

**JOE K. RIPPLE**  
FLOODPLAIN ADMINISTRATOR, CFM  
**SOFIA GARCIA GIBSON**  
FLOODPLAIN / BUILDING PERMITS  
OFFICE ASSISTANT SR.  
**BELINDA HOWELL**  
FLOODPLAIN / BUILDING PERMITS  
PERMIT TECHNICIAN  
**VICKIE THOMAS**  
FLOODPLAIN/BUILDING PERMITS  
FLOODPLAIN CONSULTANT



PHONE:  
(979) 864-1295  
(979) 388-1295  
(281) 756-1295

## **BRAZORIA COUNTY**

451 North Velasco, Suite #210  
Angleton, Texas, 77515

January 5, 2024

Mei Ling Valdes  
Planning, Permitting & Technical Services  
Coastal Resources Division  
Texas General Land Office  
P.O. Box 12873  
Austin, TX 78711-2873

Re: Beach front construction application for 5034 Bluewater Hwy. (CR 257) Freeport, TX


Dear Ms. Valdes,

This application is for a residential structure with 5429 Square feet of living area with (6) bedrooms and (6) baths (3 half) baths built upon pilings certified by a professional engineer.

After construction a final elevation certificate will be turned into this office to show compliance with County and FEMA elevation requirements.

This beachfront construction application does not include a walkover and it complies with and promotes Brazoria County's beach access policies and requirements, particularly the dune protection and beach access policies relation to public beach ingress/egress, off beach parking and avoidance of reduction in the size of the public beach due to erosion.

Sincerely,

  
Joe K. Ripple  
Floodplain Department

Enclosures

**BRAZORIA COUNTY  
BUILDING PERMIT APPLICATION**

Angleton 979-864-1295

451 North Velasco, Suite 210, Angleton, TX 77515

Houston/Alvin 281-756-1295

**OWNERSHIP INFORMATION:**

Name: Smart Home Investment LLC Phone: 832-691-7878  
 Current/Mailing Address: 3130 Grants Lake Blvd #16533 Sugar Land, Tx 77479  
Street or PO Box City/State Zip-Code

**Building Contractors Information:** Khodr Homes LLC Address: 8018 Rippling Stream Phone: 832.770.1010  
Richmond, TX 77407

**LOCATION OF CONSTRUCTION:**

**SITE ADDRESS (Where Structure Will Be Placed or Constructed)**  
 Subdivision: Seahorse Estates Street Address: 5034 Bluewater Hwy City (required): Freeport  
 Section: N/A Block: 1 Lot: 5 Abstract No.: 29 Acreage: SFAustin Peninsula PID #: 575547

TYPE OF IMPROVEMENT Check Appropriate Box(es)	PROPOSED USE Fill Out and Check Any That Apply to Your Application	OWNERSHIP Check Appropriate Box(es) Fill Out <i>Cost &amp; Sq. Ft.</i>	TYPE OF WATER SUPPLY Check Appropriate Box	TYPE OF SEWAGE DISPOSAL Check Appropriate Box(es)
<input checked="" type="checkbox"/> New Building <input type="checkbox"/> Addition to Building <input type="checkbox"/> Manufactured Home <input type="checkbox"/> Mobile Home <input type="checkbox"/> Residential RV <input type="checkbox"/> Levee Construction <input type="checkbox"/> Relocated Building - <input type="checkbox"/> <i>Came from Outside County</i> <input type="checkbox"/> <i>Mobile Home Park or RV Park # of Spaces</i> _____	<input checked="" type="checkbox"/> Residential Number of Bedrooms: <u>6</u> Number of Bathrooms: Full <u>6</u> Partial <u>3</u> <input checked="" type="checkbox"/> One Family <input type="checkbox"/> Multi Family - # of Units: _____ <input type="checkbox"/> Non-Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Other: _____ (Type of Building)	<input checked="" type="checkbox"/> Private (Individual, Corp, Non-Profit) <input type="checkbox"/> Public (Federal, State, etc....)  Cost: \$ <u>600,000</u>  Floor Area Sq. Ft. (including garage): <u>5440</u> <u>5429</u> sq. ft.	<input checked="" type="checkbox"/> Public/Private Company <input type="checkbox"/> Individual (Water Well)	<input type="checkbox"/> Public/Private Company <input checked="" type="checkbox"/> Individual (Septic)  Copy of Environmental Health Permit attached:  <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No  #: <u>223-690</u>

**Fee:** Application fee of \$75.00 for Residential permits. If the property lies within the Special Flood Hazard Area of the County, an additional fee of \$0.04 per square foot for inspection fees will be charged. A natural ground elevation certificate and copy of floor plan are also required for Flood Zone areas. Any application for property of less than ten (10) acres shall obtain an Environmental Permit approval before a County building permit will be issued. UNLESS otherwise specified. **MAKE CHECKS PAYABLE TO: "TREASURER OF BRAZORIA COUNTY"-NO REFUNDS.**

**ALL COMMERCIAL BUILDINGS** will require approvals from the local Drainage District, Environmental Health and a Fire Code permit by the County Emergency Management Coordinator. **Special flood hazard areas require additional documents.** All commercial construction in Pearland's ETJ is required to contact Pearland City Hall. **Fees Vary According To Type of Business.**

**ANY construction located on a proposed County and/or Municipal Thoroughfare in Pearland's ETJ is required to contact Pearland City Hall**

Signature: [Signature] Date: 1/4/24

DO NOT WRITE BELOW THIS LINE						
Approved By: <u>Vukri Jhanna</u>		Highest Natural Ground is <u>5.50</u> ft. Certified By: <u>Terry Singleton</u>	Permit Fee \$ <u>75</u>	Inspection Fee \$ <u>217.36</u>	Date Of Permit	Permit Number
Electric	Mailbox Ltr	Setback Ltr	Thoroughfare	Total Fee: \$ <u>292.16</u>	Check #	Receipt No.
<u>CR</u>	<u>Yes</u>	<u>45'</u>	<u>Major</u>		<u>375</u>	<u>19049</u>
ETJ	Inspection Ltr	Ack Ltr	Mobile Home Information	FEMA Zone: <u>AE</u> <u>1472</u>	Panel No.: <u>67516</u>	Class
<u>No</u>	<u>Yes</u>	<u>No</u>	<u>No</u>	Elevation: <u>16</u> MSL	Map Date: <u>12/30/23</u>	<u>B</u>
Special Provisions: Mail <input type="checkbox"/> Email <input checked="" type="checkbox"/> To: <u>robertsmart@myyahoo.com</u> Pick Up <input type="checkbox"/>						



# Brazoria County Floodplain Receipt

(979) 864-1295

(281) 756-1295

111 East Locust Bldg. A-29  
Angleton, Texas 77515

Floodplain Administrator

Receipt No 00019049      Receipt Date 1/5/2024      Receipt Time 08:22:29 AM  
NO REFUND(S)

Received From: Smart Home Investment L.L.C.

Trans Type: RPR75      Permit Fee - NC - Residential, Mobile Homes and Barns      HUD / County Exempt: N  
Misc. Descr:      Qty: 1      Price: \$75.00

Permit No:      Square Footage: 0      Amount Sq. Ft      \$0.00

Contractor:

Owner:

Amount Owed: \$75.00

Trans Type: SQFTG      Square Footage      HUD / County Exempt: N  
Misc. Descr:      Qty: 1      Price: \$0.04

Permit No:      Square Footage: 0      Amount Sq. Ft      \$0.00

Contractor:

Owner:

Amount Owed: \$217.16

Comments: 5034 Bluewater Hwy Freeport CK # 375

## Payment Information

Payment Type: CHK      Check# / MO#: 375      Pay Amount: \$292.16

Payment Type:      Check# / MO#:      Pay Amount: \$0.00

Office Use Only      Posted: N

Total Amount Received: \$292.16

Rec. By: 14554

Void: N      Void By

Void Date:

Void Reason:      Void Time:



STATEMENT OF COMMISSIONER'S COURT  
OF BRAZORIA COURT  
TO CONFORM TO REQUIREMENTS OF  
CLASS "B" BUILDING PERMIT

STATE OF TEXAS

COUNTY OF BRAZORIA


The undersigned holder of **Development Permit No.** \_\_\_\_\_ (whether acting individually or through a duly authorized agent or attorney) does hereby certify to Commissioners' Court of Brazoria County, Texas as follows.

The undersigned permittee:

1. Accepted **Development Permit No.** \_\_\_\_\_.
2. Is familiar with all plans, specifications and other written material attached to or filed with the **Development Permit Application** on file with the County Floodplain Administrator.
3. Acknowledges that the plans, specifications and other written material filed with **Development Permit Application** is incorporated by reference and made part of this Certificate for purposes.
4. Acknowledges self (itself) to be strictly bound to Commissioners' Court to construct the work permitted under the above described building permit in strict conformity with the plans, specifications and other written material incorporated by reference of this Certificated.
5. Hereby binds himself to establish the required construction elevation to a National Geodetic Survey Marker and have same certified by Texas Registered Surveyor (or agreeable alternate). **The original Finished Construction Elevation certificate with registered surveyor's stamp, signature, date and pictures shall be forwarded to the County Floodplain Administrator's office verifying top of bottom floor reading upon completion of the structure. It must indicate that it is the "Finished Construction" certificate showing (a) top of bottom floor reading and (e) lowest elevation of machinery or equipment in Section C of the certificate.**

If the Finished Construction Elevation Certificate is not received, your building permit will be put in violation in the Brazoria County Floodplain Administrator's office.

6. Is required to notify the County Floodplain Administrator when construction progresses to the point necessary for the foundation inspection (after certification) and later for the electrical/plumbing to verify the electrical and plumbing facility are above the base flood.
7. Shall not have a valid permit until this agreed upon and signed original document is on file and in possession of the County Floodplain Administrator.
8. If at any time an Engineering Study was required and the data submitted is found to be inaccurate, **Brazoria County or the County Floodplain Administrator** cannot be held liable. The responsibility shall fall back on the property owner and/or Engineering Firm submitting the information.
9. **Any structure that is used for commercial or a public facility must adhere to the International Fire Codes. Contact the Emergency Management Coordinator of Brazoria County for inspections required.**

  
\_\_\_\_\_  
Applicant/Permittee Signature



2023-690  
 Permit Number  
 \$250 Single Family  
 \$450 All Others  
 New  
 Replacement  
 Alteration  
 Type DE/Chlorinator  
**BCEHD USE ONLY**

**RECEIVED**  
 DEC 28 2023  
 ENVIRONMENTAL  
 HEALTH DEPT.

**ON-SITE SEWAGE FACILITY PERMIT APPLICATION**  
**BRAZORIA COUNTY ENVIRONMENTAL HEALTH DEPT**

111 East Locust Bldg A-29, Suite 270 ANGLETON, TX 77515  
 HOUSTON (281)756-1600 ANGLETON (979)864-1600 CLUTE (979)388-1600

This application will expire one year from the application date if inspection not complete. No refunds once permit is issued.

Attach Copy of Legal Description (i.e. Deed, Plat, Survey, Appraisal)

PROPERTY OWNER Smart Home Investment, LLC  
 (NAME ON DEED) (LAST) (FIRST) (INT)

PHONE NUMBERS 832-691-7878 EMAIL robertsmart@myyahoo.com

MAILING ADDRESS 3130 Grants Lake Blvd., Ste 16533, Sugar Land, Texas 77479-1255

SITE ADDRESS 5034 Bluewater Hwy, Freeport, Texas 77541 Acres 0.9362

WATER SOURCE  Private  Public Seahorse Estates (Name) Water Saving Devices: Yes  No

SINGLE FAMILY RESIDENCE: # of Bedrooms 6 Living Area(Sq Ft) < 5500 Daily Wastewater Usage Rate 420

COMMERCIAL/MULTI FAMILY: Type --- # of Employees/Units --- Days/Wk Occupied ---

DESIGNER Garry Gana, R.S. Reg# RS 3207 Phone# 281-235-4201

SITE EVALUATOR Garry Gana, R.S. Reg# OS10343 Phone# 281-235-4201

INSTALLER Joshua Rippe Reg# 32415 Phone# 979-215-0863

MAINTENANCE PROVIDER Joshua Rippe Reg# 2064 Phone# 979-215-0863

TREATMENT TANK(S):

Tank	# of Compartments	Size	Manufacturer	Model
#1	<u>4</u>	<u>600</u>	<u>NuWater</u>	<u>B-550</u>
#2				
#3				
#4				

DISPOSAL TYPE (check one):  
 Standard  Gravelless  Leaching Chamber  Low Pressure Dosing  Surface Irrigation  Drip Emitter  
 Disposal Area 1500 sq ft Disposal Length 750 in ft Trench Depth 10 - 12 in. Trench width ---

I certify that the above statements are true and correct to the best of my knowledge. Authorization is hereby given to the Authorized Agent to enter upon the above described property for the purpose of lot evaluation and inspection of the OSSF. I also acknowledge that inspection of the OSSF is required prior to all components being covered and use of the system.

