WIND VELOCITY = 150 MPH (3 SEC GUSTS, USD), EXPOSURE D, RISK CATEGORY II.



- NOTES:
1. CEILING JOISTS ARE 2X6 @ 16" O.C. #2 SYP UNLESS NOTED.
 2. ALL CEILING AND FLOOR JOISTS TO BE #2 SYP UNLESS NOTED.
 3. ATTACH CEILING JOISTS TO FLUSH BEAMS WITH SIMPSON FACE MOUNT HANGERS, LU/HU SERIES OR EQUAL.
 4. INSTALL DOUBLE FRAMING AT ATTIC ACCESS.
 5. PROVIDE 3" BRUSH BEAMS INTO WALL CEILING OR ATTACH USING TYPE S1 BRUSH BEAMS TO STUDS. PROVIDE 3" BRUSH BEAMS TO STUDS (SIMPSON HUC SERIES OR EQUAL). PROVIDE STUD PLATE IN WALL AT ATTACHMENT LOCATION. MAINTAIN DEL. TOP PLATE IN WALL AT BEAM LOCATION.
 6. PROVIDE MIN. (3) STUDS IN WALL FRAMING UNDER ENDS OF BEAMS.
 7. REINSTALL COIL STRAPPING AT ROOF. SEE NOTE 7. DRINKS SS.
 8. PROVIDE 2X6 FRAMING AT EXTERIOR WALLS WHERE PLUMBING RISERS ARE LOCATED.

CEILING FRAMING PLAN

SCALE: 1/8" = 1' 0"



JOB # 101-01779-046

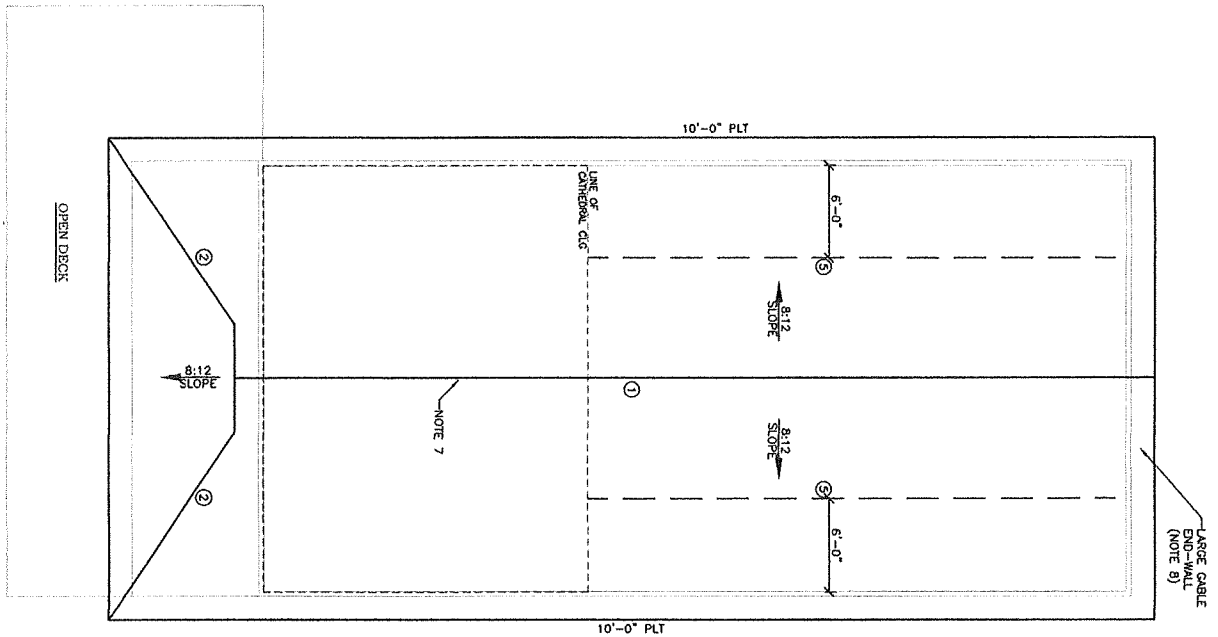
Engineers of Brazosport, LLC
 TBPE REG. NO. F-008007
 122 West Way Street, Suite 401
 Lake Jackson, Texas 77566
 (979) 265-3383

REV: 0
 DATE:
 02/05/24

S4

RYAN CADE
4828 BLUEWATER DRIVE
FREEPORT, TEXAS

NOTE: THIS DESIGN MEETS THE REQUIREMENTS OF THE 2018 IRC (INTERNATIONAL RESIDENTIAL CODE). DESIGN WIND VELOCITY = 150 MPH (3 SEC GUSTS, USD), EXPOSURE D, RISK CATEGORY II.

