

**JOE K. RIPPLE**  
FLOODPLAIN ADMINISTRATOR, CFM  
**SOFIA GARCIA GIBSON**  
FLOODPLAIN / BUILDING PERMITS  
OFFICE ASSISTANT SR.  
**BELINDA HOWELL**  
FLOODPLAIN / BUILDING PERMITS  
PERMIT TECHNICIAN  
**VICKIE THOMAS**  
FLOODPLAIN/BUILDING PERMITS  
FLOODPLAIN CONSULTANT



PHONE:  
(979) 864-1295  
(979) 388-1295  
(281) 756-1295

## **BRAZORIA COUNTY**

451 North Velasco, Suite #210  
Angleton, Texas, 77515

March 27, 2024

Mei Ling Valdes  
Planning, Permitting & Technical Services  
Coastal Resources Division  
Texas General Land Office  
P.O. Box 12873  
Austin, TX 78711-2873

Re: Beach front construction application for 8012 CR 257 Freeport, TX (Key Largo)

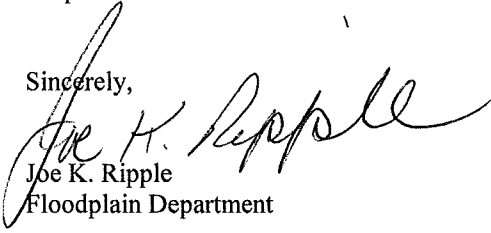
Dear Ms. Valdes,

This application is for a residential structure with 2550 Square feet of living area with (4) bedrooms and (4) baths built upon pilings certified by a professional engineer.

After construction a final elevation certificate will be turned into this office to show compliance with County and FEMA elevation requirements.

This beachfront construction application does not include a walkover and it complies with and promotes Brazoria County's beach access policies and requirements, particularly the dune protection and beach access policies relation to public beach ingress/egress, off beach parking and avoidance of reduction in the size of the public beach due to erosion.

Sincerely,

  
Joe K. Ripple  
Floodplain Department

Enclosures



TEXAS GENERAL LAND OFFICE  
COMMISSIONER DAWN BUCKINGHAM, M.D.

May 17, 2024

Via Electronic Mail

Joe Ripple, CFM  
Floodplain Administrator  
Brazoria County  
451 N Velasco, Suite #210  
Angleton, Texas 77515

**Beachfront Construction Certificate and Dune Protection Permit in Brazoria County**

**Site Address:** 8012 Bluewater Hwy (CR 257), Freeport  
**Legal Description:** Key Largo (A0029 S F Austin) Blk 4 Lot 14  
**Lot Applicant:** Speich Custom Homes c/o Stephen Sardone  
**GLO ID No.:** BDBC-24-0053a

Dear Mr. Ripple:

The General Land Office (GLO) has reviewed the application materials for a beachfront construction certificate and dune protection permit for the above-referenced location. The applicant proposes to construct a single-family residence with fibercrete paving beneath the habitable structure, a crushed concrete driveway, and a septic system. The applicant also proposes to restore dunes using beach-quality sand from off-site and dune vegetation. The proposed single-family residence is located within 200 feet landward of the line of vegetation and the proposed dune restoration is located landward of the line of vegetation. According to the Bureau of Economic Geology, the area is eroding at a rate of two to three feet per year.

Based on the materials forwarded to our office for review, we have the following comments:

Dune Restoration

- Fine, clayey, or silty sediments may not be used to restore dunes.<sup>1</sup> Only sand of similar grain size and mineralogy as the surrounding beach may be used to restore dunes.<sup>2</sup>
- The applicant is prohibited from using sand obtained by scraping or grading dunes or the beach to restore dunes.<sup>3</sup>
- The applicant must restore or repair dunes using indigenous vegetation that will achieve the same protective capability or greater capability as the vegetation on surrounding natural dunes.<sup>4</sup> If vegetation from off-site is needed, indigenous dune vegetation species such as bitter panicum, sea oats, and saltmeadow cordgrass would be permissible. Coastal bermudagrass is not an indigenous dune vegetation species and should not be planted on the restored dunes.

<sup>1</sup> 31 Tex. Admin. Code § 15.7(e)(5)(C).

<sup>2</sup> 31 Tex. Admin. Code § 15.7(e)(6)(A).

<sup>3</sup> 31 Tex. Admin. Code § 15.7(e)(5)(E).

<sup>4</sup> 31 Tex. Admin. Code § 15.4(f)(3)(A)(iv).

- The dunes must be restored to be continuous with any surrounding naturally formed dunes and must approximate the natural position, contour, volume, elevation, vegetative cover, and sediment content of any naturally formed dunes in the restoration area.<sup>5</sup> The beach-quality sand that will be placed on site to restore dunes should be shaped to replicate the proposed contours of the dune restoration area on the grading plan.