Signature of Owner (Name on Deed) [Signature] Date 12/22/23

DEPARTMENT USE ONLY BELOW THIS LINE  
 APPLICATION:  APPROVAL  DISAPPROVAL DATE 12-29-2023 INSPECTOR [Signature] LIC# 40053966

Well Log or Plugging Reports Required?  Yes  No Recorded Plat Required?  Yes  No Flood Zone  Yes  No

Brazoria County Appraisal ID # 575547 ETJ N/A Flood Plain Info:  New Construction  Upgrade

Legal Description: SUB Seahorse Estates Ab A0029 Sec \_\_\_\_\_ Block \_\_\_\_\_ Lot 5 Precinct 1

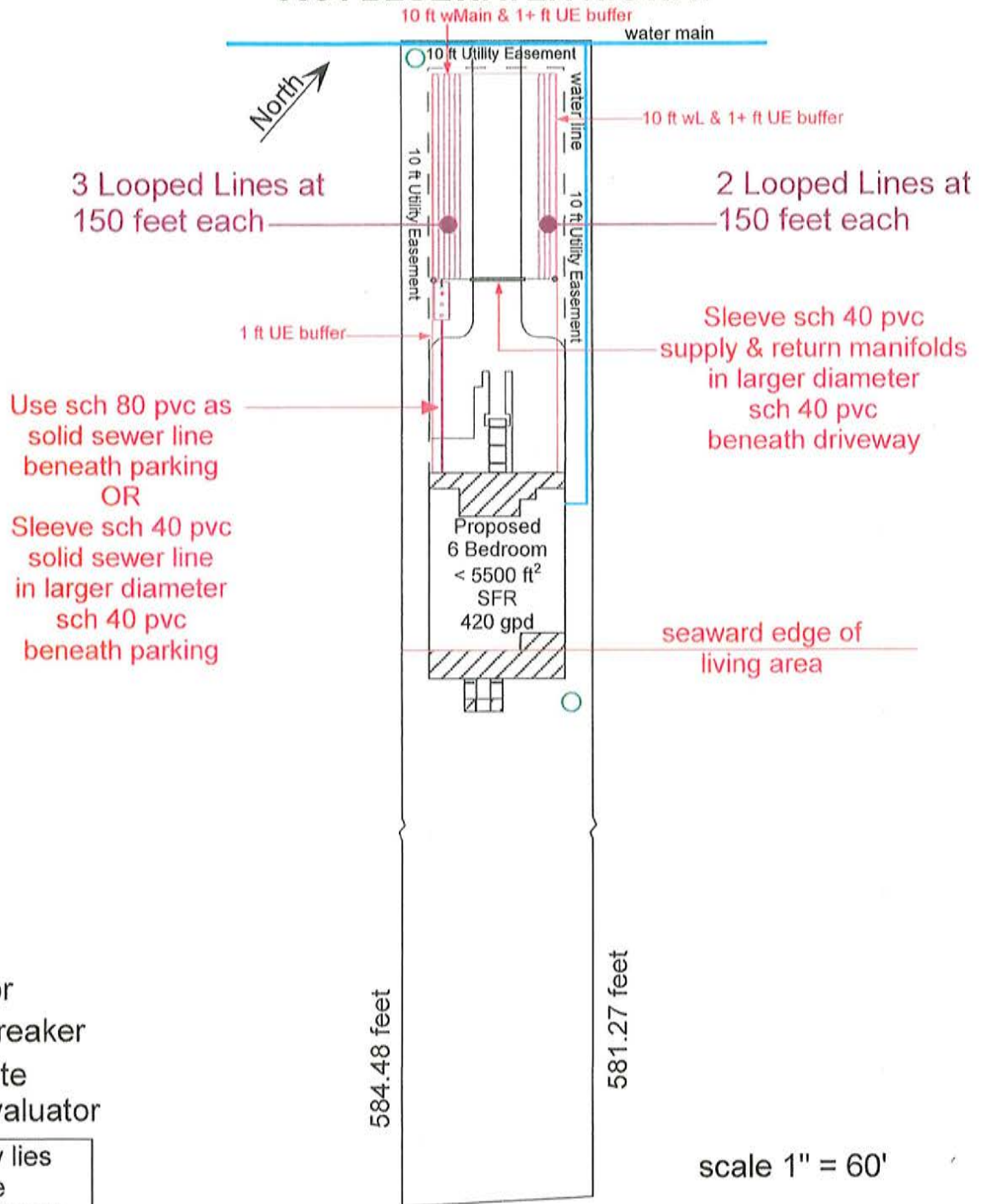
Authorization to Construct Provided to Installer: Joshua Rippe Date: 12-29-23  In person  Fax  Mail By: [Signature]

INSPECTION:  APPROVAL  DISAPPROVAL DATE \_\_\_\_\_ INSPECTOR \_\_\_\_\_ LIC# \_\_\_\_\_

Final Permit Copies Provided to Installer: \_\_\_\_\_ Date: \_\_\_\_\_  In person  Fax  Mail By: \_\_\_\_\_

Provided to Maintenance Prov: \_\_\_\_\_ Date: \_\_\_\_\_  In person  Fax  Mail By: \_\_\_\_\_

# 5034 BLUEWATER HIGHWAY



- = Chlorinator
- = vacuum breaker
- = soil test site by Site Evaluator

This property lies within the 100 year floodplain

This property exhibits less than 4% slope across its entire area

**Note:**  
The OSSF drainfield is to be completely sodded by the property owner prior to operation of the system



*YEAS*  
*12-20-23*

U.S. DEPARTMENT OF HOMELAND SECURITY  
Federal Emergency Management Agency  
National Flood Insurance Program

OMB Control No. 1660-0008  
Expiration Date: 06/30/2026

**ELEVATION CERTIFICATE**

**IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19**

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A – PROPERTY INFORMATION	FOR INSURANCE COMPANY USE
A1. Building Owner's Name: <u>Angelica Smart</u>	Policy Number: _____
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.: <u>5034 Blue Water Highway</u>	Company NAIC Number: _____
City: <u>Freeport</u> State: <u>TX</u> ZIP Code: <u>77541</u>	
A3. Property Description (e.g., Lot and Block Numbers or Legal Description) and/or Tax Parcel Number: <u>Lot 5, Seahorse Estates (06-048912 B.C.O.R.), S.F. Austin Peninsular League, Abstract 29</u>	
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.): <u>Residential</u>	
A5. Latitude/Longitude: Lat. <u>28°59'57.57"</u> Long. <u>95°13'35.53"</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983 <input type="checkbox"/> WGS 84	
A6. Attach at least two and when possible four clear photographs (one for each side) of the building (see Form pages 7 and 8).	
A7. Building Diagram Number: _____	
A8. For a building with a crawlspace or enclosure(s):	
a) Square footage of crawlspace or enclosure(s): _____ sq. ft.	
b) Is there at least one permanent flood opening on two different sides of each enclosed area? <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
c) Enter number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade: Non-engineered flood openings: _____ Engineered flood openings: _____	
d) Total net open area of non-engineered flood openings in A8.c: _____ sq. in.	
e) Total rated area of engineered flood openings in A8.c (attach documentation – see Instructions): _____ sq. ft.	
f) Sum of A8.d and A8.e rated area (if applicable – see Instructions): _____ sq. ft.	
A9. For a building with an attached garage:	
a) Square footage of attached garage: _____ sq. ft.	
b) Is there at least one permanent flood opening on two different sides of the attached garage? <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
c) Enter number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade: Non-engineered flood openings: _____ Engineered flood openings: _____	
d) Total net open area of non-engineered flood openings in A9.c: _____ sq. in.	
e) Total rated area of engineered flood openings in A9.c (attach documentation – see Instructions): _____ sq. ft.	
f) Sum of A9.d and A9.e rated area (if applicable – see Instructions): _____ sq. ft.	
SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION	
B1.a. NFIP Community Name: <u>Brazoria County Unincorporated</u> B1.b. NFIP Community Identification Number: <u>485458</u>	
B2. County Name: <u>Brazoria</u> B3. State: <u>TX</u> B4. Map/Panel No.: <u>48039C0675</u> B5. Suffix: <u>K</u>	
B6. FIRM Index Date: <u>05/04/1992</u> B7. FIRM Panel Effective/Revised Date: <u>12/30/2020</u>	
B8. Flood Zone(s): <u>AE</u> B9. Base Flood Elevation(s) (BFE) (Zone AO, use Base Flood Depth): <u>14'</u>	
B10. Indicate the source of the BFE data or Base Flood Depth entered in Item B9: <input type="checkbox"/> FIS <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other: _____	
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____	
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Designation Date: <u>10/01/1983</u> <input checked="" type="checkbox"/> CBRS <input type="checkbox"/> OPA	
B13. Is the building located seaward of the Limit of Moderate Wave Action (LiMWA)? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	



# ELEVATION CERTIFICATE

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Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.: <u>5034 Blue Water Highway</u>	<b>FOR INSURANCE COMPANY USE</b> Policy Number: _____ Company NAIC Number: _____
City: <u>Freeport</u> State: <u>TX</u> ZIP Code: <u>77541</u>	

## SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on:  Construction Drawings\*  Building Under Construction\*  Finished Construction  
\*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, AO, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO, A99. Complete Items C2.a–h below according to the Building Diagram specified in Item A7. In Puerto Rico only, enter meters.  
Benchmark Utilized: RTCM-REF 2521 Vertical Datum: NAVD 88

Indicate elevation datum used for the elevations in items a) through h) below.  
 NGVD 1929  NAVD 1988  Other: \_\_\_\_\_

Datum used for building elevations must be the same as that used for the BFE. Conversion factor used?  Yes  No  
If Yes, describe the source of the conversion factor in the Section D Comments area.

- Check the measurement used:
- a) Top of bottom floor (including basement, crawlspace, or enclosure floor): \_\_\_\_\_  feet  meters
  - b) Top of the next higher floor (see Instructions): \_\_\_\_\_  feet  meters
  - c) Bottom of the lowest horizontal structural member (see Instructions): \_\_\_\_\_  feet  meters
  - d) Attached garage (top of slab): \_\_\_\_\_  feet  meters
  - e) Lowest elevation of Machinery and Equipment (M&E) servicing the building (describe type of M&E and location in Section D Comments area): \_\_\_\_\_  feet  meters
  - f) Lowest Adjacent Grade (LAG) next to building:  Natural  Finished 5.40  feet  meters
  - g) Highest Adjacent Grade (HAG) next to building:  Natural  Finished 5.50  feet  meters
  - h) Finished LAG at lowest elevation of attached deck or stairs, including structural support: \_\_\_\_\_  feet  meters

## SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by state law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor?  Yes  No

Check here if attachments and describe in the Comments area.

Certifier's Name: Terry Singletary License Number: 4808  
Title: Registered Professional Land Surveyor  
Company Name: Doyle & Wachtstetter Inc.  
Address: 131 Commerce St.  
City: Clute State: TX ZIP Code: 77531  
Signature: Terry Singletary Date: 10/13/2023  
Telephone: (979) 265-3622 Ext.: 1042 Email: t.singletary@dw-surveyor.com



Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including source of conversion factor in C2; type of equipment and location per C2.e; and description of any attachments):  
TBM= Set PK nail in Bluewater Highway.  
TBM = 5.92 Feet.



# ELEVATION CERTIFICATE

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City: <u>Freeport</u> State: <u>TX</u> ZIP Code: <u>77541</u>	Policy Number: _____ Company NAIC Number: _____

## SECTION E – BUILDING MEASUREMENT INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO, ZONE AR/AO, AND ZONE A (WITHOUT BFE)

For Zones AO, AR/AO, and A (without BFE), complete Items E1–E5. For Items E1–E4, use natural grade, if available. If the Certificate is intended to support a Letter of Map Change request, complete Sections A, B, and C. Check the measurement used. In Puerto Rico only, enter meters.

Building measurements are based on:  Construction Drawings\*  Building Under Construction\*  Finished Construction  
\*A new Elevation Certificate will be required when construction of the building is complete.

E1. Provide measurements (C.2.a in applicable Building Diagram) for the following and check the appropriate boxes to show whether the measurement is above or below the natural HAG and the LAG.

a) Top of bottom floor (including basement, crawlspace, or enclosure) is: \_\_\_\_\_  feet  meters  above or  below the HAG.

b) Top of bottom floor (including basement, crawlspace, or enclosure) is: \_\_\_\_\_  feet  meters  above or  below the LAG.

E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (C2.b in applicable Building Diagram) of the building is: \_\_\_\_\_  feet  meters  above or  below the HAG.

E3. Attached garage (top of slab) is: \_\_\_\_\_  feet  meters  above or  below the HAG.

E4. Top of platform of machinery and/or equipment servicing the building is: \_\_\_\_\_  feet  meters  above or  below the HAG.

E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance?  Yes  No  Unknown The local official must certify this information in Section G.

## SECTION F – PROPERTY OWNER (OR OWNER'S AUTHORIZED REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without BFE) or Zone AO must sign here. *The statements in Sections A, B, and E are correct to the best of my knowledge*

Check here if attachments and describe in the Comments area.

Property Owner or Owner's Authorized Representative Name: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ ZIP Code: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Telephone: \_\_\_\_\_ Ext.: \_\_\_\_\_ Email: \_\_\_\_\_

Comments:

# ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.: 5034 Blue Water Highway	<b>FOR INSURANCE COMPANY USE</b>
City: <u>Freeport</u> State: <u>TX</u> ZIP Code: <u>77541</u>	Policy Number: _____ Company NAIC Number: _____

## SECTION G – COMMUNITY INFORMATION (RECOMMENDED FOR COMMUNITY OFFICIAL COMPLETION)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Section A, B, C, E, G, or H of this Elevation Certificate. Complete the applicable item(s) and sign below when:

- G1.  The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by state law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2.a.  A local official completed Section E for a building located in Zone A (without a BFE), Zone AO, or Zone AR/AO, or when item E5 is completed for a building located in Zone AO.
- G2.b.  A local official completed Section H for insurance purposes.
- G3.  In the Comments area of Section G, the local official describes specific corrections to the information in Sections A, B, E and H.
- G4.  The following information (Items G5–G11) is provided for community floodplain management purposes.
- G5. Permit Number: \_\_\_\_\_ G6. Date Permit Issued: \_\_\_\_\_
- G7. Date Certificate of Compliance/Occupancy Issued: \_\_\_\_\_
- G8. This permit has been issued for:  New Construction  Substantial Improvement
- G9.a. Elevation of as-built lowest floor (including basement) of the building: \_\_\_\_\_  feet  meters Datum: \_\_\_\_\_
- G9.b. Elevation of bottom of as-built lowest horizontal structural member: \_\_\_\_\_  feet  meters Datum: \_\_\_\_\_
- G10.a. BFE (or depth in Zone AO) of flooding at the building site: \_\_\_\_\_  feet  meters Datum: \_\_\_\_\_
- G10.b. Community's minimum elevation (or depth in Zone AO) requirement for the lowest floor or lowest horizontal structural member: \_\_\_\_\_  feet  meters Datum: \_\_\_\_\_
- G11. Variance issued?  Yes  No If yes, attach documentation and describe in the Comments area.

The local official who provides information in Section G must sign here. *I have completed the information in Section G and certify that it is correct to the best of my knowledge. If applicable, I have also provided specific corrections in the Comments area of this section.*

Local Official's Name: \_\_\_\_\_ Title: \_\_\_\_\_

NFIP Community Name: \_\_\_\_\_

Telephone: \_\_\_\_\_ Ext.: \_\_\_\_\_ Email: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ ZIP Code: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Comments (including type of equipment and location, per C2.e; description of any attachments; and corrections to specific information in Sections A, B, D, E, or H):

# ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.: 5034 Blue Water Highway	<b>FOR INSURANCE COMPANY USE</b>
City: Freeport State: TX ZIP Code: 77541	Policy Number: _____ Company NAIC Number: _____

## SECTION H – BUILDING'S FIRST FLOOR HEIGHT INFORMATION FOR ALL ZONES (SURVEY NOT REQUIRED) (FOR INSURANCE PURPOSES ONLY)

The property owner, owner's authorized representative, or local floodplain management official may complete Section H for all flood zones to determine the building's first floor height for insurance purposes. Sections A, B, and I must also be completed. Enter heights to the nearest tenth of a foot (nearest tenth of a meter in Puerto Rico). **Reference the Foundation Type Diagrams (at the end of Section H Instructions) and the appropriate Building Diagrams (at the end of Section I Instructions) to complete this section.**

H1. Provide the height of the top of the floor (as indicated in Foundation Type Diagrams) above the Lowest Adjacent Grade (LAG):

a) For Building Diagrams 1A, 1B, 3, and 5–9. Top of bottom \_\_\_\_\_  feet  meters  above the LAG floor (include above-grade floors only for buildings with subgrade crawlspaces or enclosure floors) is:

b) For Building Diagrams 2A, 2B, 4, and 6–9. Top of next higher floor (i.e., the floor above basement, crawlspace, or enclosure floor) is: \_\_\_\_\_  feet  meters  above the LAG

H2. Is all Machinery and Equipment servicing the building (as listed in Item H2 instructions) elevated to or above the floor indicated by the H2 arrow (shown in the Foundation Type Diagrams at end of Section H instructions) for the appropriate Building Diagram?