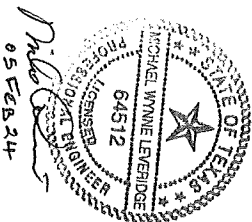


- ① RIDGE
- ② HIP
- ③ VALLEY
- ④ CRICKET
- ⑤ PURLIN

1. RAFTERS ARE 2 X 6 @ 16" O.C. #2 OR #3 STR. UNLESS NOTED.
2. PLUMBING AND BRACING - SEE DETAIL 622030.
3. CONNECTIONS - SEE DETAIL 622030.
4. ORCHERS TO BE APPLIED TO ROOF DECK AND CONNECTED TO FRAMING WITH 3/8" X 4" GALVANIZED LUGS.
5. DO NOT FERNER ON OTHER CHIMNEYS, DORMERS, SLOPCHITS, AND OTHER MAJOR ROOF OPENINGS.
6. INSTALL 18" LONG COIL STRAPPING ACROSS TOP OF RAFTERS AT RIDGE IN INDICATED LOCATIONS.
7. LARGE GABLE END-WALL - SPECIAL BRACING REQUIRED: ADD 8 FT. LONG 2X4 NAILLED TO BOTTOM SIDE OF RAFTERS AND ATTACHED TO TOP OF GABLE WALL STUDS. PROVIDE TOP SHOWN ON DETAIL 624010 CONNECTED TO STRON-BACKS BELOW.
8. CONSULT WITH ENGINEER'S INSPECTOR REGARDING ADDITIONAL BRACING IN UPPER 3RD OF STUDS FOR TALL GABLES.

ROOF FRAMING PLAN

SCALE: 1/8" = 1' 0"



JOB # 101-01779-046

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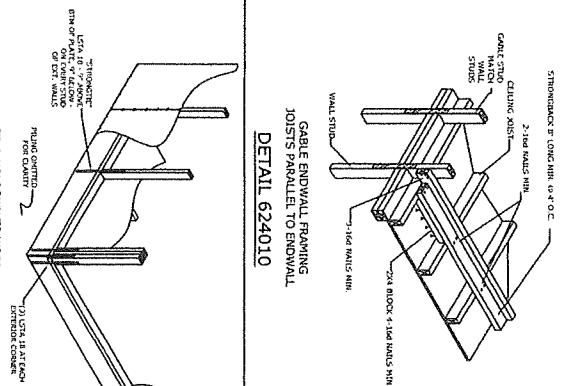
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DATE:
02/05/24

S5

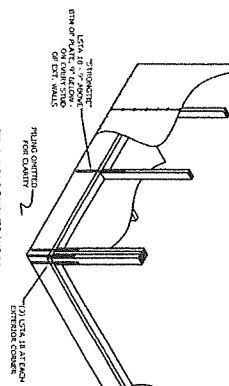
RYAN CADE
4828 BLUEWATER DRIVE
FREEPORT, TEXAS

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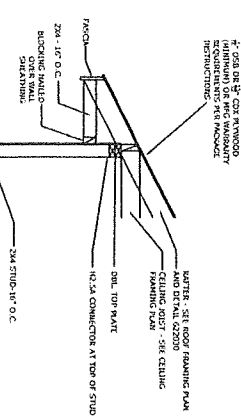
RAFTER BRACING
AND HOLD-DOWN SYSTEM
(2X6 RAFTERS @ 16"O.C.)
DETAIL 622030



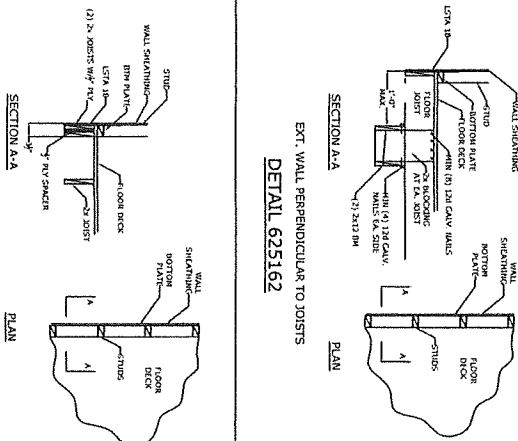
DETAIL 624010



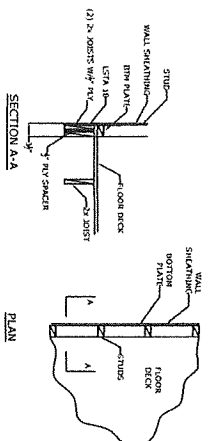
DETAIL 625160

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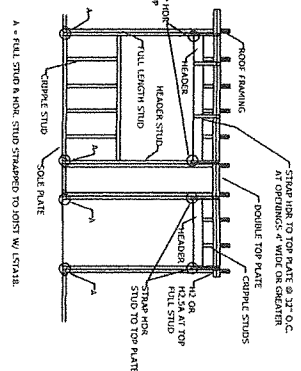
DETAIL 625151



EXT. WALL PERPENDICULAR TO JOISTS
DETAIL 625162



WALL PARALLEL TO JOISTS
DETAIL 625161



DETAIL 625111

NOTES:
1. ALL EXT. STUDS TO HAVE
LEAD STRAP AT BOTTOM TYING
TO WIND JOIST.
2. ALL EXT. STUDS TO HAVE
H2.5A AT TOP TYING TO 2 TOP
PLATES.