Yes  No

## SECTION I – PROPERTY OWNER (OR OWNER'S AUTHORIZED REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and H must sign here. *The statements in Sections A, B, and H are correct to the best of my knowledge.* **Note:** If the local floodplain management official completed Section H, they should indicate in Item G2.b and sign Section G.

Check here if attachments are provided (including required photos) and describe each attachment in the Comments area.

Property Owner or Owner's Authorized Representative Name: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ ZIP Code: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Telephone: \_\_\_\_\_ Ext.: \_\_\_\_\_ Email: \_\_\_\_\_

Comments: \_\_\_\_\_



**ELEVATION CERTIFICATE**  
**IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19**  
**BUILDING PHOTOGRAPHS**

See Instructions for Item A6.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.:

5034 Blue Water Highway

City: Freeport

State: TX

ZIP Code: 77541

**FOR INSURANCE COMPANY USE**

Policy Number: \_\_\_\_\_

Company NAIC Number: \_\_\_\_\_

Instructions: Insert below at least two and when possible four photographs showing each side of the building (for example, may only be able to take front and back pictures of townhouses/rowhouses). Identify all photographs with the date taken and "Front View," "Rear View," "Right Side View," or "Left Side View." Photographs must show the foundation. When flood openings are present, include at least one close-up photograph of representative flood openings or vents, as indicated in Sections A8 and A9.

Photo One

Photo One Caption:

Photo Two

Photo Two Caption:

**ELEVATION CERTIFICATE**  
**IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19**  
**BUILDING PHOTOGRAPHS**

Continuation Page

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.:

5034 Blue Water Highway

City: Freeport

State: TX

ZIP Code: 77541

**FOR INSURANCE COMPANY USE**

Policy Number: \_\_\_\_\_

Company NAIC Number: \_\_\_\_\_

Insert the third and fourth photographs below. Identify all photographs with the date taken and "Front View," "Rear View," "Right Side View," or "Left Side View." When flood openings are present, include at least one close-up photograph of representative flood openings or vents, as indicated in Sections A8 and A9.

Photo Three

Photo Three Caption:

Clear Photo Three

Photo Four

Photo Four Caption:

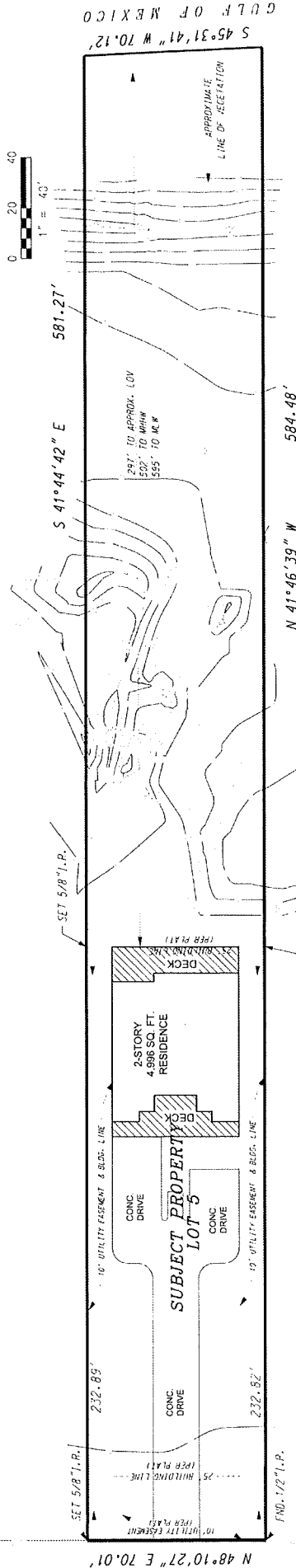
Clear Photo Four

BRAZORIA COUNTY  
TEXAS

S.F. AUSTIN PENINSULAR LEAGUE  
ABSTRACT 29

BLUWATER HIGHWAY (120' R.O.W.)  
COUNTY ROAD 257 863/962 B.C.D.R.

LOT 6



LOT 4

TIDE SHOTS

OF  
**LOT 5**

OF  
**SEAHORSE ESTATES**

RECORDED IN  
COUNTY CLERK'S FILE NO. 2006-048912

OF THE  
IN THE  
BRAZORIA COUNTY OFFICIAL RECORDS

S.F. AUSTIN PENINSULAR LEAGUE  
ABSTRACT 29

BRAZORIA COUNTY, TEXAS

FOR  
**SMART HOME INVESTMENT LLC**

5034 BLUEWATER HIGHWAY

**D&W**  
**Doyle & Wachtstetter, Inc.**  
131 COMMERCE STREET, SUITE 1753  
HOUSTON, TEXAS 77002  
OFFICE: 979.246.3622 FAX: 979.246.9940  
FIRM NO: 10024500

NOTES:

- ALL COORDINATES AND BEARINGS ARE RELATIVE TO THE TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH-CENTRAL ZONE (NAD 83).
- ALL DISTANCES ARE HORIZONTAL SURFACE LEVEL LENGTHS. (SF = 0.99989411121)
- THIS PROPERTY IS LOCATED WITHIN THE LIMITS OF ZONE "VE" PER FEMA FLOOD INSURANCE RATE MAP NUMBER 480360615K, DATED 12-30-2020.
- A TITLE COMMITMENT PROVIDED FOR THIS BY STEWART TITLE INSURANCE COMPANY, FILE NO. 2153550, WITH AN EFFECTIVE DATE OF SEPTEMBER 27, 2023, ISSUED OCTOBER 5, 2023, FOR ALL ITEMS OF RECORD.
- SUBJECT TO RESTRICTIVE COVENANTS AS LISTED IN SCHEDULE B NO. 1.
- EASEMENTS LISTED IN SCHEDULE B, NO. 10 ITEM (G), TO H-L & P, DOES NOT APPLY.
- EASEMENT LISTED IN SCHEDULE B NO. 10, ITEM (D) DOES NOT APPLY.
- EASEMENT LISTED IN SCHEDULE B NO. 10, ITEM (E) DOES NOT APPLY.
- SUBJECT TO 5' UTILITY EASEMENT ALONG EACH INTERIOR SIDE LOT BOUNDARY, 25' BUILDING SETBACK AND FRONTING COUNTY ROAD 257, LISTED IN C.P. NO. 1995070024, B.C.D.R.
- THERE IS A 200' SETBACK LINE FROM THE CURRENT VEGETATION LINE.

TERRY SINGLETARY, REGISTERED PROFESSIONAL LAND SURVEYOR  
DO HEREBY CERTIFY THAT THE ABOVE PLAT IS A TRUE REPRESENTATION OF A  
SURVEY MADE UNDER MY SUPERVISION, ON THE GROUND, AND THAT THERE ARE  
NO EXCESSES NOR INTRUSIONS ON THIS PROPERTY, EXCEPT AS SHOWN.  
DATE SURVEYED: OCTOBER 06, 2023

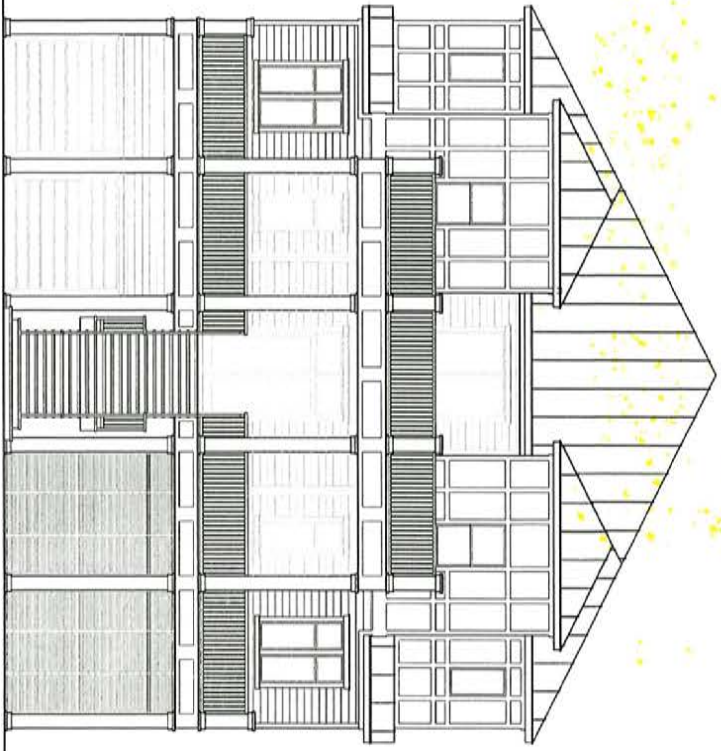


*Terry Singletary*  
TERRY SINGLETARY  
REGISTERED PROFESSIONAL LAND SURVEYOR  
TEXAS REGISTRATION NUMBER 4809

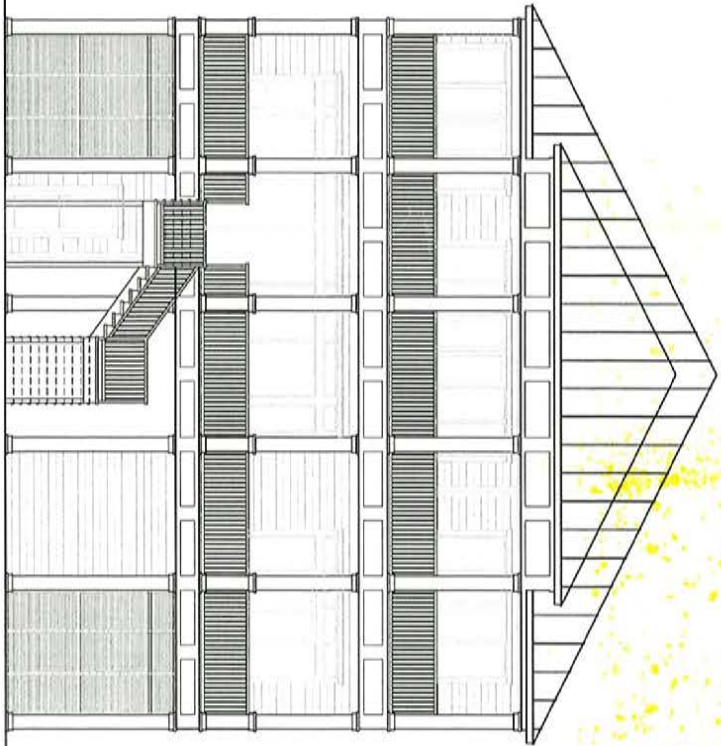
LEGEND

- SET 5/8" I.P.R.
- FOUND IRON PIPE/ROD
- OVERHEAD WIRE
- BUILDING LINE
- EASEMENT
- MAJOR CONTOUR
- MINOR CONTOUR





FRONT VIEW @HWY. SIDE



BACK VIEW @BEACH SIDE

5034 BLUEWATER HIGHWAY,  
FREEPORT, TX 77542

COVER

A CUSTOM RESIDENCE AT:  
5034 BLUEWATER HIGHWAY,  
FREEPORT, TX 77542

**A**  
**n**  
**Antong**  
**Design**  
3671A Twiggdale House Ln.  
Richmond, TX 77406  
Contact: Tong Jiang  
Tel: (832) 717-6692  
jiangtong@gmail.com

DEC. 8, 2023  
JAN. 3, 2024  
(plan received)

GULF OF MEXICO

S45°31'41"W 70.12'

APPROXIMATE LINE OF VEGETATION

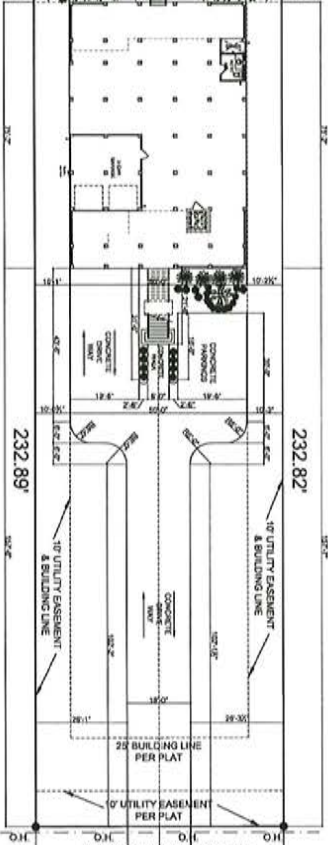
297' TO APPROX. LOV  
502' TO MHHW  
555' TO MLW

N41°46'39"W 584.48'  
S41°44'42"E 581.27'

LOT 5

LOT 6

LOT 4



BLUEWATER HIGHWAY  
120' R.O.W.

N48°10'27"E 70.01'

232.82'  
232.89'

**LEGAL DESCRIPTION:**  
LOT 5, OF SEAPURSE ESTATES RECORDED IN COUNTY CLERK'S FILE NO. 2006-048912 OF THE BRAZORIA COUNTY OFFICIAL RECORDS IN THE S.E. QUARTER PENNSULAR LEASE ABSTRACT 29, BRAZORIA COUNTY, TEXAS

**SITE PLAN**  
1/16"=1'-0"



<p><b>Antong Design</b> 34714 Trishield Hollow Ln. Richardson, TX 75086 Contact: Tony Jiang Tel: (972) 717-6692 jiangtong@antong.com</p>	<p><b>A CUSTOM RESIDENCE AT:</b> 5034 BLUEWATER HIGHWAY, FREEPORT, TX 77542</p>	<p>DEC. 8, 2023 JAN. 3, 2024 (Plan revision)</p>	<p>A-001</p>
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**STAIR SPECIFICATIONS:**

- 1) 23 RISERS @ 8" RISE/11" TREAD (BASED TO 1ST FLOOR)
- 2) RISERS @ 8" RISE/11" TREAD (1ST FLOOR TO 2ND FLOOR)
- 3) RISERS @ 8" RISE/11" TREAD (2ND FLOOR TO 3RD FLOOR)
- 4) RISERS @ 8" RISE/11" TREAD (3RD FLOOR TO 4TH FLOOR)
- 5) RISERS @ 8" RISE/11" TREAD (4TH FLOOR TO 5TH FLOOR)
- 6) RISERS @ 8" RISE/11" TREAD (5TH FLOOR TO 6TH FLOOR)
- 7) 21/2" RISE/10" TREAD (BASED UNDER STAIRS)

BASED ON SECTION 05111 (SEE DRAWING 200-105-1100)

**GENERAL NOTES:**

CONSTRUCTION OF INTERIOR (FINISH) AND EXTERIOR WALL (FINISH) COMPLETED AS PER (S.I.C. DIV. 7)

ALL INTERIOR WALLS SHALL BE FINISHED WITH 5/8" GYPSUM BOARD OVER 1/2" SHEETROCK. ALL EXTERIOR WALLS SHALL BE FINISHED WITH 5/8" GYPSUM BOARD OVER 1/2" SHEETROCK. ALL INTERIOR WALLS SHALL BE FINISHED WITH 5/8" GYPSUM BOARD OVER 1/2" SHEETROCK. ALL EXTERIOR WALLS SHALL BE FINISHED WITH 5/8" GYPSUM BOARD OVER 1/2" SHEETROCK.

ALL INTERIOR WALLS SHALL BE FINISHED WITH 5/8" GYPSUM BOARD OVER 1/2" SHEETROCK. ALL EXTERIOR WALLS SHALL BE FINISHED WITH 5/8" GYPSUM BOARD OVER 1/2" SHEETROCK.

**BATHROOM WATER CLOSET COMPARTMENTS AND OTHER SMALL ROOMS SHALL BE FINISHED WITH 5/8" GYPSUM BOARD OVER 1/2" SHEETROCK. ALL OTHER ROOMS SHALL BE FINISHED WITH 5/8" GYPSUM BOARD OVER 1/2" SHEETROCK.**

ALL INTERIOR WALLS SHALL BE FINISHED WITH 5/8" GYPSUM BOARD OVER 1/2" SHEETROCK. ALL EXTERIOR WALLS SHALL BE FINISHED WITH 5/8" GYPSUM BOARD OVER 1/2" SHEETROCK.

**ALL EXTERIOR OR INTERIOR WINDOWS FROM ALL ROOMS SHALL BE FINISHED WITH 5/8" GYPSUM BOARD OVER 1/2" SHEETROCK. ALL OTHER ROOMS SHALL BE FINISHED WITH 5/8" GYPSUM BOARD OVER 1/2" SHEETROCK.**

ALL INTERIOR WALLS SHALL BE FINISHED WITH 5/8" GYPSUM BOARD OVER 1/2" SHEETROCK. ALL EXTERIOR WALLS SHALL BE FINISHED WITH 5/8" GYPSUM BOARD OVER 1/2" SHEETROCK.

**BREAKAWAY WALL**

WALLS ATTACHED TO STRUCTURAL OR VERTICAL FINISH BREAKAWAY WALLS AND ARE NOT BE FINISHED OR STRUCTURALLY ATTACHED TO THE FINISH.

**WALL LEGEND**

2x4 WALL

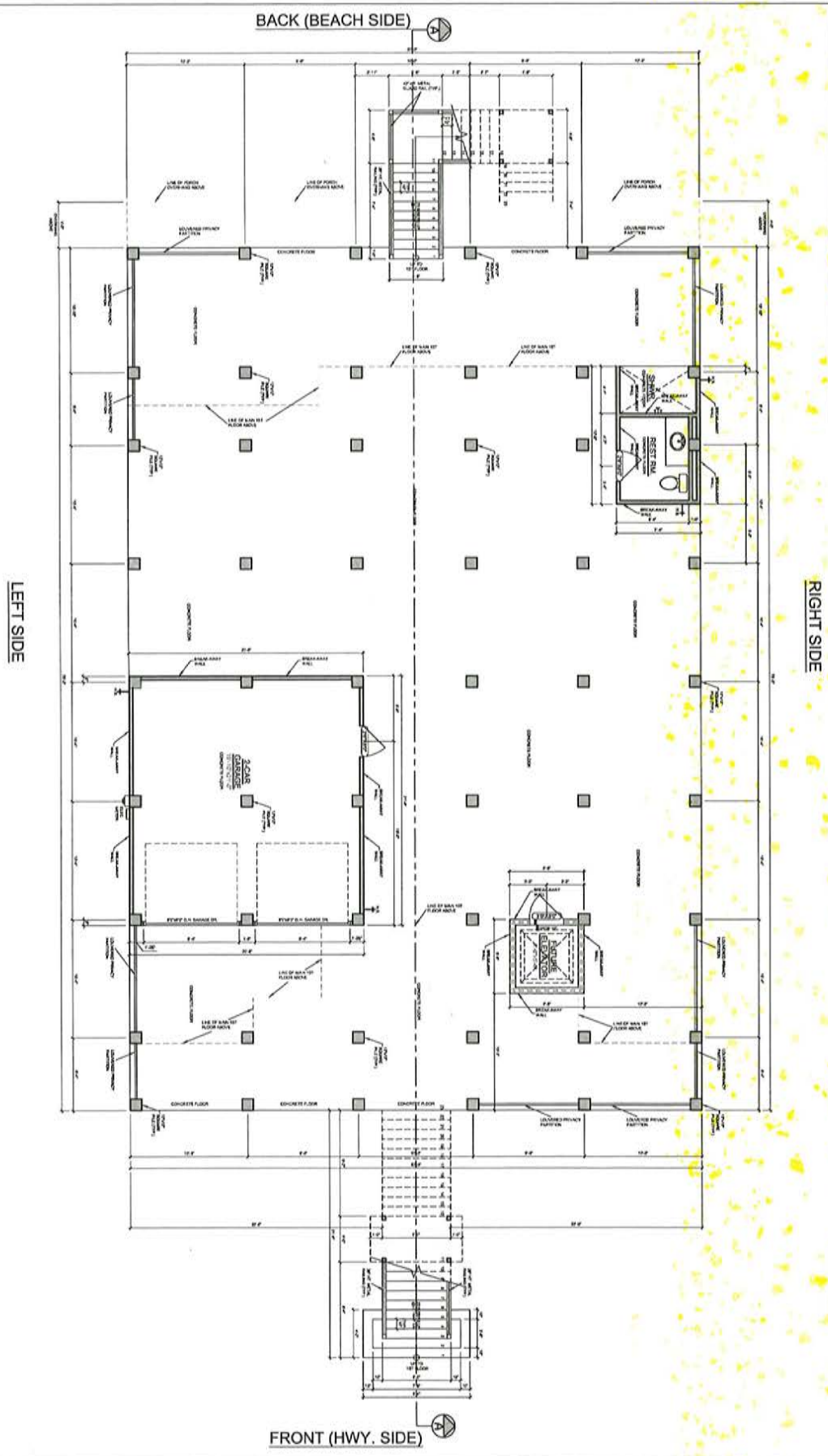
2x6 OR DOUBLE 2x4 WHEN CLASH ON WALL

HEIGHT IS OVER 10'

**GROUND FLOOR PLAN**

1/4" = 1'-0"

A.100



A CUSTOM RESIDENCE AT:  
 5034 BLUEWATER HIGHWAY,  
 FREEPORT, TX 77542

**Antong Design**

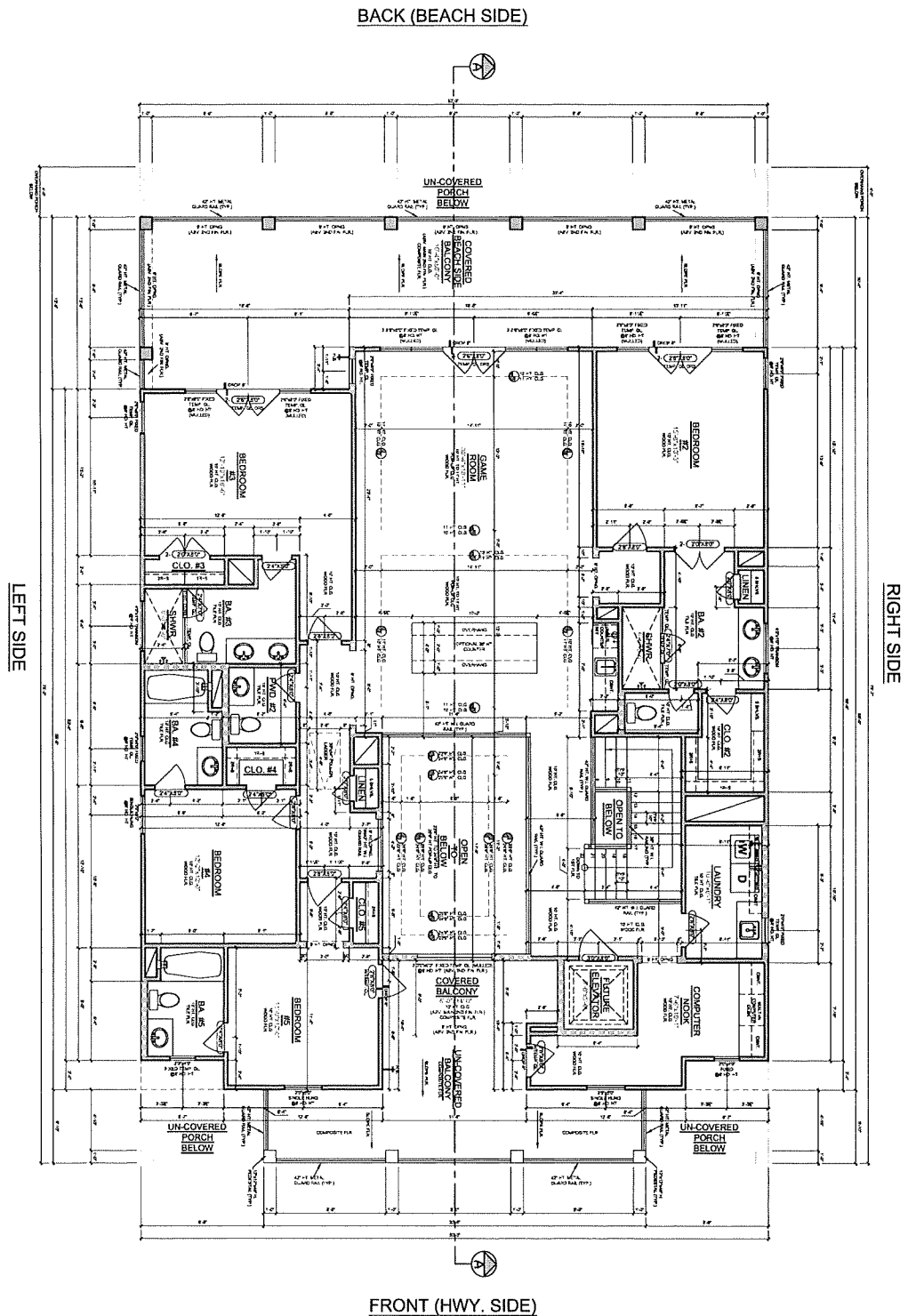
24718 Twinkle Hollow Ln.  
 Richardson, TX 75086

Contact: Tony Jiang  
 Tel: (972) 499-8823  
 Email: [tony@antongdesign.com](mailto:tony@antongdesign.com)  
<http://www.antongdesign.com>

DEC. 8, 2023  
 JAN. 3, 2024  
 (FROM REVISION)







- STAIR SPECIFICATIONS:**
- 1) 23 RISERS @ 7 1/4" RISE - EACH (GRADING TO 1ST FLOOR)
  - 2) RISERS @ 7 1/4" RISE - EACH (1ST FLOOR TO 2ND FLOOR)
  - 3) RISERS @ 7 1/4" RISE - EACH (2ND FLOOR TO 3RD FLOOR)
  - 4) RISERS @ 7 1/4" RISE - EACH (3RD FLOOR TO 4TH FLOOR)
  - 5) RISERS @ 7 1/4" RISE - EACH (4TH FLOOR TO 5TH FLOOR)
  - 6) RISERS @ 7 1/4" RISE - EACH (5TH FLOOR TO 6TH FLOOR)
  - 7) 7" RISE - CONC. GRAB BAR UNDER STAIRS
  - 8) CONC. WITH SECTION 031201.13
  - 9) MIN. 3" DIA. - 300 LBS LOAD

**GENERAL NOTES:**

CONSTRUCTION OF INTERIOR (GYP) AND CEILING WALL (GYN) COVERINGS AS PER (I.C.C. INT. 7)

BATHING AND SHOWER ENCLOSURE AND WALLS ABOVE BATHING WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH AN NON-SLIP SURFACE. SUCH WALL SURFACES SHALL EXPOSE FLOOR (I.C.C. INT. 22)

SHOCK DETECTORS SHALL BE INSTALLED BACK UP AS PER THE NEC 820.71.

BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SHALOW ROOMS SHALL BE PROVIDED WITH APPROXIMATE CLADDING WHEN IN CONTACT WITH WATER. CLADDING SHALL BE FINISHED WITH A NON-SLIP SURFACE. SUCH WALL SURFACES SHALL EXPOSE FLOOR (I.C.C. INT. 22)

SHOCK DETECTORS SHALL BE INSTALLED BACK UP AS PER THE NEC 820.71.

ALL CEILING OR RECESS HANGING FROM CEILING ROOMS HAVE A MINIMUM NET CLEAR OPENING OF 2 1/2 SQUARE FEET. THE MINIMUM NET CLEAR OPENING SHALL BE PROVIDED IN THE CENTER OF THE ROOM. THE MINIMUM NET CLEAR OPENING SHALL BE NOT LESS THAN 20 INCHES (I.C.C. INT. 1). ALL CEILING OR RECESS HANGING SHALL BE NOT MORE THAN 44 INCHES ABOVE THE FLOOR (I.C.C. INT. 10).

**BREAKAWAY WALL**

WALLS ATTACHED TO STRUCTURAL OR VERTICAL FINISHES BELOW THE FINISH FLOOR SHALL BE OF A BREAKAWAY TYPE. SUCH WALLS SHALL BE STRUCTURALLY ATTACHED TO THE FINISHES.