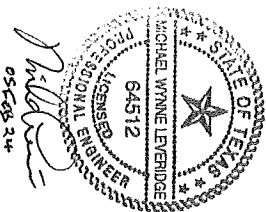
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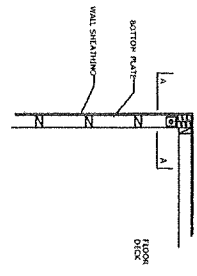
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02/05/24

S6G

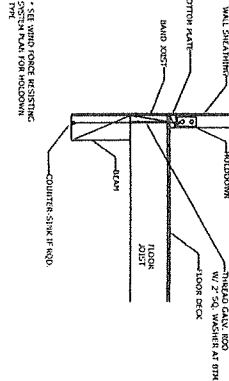
JOB # 101-01779-046



NOTE: USE DETAILS THAT APPLY TO A PARTICULAR PROJECT

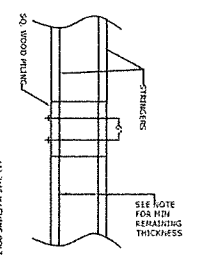


PLAN

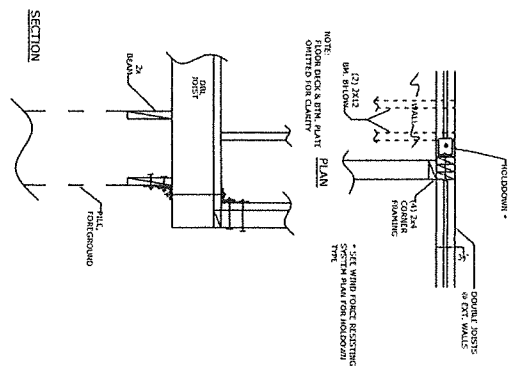


DETAIL 625211

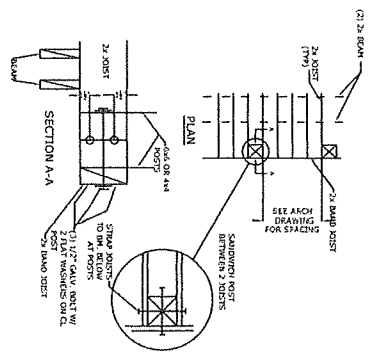
HOLDOWN AT SECOND FLOOR CORNER ON BEAM



BEAM - PILE CONN.
DETAIL 625220

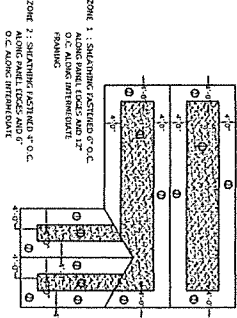


CORNER HOLDOWN
DETAIL 625260

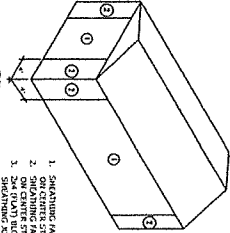


DETAIL 625262

PORCH POST AND RAIL CONN. TO FLOOR JOISTS

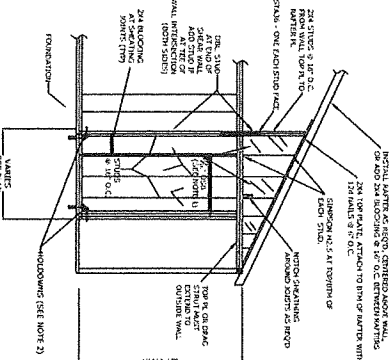


DETAIL 631012



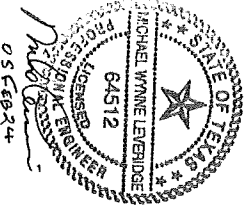
DETAIL 631011

WALL SHEATHING ATTACHMENT
SEAWARD



DETAIL 633111

INTERNAL SHEAR WALL DETAIL



JOB # 101-01779-046

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REV: 0
DATE:
02/05/24

S6H

STRUCTURAL DETAILS
RYAN CADE
4828 BLUEWATER DRIVE
FREEPORT, TEXAS











BRAZORIA COUNTY

**NOTICE OF RESIDENTIAL CONSTRUCTION
INSPECTION COMPLIANCE
IN UNINCORPORATED AREA**

(TO BE SUBMITTED BY BUILDER)

Received

2024-244

Related OSSF
Application #

Permit #

519
IRC #

BUILDERS NAME: RCCADEN

PROJECT INFORMATION

TYPE OF CONSTRUCTION: (Check One)

- 1) New Residential Construction on a vacant lot ☒
- 2) Addition to an Existing Residential Unit ☐

NOTE: *If a property lies in an ETJ it is required to contact the city hall for appropriate building codes.*

LOCATION:

Address 4828 Blue Water Hwy Freeport

Lot and Block # 1618 Subdivision San Luis

or

Survey _____ Tract/Acreage .4607

or

Deed Reference Vol 21 Pg 043344 Property ID (MCAD)# 245639

RESIDENTIAL CODE USED IN CONSTRUCTION:

- 1) INTERNATIONAL RESIDENTIAL CODE – published 2021 ☐
date