**WALL LEGEND**

2x4 WALL

2x6 WALL

USE 2x6 OR DOUBLE 2x4 WHEN SETTING ON WALL

HIGHT IS OVER TO

**2ND FLOOR PLAN**

1/4" = 1'-0"

A.102

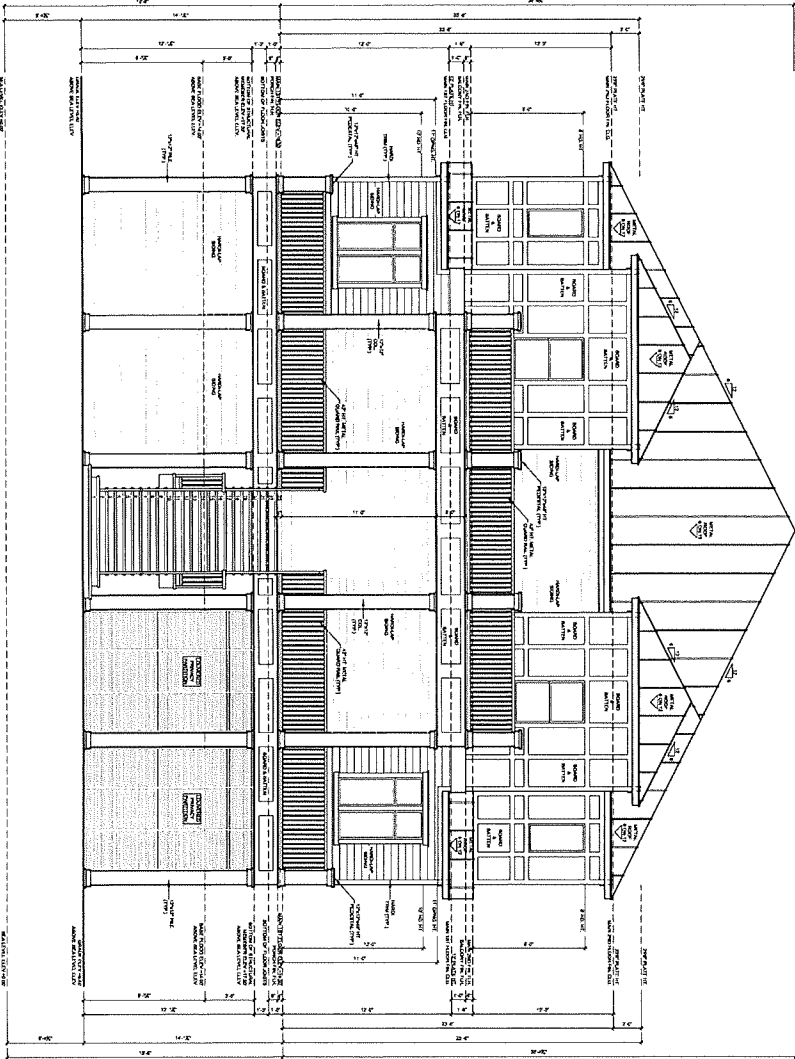
A CUSTOM RESIDENCE AT:  
5034 BLUEWATER HIGHWAY,  
FREEPORT, TX 77542

DEC. 8, 2023  
JAN. 3, 2024  
(Floor Revisions)

**AnTong Design**

24715 Twilight Hollow Ln  
Richardson, TX 77466

Contact: Tsang Jiang  
Tel: (832) 271-2692  
tsangjiang@gmail.com



FRONT (HWY. SIDE) ELEVATION  
1/4"=1'-0"



AnTong  
Design

24718 Twilight Hollow Ln.  
Richmond, TX 77406

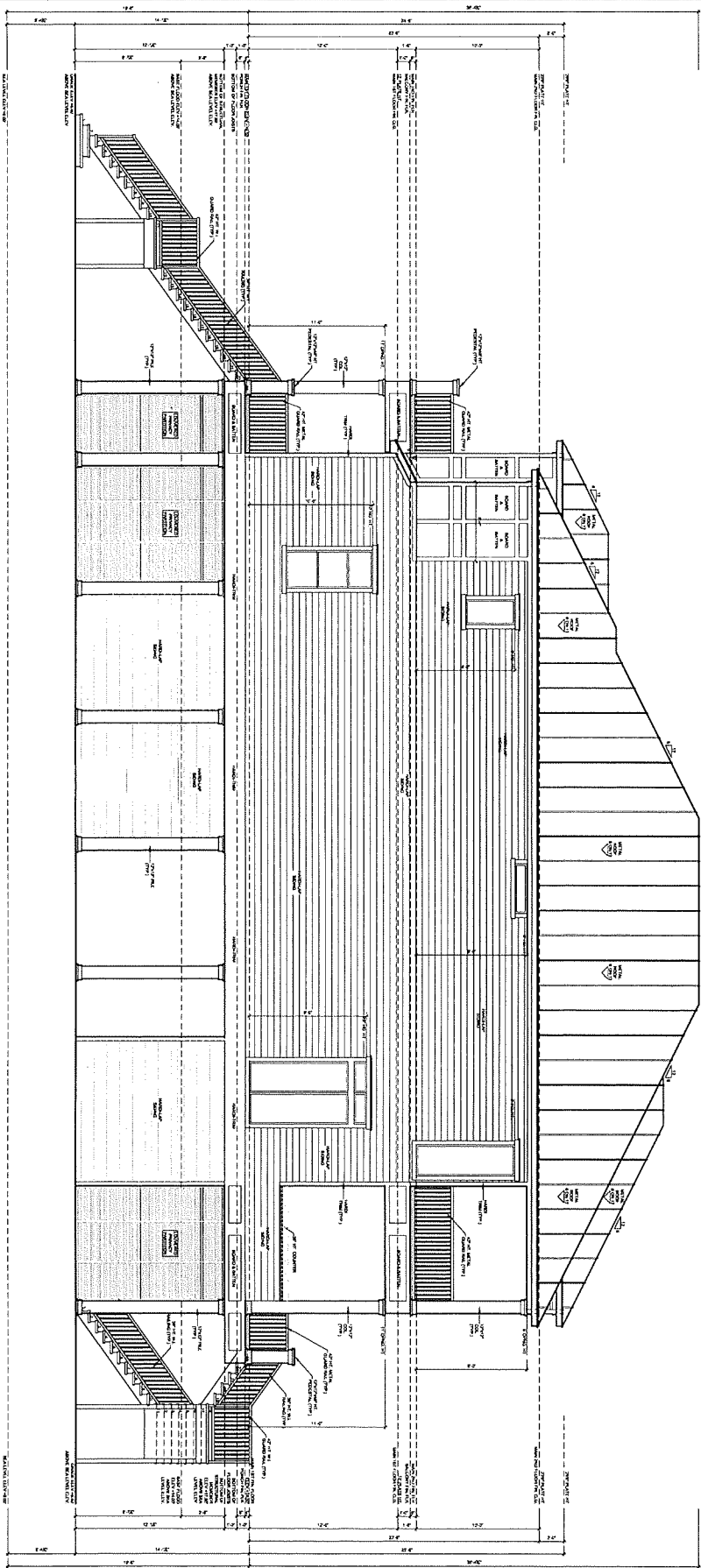
Contact: Tong Jiang  
Tel: (832) 746992  
tongjiang@gnail.com

A CUSTOM RESIDENCE AT:  
5034 BLUEWATER HIGHWAY,  
FREEPORT, TX 77542

DEC. 8, 2023

JAN. 3, 2024  
(Floor Revision)

A.201



**RIGHT ELEVATION**  
1/4"=1'-0"

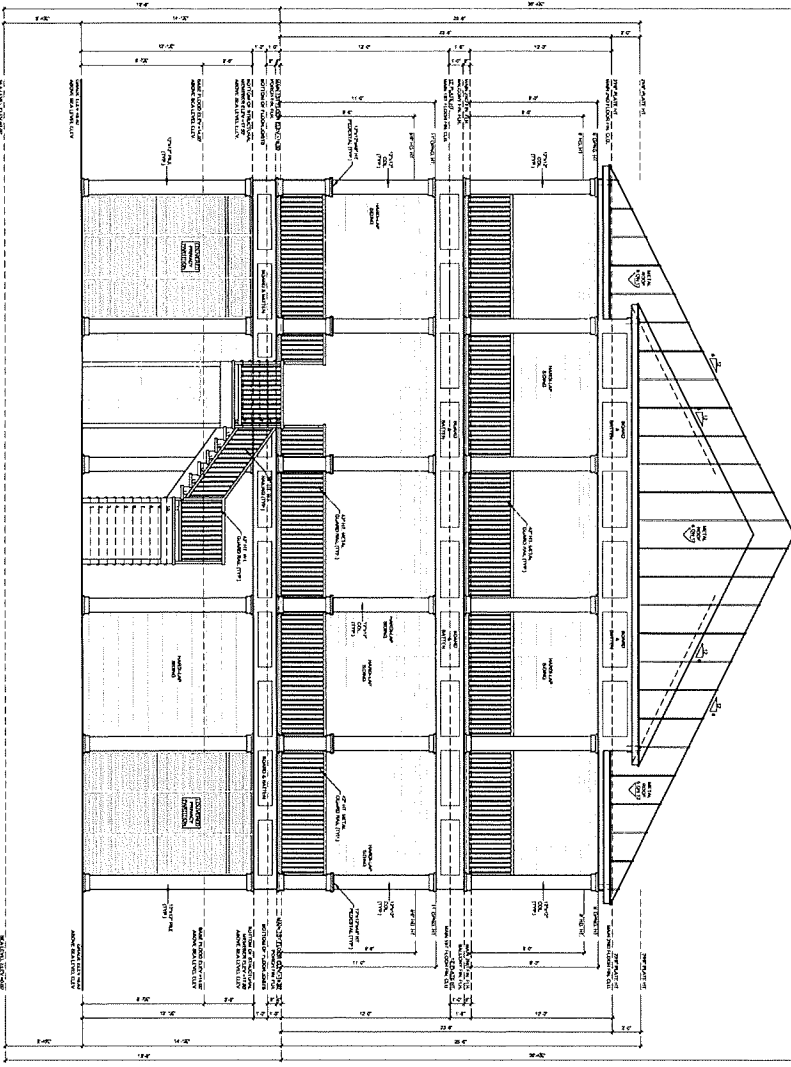


**AnTong  
Design**

24718 Twilight Hollow Ln.  
Richmond, TX 77406  
Contact: Tong Hang  
Tel: (832) 726692  
hanghang@gmail.com

**A CUSTOM RESIDENCE AT:  
5034 BLUEWATER HIGHWAY,  
FREEPORT, TX 77542**

DEC. 8, 2023  
JAN. 3, 2024  
(1st floor revision)



**BACK (BEACH SIDE) ELEVATION**  
 1/4"=1'-0"



**Antong  
 Design**

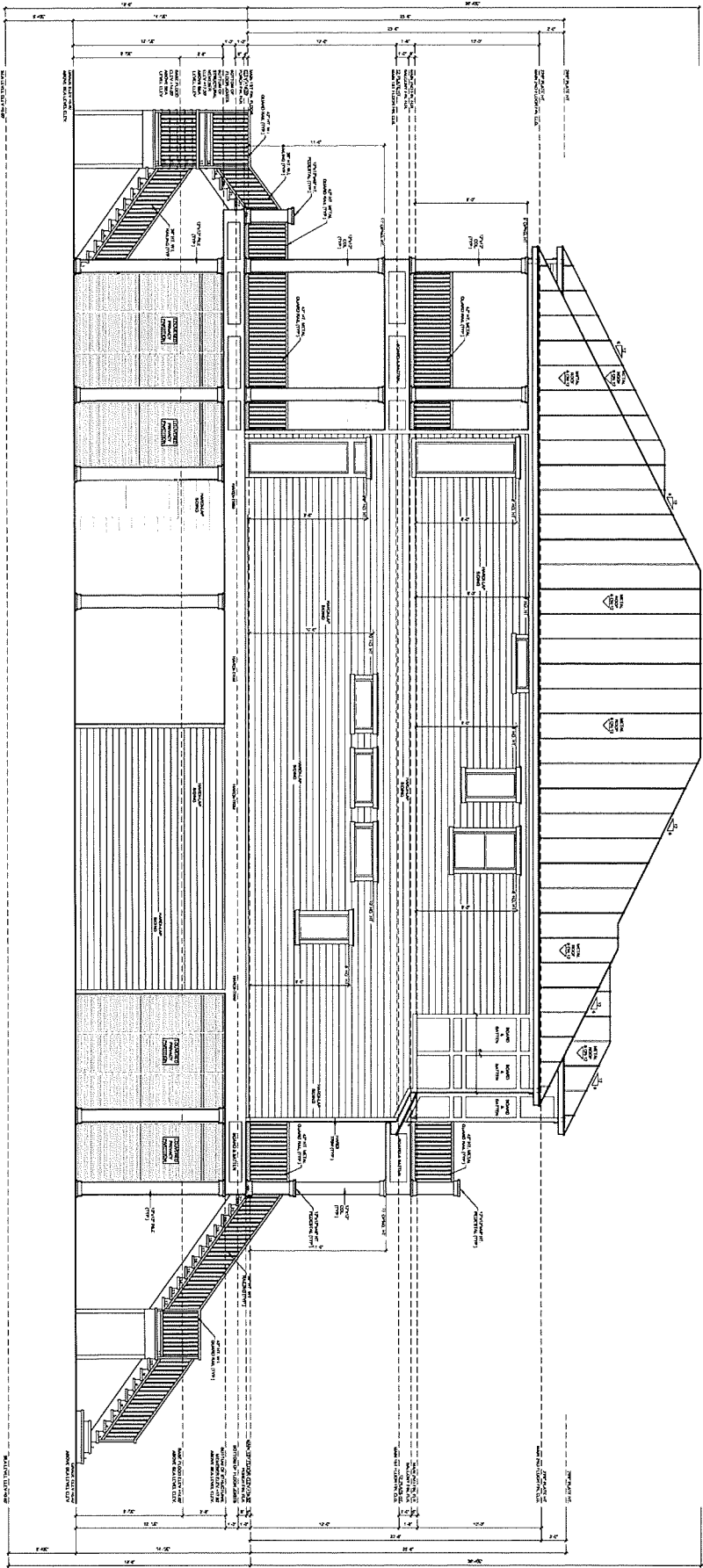
24714 Twilight Hollow Ln  
 Richmond, TX 77406

Contact: Tong Jiang  
 Tel: (832) 746992  
 tongjiang@gmail.com

**A CUSTOM RESIDENCE AT:  
 5034 BLUEWATER HIGHWAY,  
 FREEPORT, TX 77542**

DEC. 8, 2023  
 JAN. 3, 2024  
 (LOOR REVISION)





LEFT ELEVATION  
1/4"=1'-0"



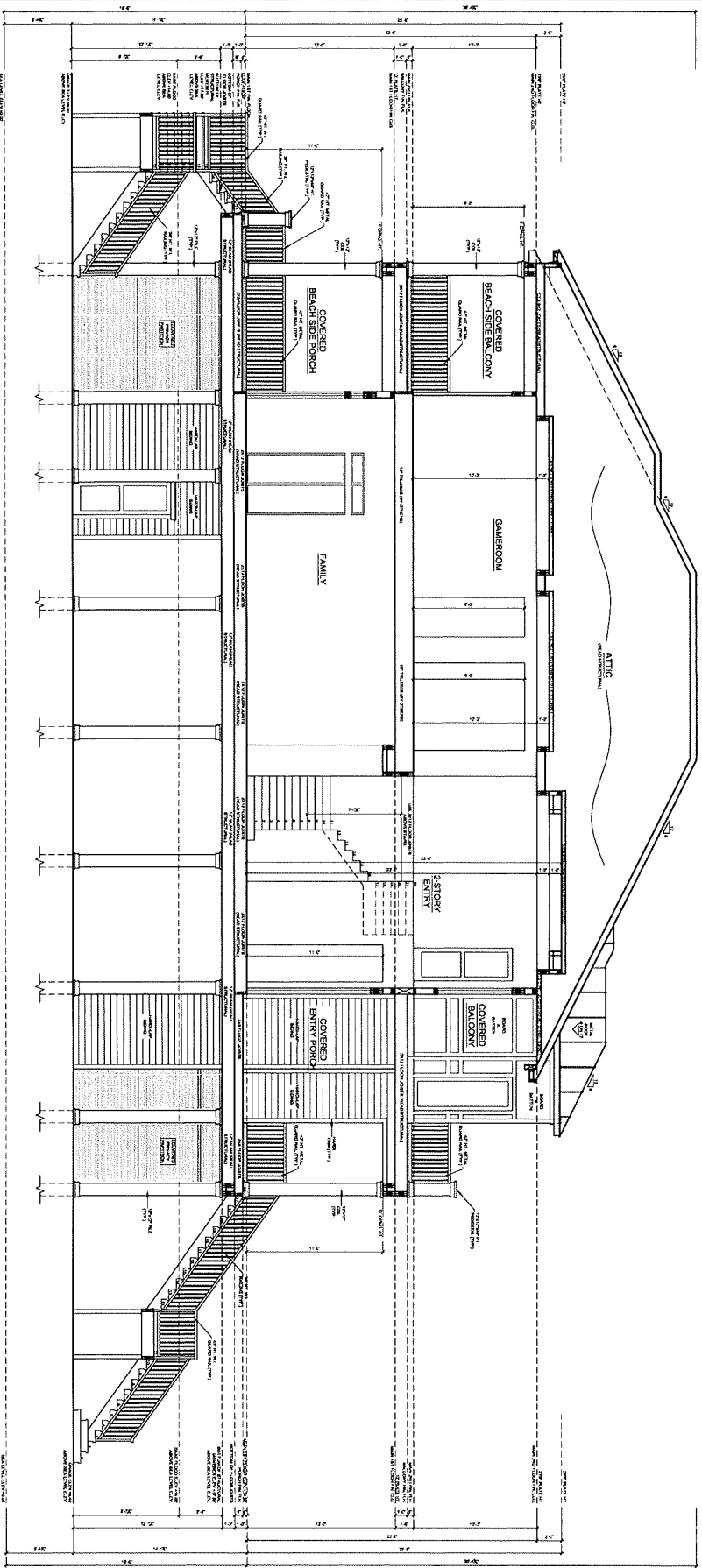
**Antong  
Design**

24718 Twilight Hollow Ln.  
Richardson, TX 75085

Contact: Tong Fang  
Tel: (832) 74692  
tonfang@gmail.com

A CUSTOM RESIDENCE AT:  
5034 BLUEWATER HIGHWAY,  
FREEPORT, TX 77542

DEC. 8, 2023  
JAN. 3, 2024  
(FLOOR REVISIONS)



SECTION THRU A-A  
1/4"=1'-0"



AnTong  
Design

24718 Twilight Hollow Ln.  
Richmond, TX 77406

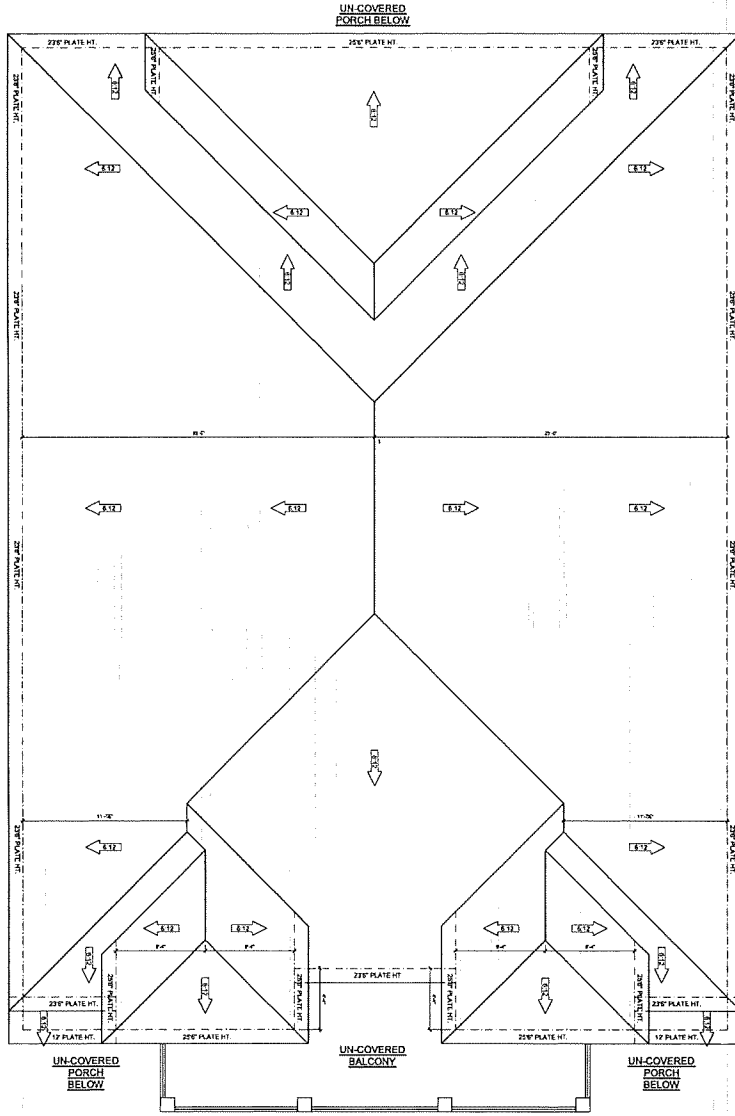
Contact: Tong Hing  
Tel: (832) 746692  
tonghingtong@gmail.com

A CUSTOM RESIDENCE AT:  
5034 BLUEWATER HIGHWAY,  
FREEPORT, TX 77542

DEC. 8, 2023

JAN. 3, 2024  
(Floor Revision)

BACK (BEACH SIDE)



LEFT SIDE

RIGHT SIDE

FRONT (HWY. SIDE)

ROOF PLAN  
1/4"=1'-0"

**ROOF NOTES**  
 ROOF TO BE STANDING SEAM METAL ROOF UNLESS NOTED OTHERWISE  
 TYPICAL ROOF PITCH IS 8 ON 12  
 \*2' OVERHANG FROM FRAME UNLESS OTHERWISE NOTED  
 READ STRUCTURAL PLAN FOR RAFTER SIZE AND SPACING  
 ALL RAFTER HEIGHT SHOWN IS TO BE MEASURED FROM MAIN 1ST FINISHED FLOOR

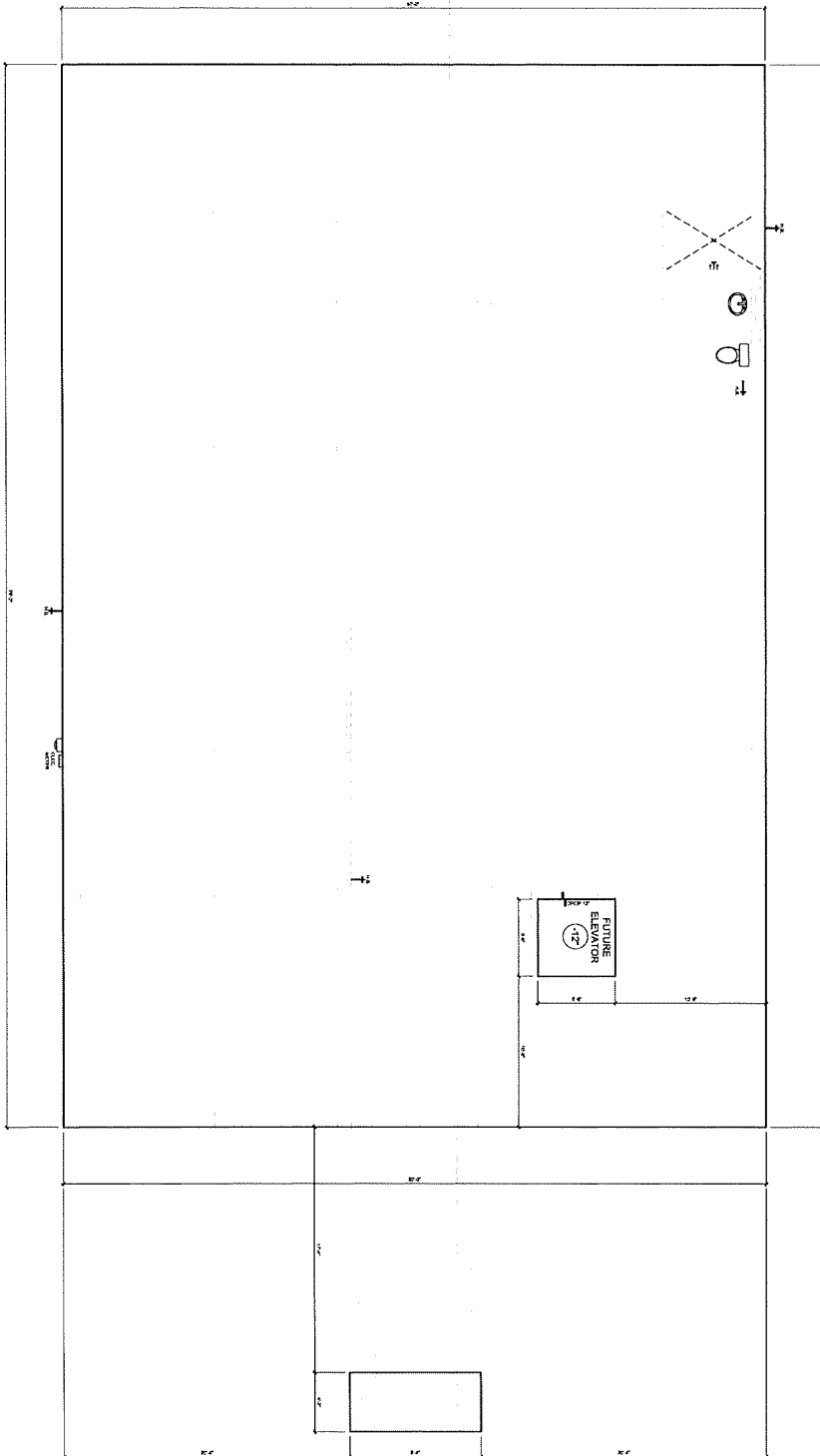
A CUSTOM RESIDENCE AT:  
 5034 BLUEWATER HIGHWAY,  
 FREEPORT, TX 77542

DEC. 8, 2023  
 JAN. 3, 2024  
 (FROM REVISIONS)

A.301

**Antomg Design**  
 24712 Twilight Hollow Ln  
 Richardson, TX 77469  
 Contact: Tong Jiang  
 Tel: (832) 717-2692  
 tongjiang@antomg.com

BACK (BEACH SIDE)



RIGHT SIDE

LEFT SIDE

FRONT (HWY. SIDE)

FORM PLAN  
1/4"=1'-0"



Antong  
Design

24713 Twilight Hollow Ln  
Richmond, TX 77406

Contact: Tong Jiang  
Tel: (832) 41-4692  
tongjiang@gmail.com

A CUSTOM RESIDENCE AT:  
5034 BLUEWATER HIGHWAY,  
FREEPORT, TX 77542

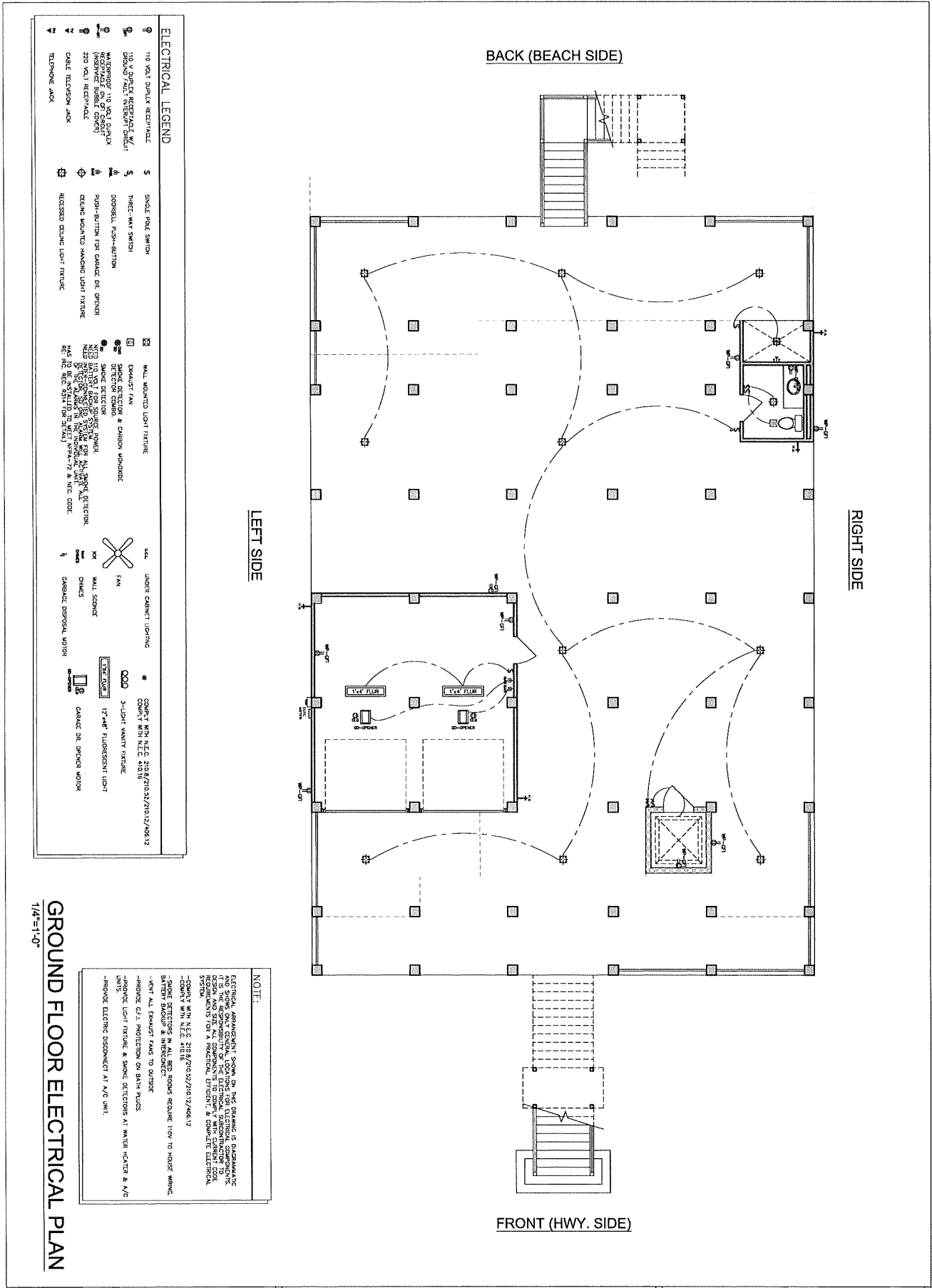
DEC. 8, 2023

JAN. 3, 2024  
(Last Revised)

A-401







**ELECTRICAL LEGEND**

1	110 VOLT SINGLE RECEPTACLE	5	SINGLE POLE SWITCH	10	WALL MOUNTED LIGHT FIXTURE
2	110 V. DOUBLE RECEPTACLE W/ SHIELDING	6	THREE-WAY SWITCH	11	EXHAUST FAN
3	WATERPROOF 110 VOLT GFCI RECEPTACLE (RESIDENT BUBBLE COVER)	7	DOUBLE, PUSH-BUTTON	12	SINK OF TUBOR & CARBON MONOXIDE
4	220 VOLT RECEPTACLE	8	PUSH-BUTTON FOR GANGED OR OPERATOR	13	SINK OF TUBOR
5	CABLE TELEPHONE JACK	9	CEILING MOUNTED HANGING LIGHT FIXTURE	14	WALL MOUNTED LIGHT FIXTURE
6	TELEPHONE JACK	10	RECESSED CEILING LIGHT FIXTURE	15	WALL MOUNTED LIGHT FIXTURE
7		11		16	WALL MOUNTED LIGHT FIXTURE
8		12		17	WALL MOUNTED LIGHT FIXTURE
9		13		18	WALL MOUNTED LIGHT FIXTURE
10		14		19	WALL MOUNTED LIGHT FIXTURE
11		15		20	WALL MOUNTED LIGHT FIXTURE
12		16		21	WALL MOUNTED LIGHT FIXTURE
13		17		22	WALL MOUNTED LIGHT FIXTURE
14		18		23	WALL MOUNTED LIGHT FIXTURE
15		19		24	WALL MOUNTED LIGHT FIXTURE
16		20		25	WALL MOUNTED LIGHT FIXTURE
17		21		26	WALL MOUNTED LIGHT FIXTURE
18		22		27	WALL MOUNTED LIGHT FIXTURE
19		23		28	WALL MOUNTED LIGHT FIXTURE
20		24		29	WALL MOUNTED LIGHT FIXTURE
21		25		30	WALL MOUNTED LIGHT FIXTURE
22		26		31	WALL MOUNTED LIGHT FIXTURE
23		27		32	WALL MOUNTED LIGHT FIXTURE
24		28		33	WALL MOUNTED LIGHT FIXTURE
25		29		34	WALL MOUNTED LIGHT FIXTURE
26		30		35	WALL MOUNTED LIGHT FIXTURE
27		31		36	WALL MOUNTED LIGHT FIXTURE
28		32		37	WALL MOUNTED LIGHT FIXTURE
29		33		38	WALL MOUNTED LIGHT FIXTURE
30		34		39	WALL MOUNTED LIGHT FIXTURE
31		35		40	WALL MOUNTED LIGHT FIXTURE
32		36		41	WALL MOUNTED LIGHT FIXTURE
33		37		42	WALL MOUNTED LIGHT FIXTURE
34		38		43	WALL MOUNTED LIGHT FIXTURE
35		39		44	WALL MOUNTED LIGHT FIXTURE
36		40		45	WALL MOUNTED LIGHT FIXTURE
37		41		46	WALL MOUNTED LIGHT FIXTURE
38		42		47	WALL MOUNTED LIGHT FIXTURE
39		43		48	WALL MOUNTED LIGHT FIXTURE
40		44		49	WALL MOUNTED LIGHT FIXTURE
41		45		50	WALL MOUNTED LIGHT FIXTURE
42		46		51	WALL MOUNTED LIGHT FIXTURE
43		47		52	WALL MOUNTED LIGHT FIXTURE
44		48		53	WALL MOUNTED LIGHT FIXTURE
45		49		54	WALL MOUNTED LIGHT FIXTURE
46		50		55	WALL MOUNTED LIGHT FIXTURE
47		51		56	WALL MOUNTED LIGHT FIXTURE
48		52		57	WALL MOUNTED LIGHT FIXTURE
49		53		58	WALL MOUNTED LIGHT FIXTURE
50		54		59	WALL MOUNTED LIGHT FIXTURE
51		55		60	WALL MOUNTED LIGHT FIXTURE
52		56		61	WALL MOUNTED LIGHT FIXTURE
53		57		62	WALL MOUNTED LIGHT FIXTURE
54		58		63	WALL MOUNTED LIGHT FIXTURE
55		59		64	WALL MOUNTED LIGHT FIXTURE
56		60		65	WALL MOUNTED LIGHT FIXTURE
57		61		66	WALL MOUNTED LIGHT FIXTURE
58		62		67	WALL MOUNTED LIGHT FIXTURE
59		63		68	WALL MOUNTED LIGHT FIXTURE
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90		94		99	WALL MOUNTED LIGHT FIXTURE
91		95		100	WALL MOUNTED LIGHT FIXTURE

**GROUND FLOOR ELECTRICAL PLAN**  
1/4"=1'-0"

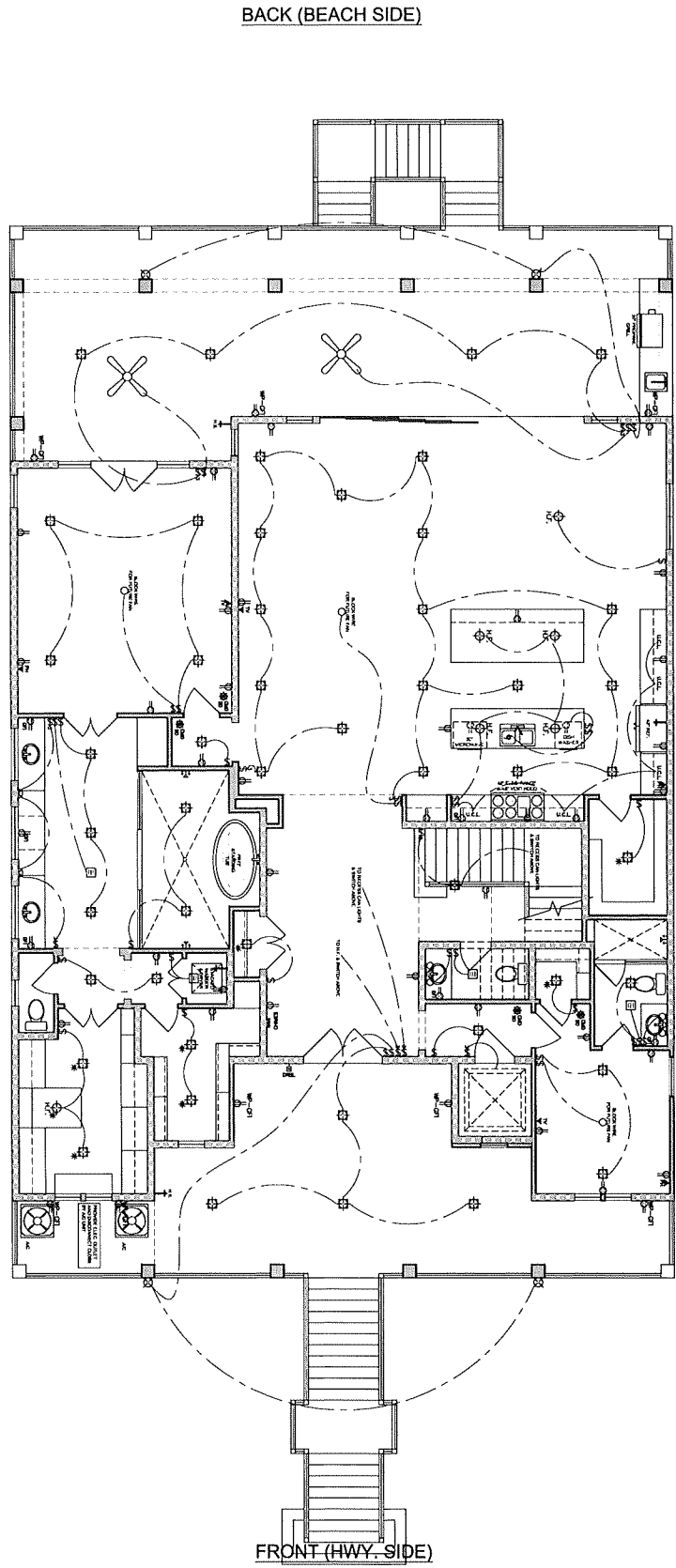
**NOTE:**  
ELECTRICAL ARRANGEMENT SHOWN ON THIS DRAWING IS DISBURGMENT OF THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ELECTRICAL SYSTEMS TO BE INSTALLED IN ACCORDANCE WITH THE ELECTRICAL CODES AND REGULATIONS FOR A PRACTICAL, DURABLE & COMPLETE ELECTRICAL SYSTEM.  
-CONDUCT WITH N.E.C. 210.8/210.52/210.12/408.12  
-SINGLE RECEPTACLES IN ALL BED ROOMS REQUIRE 110V TO HOUSE BATTERY BATTERY GROUP & INTERCONNECT.  
-VENT ALL EXHAUST FANS TO OUTSIDE  
-REMOVE GFI PROTECTION ON BATH RAJDS  
-REMOVE LIGHT FIXTURE & SPONG DETECTORS AT MASTER BATH & A/C UNITS  
-REMOVE ELECTRIC DISCONNECT AT A/C UNIT.

A CUSTOM RESIDENCE AT:  
5034 BLUEWATER HIGHWAY,  
FREEPORT, TX 77542

**Antong Design**  
24718 Twiligh Hollow Ln  
Richmond, TX 77406  
Contact: Tong Jiang  
Tel: (832) 271-4692  
tongjiang@gmail.com

DEC. 8, 2023  
JAN. 3, 2024  
(FROM REVISION)

E. 100



**ELECTRICAL LEGEND**

1	110 VOLT OUTLET RECEPTACLE	3	SINGLE POLE SWITCH	10	WALL MOUNTED LIGHT FIXTURE
2	110 VOLT GFCI RECEPTACLE	4	THREE-WAY SWITCH	11	EXHAUST FAN
3	WATERPROOF 110 VOLT GFCI RECEPTACLE (RESISTANT RUBBER COVER)	5	DOUBLE, 2-POLE SWITCH	12	SINGLE DETECTOR & CARBON MONOXIDE
4	220 VOLT RECEPTACLE	6	PUSH-BUTTON FOR GARAGE DR. OPERATOR	13	SINGLE DETECTOR
5	TELEPHONE JACK	7	CEILING MOUNTED HANGING LIGHT FIXTURE	14	WALL DETECTOR
		8	RECESSED CEILING LIGHT FIXTURE	15	WALL DETECTOR
		9	WALL MOUNTED LIGHT FIXTURE	16	WALL DETECTOR
				17	WALL DETECTOR
				18	WALL DETECTOR
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				100	WALL DETECTOR

**1ST FLOOR ELECTRICAL PLAN**  
1/4"=1'-0"

**NOTE:**

ELECTRICAL ARRANGEMENT SHOWN ON THIS DRAWING IS DISGUARANTEED IF IT IS THE RESPONSIBILITY OF THE ELECTRICAL SUBCONTRACTOR TO OBTAIN ALL NECESSARY PERMITS AND TO OBTAIN ALL NECESSARY INFORMATION FOR A PRACTICAL, ECONOMIC & COMPLETE ELECTRICAL SYSTEM.

-CONVEY WITH N.E.C. 210.8/210.32/210.12/408.12

-SINGLE DETECTORS IN ALL BED ROOMS REQUIRE 110V TO HOUSE BREAK, BATTERY BACKUP & INTERCONNECT.

-VENT ALL EXHAUST FANS TO OUTSIDE

-REMOVE G.F.I. PROTECTION ON BATH PLUGS

-REMOVE LIGHT FIXTURE & SMOKE DETECTORS AT WATER HEATER & A/C UNITS

-REMOVE ELECTRIC DISCONNECT AT A/C UNIT.

A CUSTOM RESIDENCE AT:  
5034 BLUEWATER HIGHWAY,  
FREEPORT, TX 77542

**Antong Design**  
24718 Twilight Island Ln  
Kehoe, TX 77405  
Contact: Tong Tang  
Tel: (932) 211-4692  
tangtongdesign@gmail.com

DEC. 8, 2023
JAN. 3, 2024 (REV. REVISION)
E.101









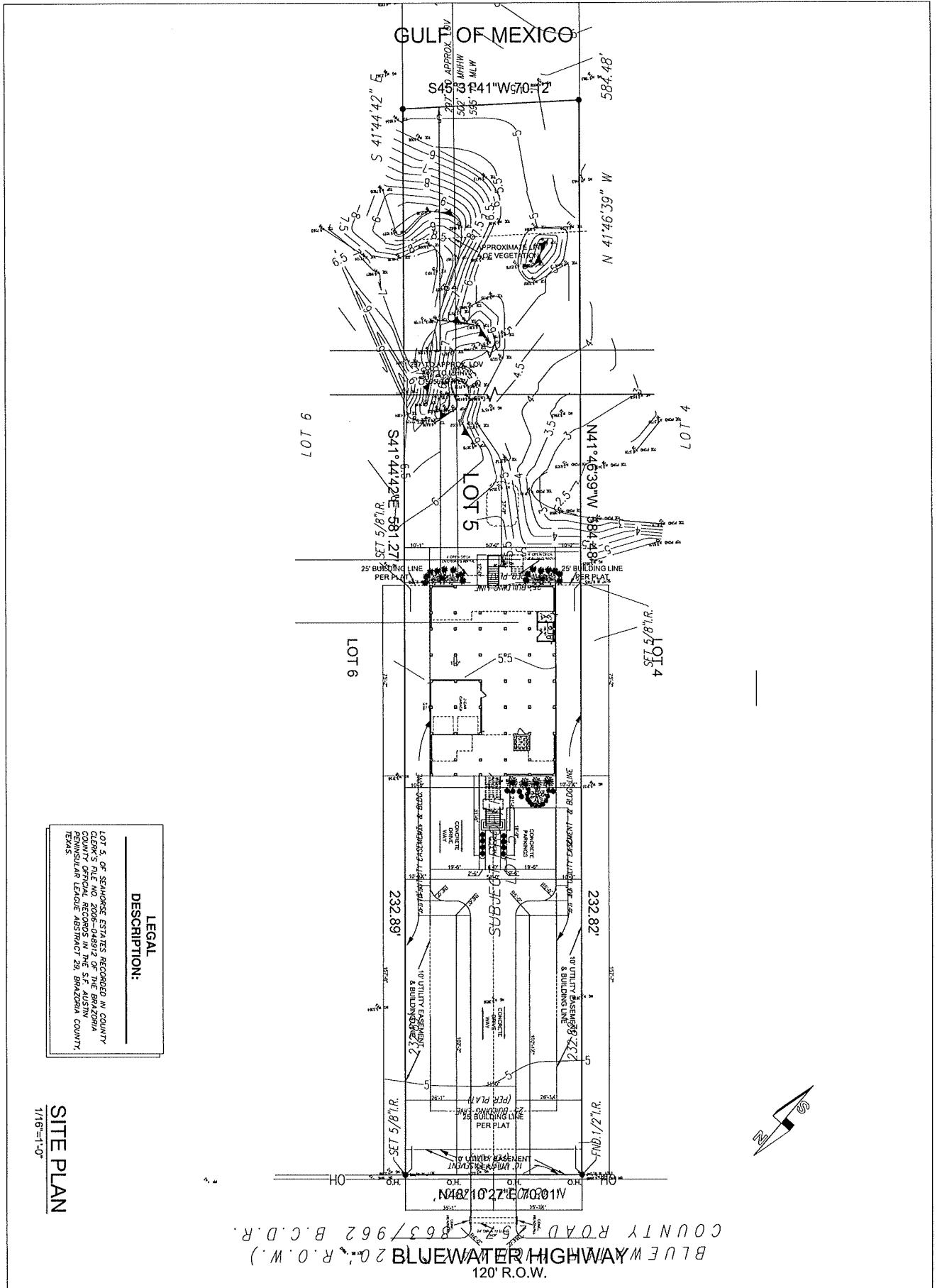












**LEGAL DESCRIPTION:**  
 LOT 5 OF SEQUOIA SESTATES RECORDED IN COUNTY CLERK'S FILE NO. 2006-044812 OF THE BRAZORIA COUNTY OFFICIAL RECORDS IN THE S.F. AUSTIN PENINSULAR LEASUE ABSTRACT 23, BRAZORIA COUNTY, TEXAS.

**SITE PLAN**  
 1/16"=1'-0"

**Antong Design**  
 24718 Twilight Hollow Ln.  
 Richmond, TX 77406  
 Contact: Tong Jiang  
 Tel: (832) 317-6692  
 E-mail: [ionghiang9@gmail.com](mailto:ionghiang9@gmail.com)

**A CUSTOM RESIDENCE AT:  
 5034 BLUEWATER HIGHWAY,  
 FREEPORT, TX 77542**

DEC. 8, 2023  
 JAN. 3, 2024  
 (Floor Revision)

A-001

BRAZORIA COUNTY  
TEXAS

S. F. AUSTIN PENINSULAR LEAGUE  
ABSTRACT 29

BLUEWATER HIGHWAY (120' R.O.W.)  
COUNTY ROAD 857 868/962 B.C.D.R.



NOTES:

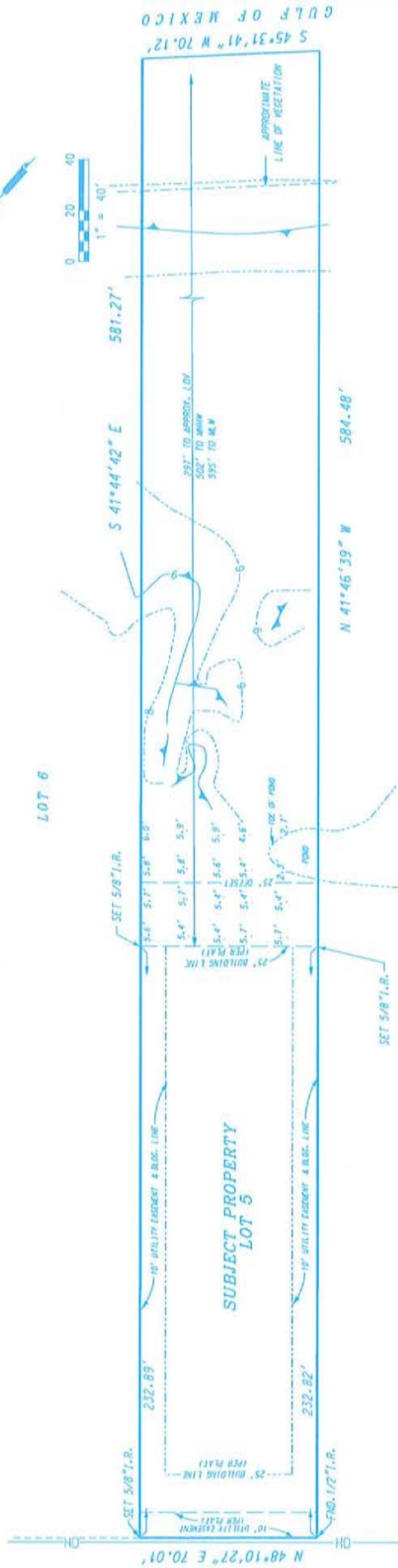
1. ALL COURTLINES AND BEARINGS ARE BASED ON THE 1983 NAD 83 DATUM. THE TEXAS STATE PLANE COORDINATE SYSTEM IS USED FOR ALL DISTANCES.
2. ALL DISTANCES ARE HORIZONTAL UNLESS OTHERWISE SPECIFIED.
3. THIS PROPERTY IS LOCATED WITHIN THE 10' UTILITY EASEMENT ALONG THE WEST SIDE OF BLUEWATER HIGHWAY (COUNTY ROAD 857) AS SHOWN ON THE SURVEY DATED 12-30-2020.
4. A TITLE COMMITMENT PROVIDE TO THE COUNTY OF BRAZORIA, TEXAS, BY THE INSURANCE COMPANY, THE NO. 1000 POLICY OF THE DATE OF SEPTEMBER 20, 2023, SHOWS A 25' BUILDING EASEMENT ALONG THE WEST SIDE OF LOT 5. SUBJECT TO RESTRICTIONS CONTAINED IN SAID POLICY.
5. SUBJECT TO RESTRICTIONS CONTAINED IN SAID POLICY.
6. EASEMENTS LISTED IN SCHEDULE B NO. 1000, 1001, 1002, 1003, 1004, 1005, 1006, 1007, 1008, 1009, 1010, 1011, 1012, 1013, 1014, 1015, 1016, 1017, 1018, 1019, 1020, 1021, 1022, 1023, 1024, 1025, 1026, 1027, 1028, 1029, 1030, 1031, 1032, 1033, 1034, 1035, 1036, 1037, 1038, 1039, 1040, 1041, 1042, 1043, 1044, 1045, 1046, 1047, 1048, 1049, 1050, 1051, 1052, 1053, 1054, 1055, 1056, 1057, 1058, 1059, 1060, 1061, 1062, 1063, 1064, 1065, 1066, 1067, 1068, 1069, 1070, 1071, 1072, 1073, 1074, 1075, 1076, 1077, 1078, 1079, 1080, 1081, 1082, 1083, 1084, 1085, 1086, 1087, 1088, 1089, 1090, 1091, 1092, 1093, 1094, 1095, 1096, 1097, 1098, 1099, 1100, 1101, 1102, 1103, 1104, 1105, 1106, 1107, 1108, 1109, 1110, 1111, 1112, 1113, 1114, 1115, 1116, 1117, 1118, 1119, 1120, 1121, 1122, 1123, 1124, 1125, 1126, 1127, 1128, 1129, 1130, 1131, 1132, 1133, 1134, 1135, 1136, 1137, 1138, 1139, 1140, 1141, 1142, 1143, 1144, 1145, 1146, 1147, 1148, 1149, 1150, 1151, 1152, 1153, 1154, 1155, 1156, 1157, 1158, 1159, 1160, 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2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 2679, 2680, 2681, 2682, 2683, 2684, 2685, 2686, 2687, 2688, 2689, 2690, 2691, 2692, 2693, 2694, 2695, 2696, 2697, 2698, 2699, 2700, 2701, 2702, 2703, 2704, 2705, 2706, 2707, 2708, 2709, 2710, 2711, 2712, 2713, 2714, 2715, 2716, 2717, 2718, 2719, 2720, 2721, 2722, 2723, 2724, 2725, 2726, 2727, 2728, 2729, 2730, 2731, 2732, 2733, 2734, 2735, 2736, 2737, 2738, 2739, 2740, 2741, 2742, 2743, 2744, 2745, 2746, 2747, 2748, 2749, 2750, 2751, 2752, 2753, 2754, 2755, 2756, 2757, 2758, 2759, 2760, 2761, 2762, 2763, 2764, 2765, 2766, 2767, 2768, 2769, 2770, 2771, 2772, 2773, 2774, 2775, 2776, 2777, 2778, 2779, 2780, 2781, 2782, 2783, 2784, 2785, 2786, 2787, 2788, 2789, 2790, 2791, 2792, 2793, 2794, 2795, 2796, 2797, 2798, 2799, 2800, 2801, 2802, 2803, 2804, 2805, 2806, 2807, 2808, 2809, 2810, 2811, 2812, 2813, 2814, 2815, 2816, 2817, 2818, 2819, 2820, 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**BRAZORIA COUNTY TEXAS**

**S.F. AUSTIN PENINSULAR LEAGUE ABSTRACT 29**

BLUWATER HIGHWAY (120' R.O.W.) COUNTY ROAD 257 863/962 B.C.D.R.



**TIDE SHOTS**

OF  
LOT 5  
OF

**SEAHORSE ESTATES**

RECORDED IN  
COUNTY CLERK'S FILE NO. 2006-048912  
OF THE  
BRAZORIA COUNTY OFFICIAL RECORDS  
IN THE  
S.F. AUSTIN PENINSULAR LEAGUE  
ABSTRACT 29  
BRAZORIA COUNTY, TEXAS

FOR  
**SMART HOME INVESTMENT LLC**  
5034 BLUEWATER HIGHWAY

**Doyle & Wachtler, Inc.**  
Surveying and Mapping GPS/GIS  
11100 WINDY HILLS DRIVE, SUITE 100, WAXAHACH, TEXAS 75091  
PHONE: 972.525.5222 FAX: 972.265.8048  
EMAIL: DW@DW-SURV.COM  
WWW.DW-SURV.COM

**NOTES:**

1. ALL COORDINATES AND BEARINGS ARE RELATIVE TO THE NAD 83 STATE PLANE COORDINATE SYSTEM, SOUTH CENTRAL ZONE (NAD 83).
2. ALL DISTANCES ARE HORIZONTAL SURFACE LEVEL LENGTHS. (SF = 0.999841121)
3. THIS PROPERTY IS LOCATED WITHIN THE LIMITS OF ZONE "VE" PER FLOOD INSURANCE RATE MAP NUMBER 40036015K, DATED 12-30-2020.
4. A TITLE COMPANY PROVIDED FOR THIS BY STEWART TITLE INSURANCE COMPANY, FILE NO. 213355D, WITH AN EFFECTIVE DATE OF SEPTEMBER 21, 2023, ISSUED OCTOBER 5, 2023. FOR ALL TERMS OF RECORD.
5. SUBJECT TO RESTRICTIVE COVENANTS AS LISTED IN SCHEDULE B NO. 1.
6. EASEMENTS LISTED IN SCHEDULE B, NO. 10 ITEM (c), TO H.L. & P. DOES NOT APPLY.
7. EASEMENT LISTED IN SCHEDULE B NO. 10, ITEM (d) DOES NOT APPLY.
8. EASEMENT LISTED IN SCHEDULE B NO. 10, ITEM (e) DOES NOT APPLY.
9. SUBJECT TO 5' UTILITY EASEMENT ALONG EACH INTERIOR SIDE LOT LINE, AND A 25' BUILDING SETBACK ALONG AND FRONTING COUNTY ROAD 257, LISTED IN C.F. NO. 1999010024, B.C.D.R.
10. THERE IS A 200' SETBACK LINE FROM THE CURRENT VEGETATION LINE.

1. TERRY SINGLETARY, REGISTERED PROFESSIONAL LAND SURVEYOR DO HEREBY CERTIFY THAT THE ABOVE PLAT IS A TRUE REPRESENTATION OF A SURVEY MADE UNDER MY SUPERVISION, ON THE GROUND, AND THAT THERE ARE NO EXCESSES NOR INTRUSIONS ON THIS PROPERTY, EXCEPT AS SHOWN.  
DATE SURVEYED: OCTOBER 05, 2023



TERRY SINGLETARY  
REGISTERED PROFESSIONAL LAND SURVEYOR  
TEXAS REGISTRATION NUMBER 4808

- LEGEND**
- SET 5/8" IRON ROD, ITRS 4808
  - FOUND IRON PIPE/ROD
  - OVERHEAD WIRE
  - BUILDING LINE
  - - - EASEMENT
  - - - MAJOR CONTOUR
  - - - MINOR CONTOUR

IRC Registration for Builders / Contractors – Effective as of 7-1-2010

Date: 1/4/24 IRC # 515

Name of Company: Khodr Homes LLC

Owner: Nour Khodr

Address: 8018 Rippling Stream Richmond TX 77407

Phone: work: \_\_\_\_\_ Cell: 832.770.1010

Email: nour@khodrhomes.com



**BRAZORIA COUNTY**

**NOTICE OF RESIDENTIAL CONSTRUCTION  
INSPECTION COMPLIANCE  
IN UNINCORPORATED AREA**

**(TO BE SUBMITTED BY BUILDER)**

Received

223-690

Related OSSF  
Application #

Permit #

515

IRC #

**BUILDERS NAME:** Khodr Homes LLC

**PROJECT INFORMATION**

**TYPE OF CONSTRUCTION: (Check One)**

- 1) New Residential Construction on a vacant lot
- 2) Addition to an Existing Residential Unit

**NOTE:** *If a property lies in an ETJ it is required to contact the city hall for appropriate building codes.*

**LOCATION:**

Address 5034 Bluewater Hwy Freeport, TX 77541

Lot and Block # 5 Subdivision Seahorse Estates

or Survey \_\_\_\_\_ Tract/Acreage SF Austin Peninsular League

or Deed Reference \_\_\_\_\_ Property ID (MCAD)# \_\_\_\_\_

**RESIDENTIAL CODE USED IN CONSTRUCTION:**

- 1) INTERNATIONAL RESIDENTIAL CODE – published 2015   
date