### Construction Requirements

- The applicant is prohibited from paving or altering the ground within 25 feet of the landward toe of the proposed restored dune.<sup>6</sup>
- In the area 25 feet landward of the north toe of the dunes to 200 feet landward of the line of vegetation, paving used under the habitable structure and for a driveway connecting the habitable structure and the street is limited to the use of unreinforced fibercrete in 4-foot by 4-foot sections, 4-inches thick, separated by expansion joints, or pervious materials.<sup>7</sup> Paving areas beneath uncovered decks and stairs is prohibited.
- The applicant should direct all stormwater inland away from the critical dune area and public beach. The County shall not issue a certificate or permit authorizing construction unless the construction activities will minimize impacts on natural hydrology and will not cause erosion of adjacent properties, critical dune areas or the public beach.<sup>8</sup>
- The County must ensure the proposed construction is consistent with the FEMA-approved county commissioners court order.<sup>9</sup>
- Cisterns, septic tanks, and septic fields are prohibited from being constructed seaward of any structure serviced by the cisterns, septic tanks, and septic fields.<sup>10</sup> As proposed, the septic system appears to comply with this requirement.
- The County must ensure the proposed habitable structure is designed for feasible relocation.<sup>11</sup>

### Erosion Response Plan

- The applicant proposes to construct a habitable structure seaward of the Building Setback Line, which is prohibited without an exemption from Brazoria County.<sup>12</sup> To qualify for an exemption, the applicant must demonstrate to the satisfaction of the County that no practicable alternatives to construction seaward of the Building Setback Line exist.<sup>13</sup>

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<sup>5</sup> 31 Tex. Admin. Code § 15.7(e)(3).

<sup>6</sup> 31 Tex. Admin. Code § 15.6(f)(5).

<sup>7</sup> Brazoria County Dune Protection and Beach Access Plan § 5(I)(G)(1).

<sup>8</sup> 31 Tex. Admin. Code § 15.6(h).

<sup>9</sup> 31 Tex. Admin. Code § 15.6(e)(3).

<sup>10</sup> Brazoria County Dune Protection and Beach Access Plan § 3(II)(K) & 31 Tex. Admin. Code § 15.4(c)(10).

<sup>11</sup> 31 Tex. Admin. Code § 15.6(f)(2).

<sup>12</sup> Brazoria County Erosion Response Plan § 5.

<sup>13</sup> Brazoria County Erosion Response Plan § 5.1.

Mr. Ripple  
May 17, 2024  
Page 3 of 3

Please be advised that structures may not encroach on the public beach. If the structure becomes located seaward of the line of vegetation because of loss of elevation, the structure may be allowed to remain in place if it does not significantly interfere with public access to the beach or present a public health and safety risk. Structures located seaward of the line of vegetation and landward of mean high tide may be allowed to make certain repairs under the Beach/Dune rules and local government plans.

If any part of a structure comes to be located seaward of the line of mean high tide, it becomes an unauthorized structure on state-owned land. Repairs are prohibited and the state make take action to remove the structure.

**Any deviations from what is proposed in this permit application requires a new or amended beachfront construction certificate and dune protection permit and further GLO review.**

If you have any questions, please contact me at (512) 463-5720 or at [meiling.valdes@glo.texas.gov](mailto:meiling.valdes@glo.texas.gov).

Sincerely,



Mei Ling Valdes  
Beach Access & Dune Protection Program  
Coastal Resources Division  
Texas General Land Office

cc: Vickie Thomas, Brazoria County

**BRAZORIA COUNTY  
DEVELOPMENT/BUILDING PERMIT APPLICATION**

Angleton 979-864-1295

451 North Velasco, Suite 210, Angleton, TX 77515

Houston/Alvin 281-756-1295

**OWNERSHIP INFORMATION:**

Name: Stephen Sandone Phone: 281-794-8062  
 Current/Mailing Address: 20235-Eden Pines Spring TX 77379  
Street or PO Box City/State Zip

**Building Contractors Information:** Special Custom Homes **Address:** 20235-Eden Pines Spring **Phone:** 281-794-8062

**LOCATION OF CONSTRUCTION:**

<b>Subdivision:</b> <u>Key Largo Resort</u>		<b>SITE ADDRESS (Where Structure Will Be Placed or Constructed)</b>			
<b>Section:</b>		<b>Block:</b> <u>4</u>		<b>Street Address:</b> <u>3012-Bluewater Hwy</u>	
<b>Block:</b>		<b>Lot:</b> <u>14+25</u>		<b>City (required):</b> <u>Freeport</u>	
<b>Lot:</b>		<b>Abstract No.:</b> <u>29</u>		<b>Acreage:</b> <u>.13</u>	
<b>Abstract No.:</b>		<b>Acreage:</b>		<b>PID #:</b> <u>219759</u>	

TYPE OF IMPROVEMENT Check Appropriate Box(es)	PROPOSED USE Fill Out and Check Any That Apply to Your Application	OWNERSHIP Check Appropriate Box(es) Fill Out Cost & Sq. Ft.	TYPE OF WATER SUPPLY Check Appropriate Box	TYPE OF SEWAGE DISPOSAL Check Appropriate Box(es)
<input checked="" type="checkbox"/> New Building <input type="checkbox"/> Addition to Building <input type="checkbox"/> Manufactured Home <input type="checkbox"/> Mobile Home <input type="checkbox"/> Residential RV <input type="checkbox"/> Levee Construction <input type="checkbox"/> Relocated Building - <input type="checkbox"/> <small>Came from Outside County</small> <input type="checkbox"/> <b>Mobile Home Park or RV Park # of Spaces</b> _____	<input checked="" type="checkbox"/> Residential Number of Bedrooms: <u>4</u> Number of Bathrooms: _____ Full <u>4</u> Partial _____ <input checked="" type="checkbox"/> One Family <input type="checkbox"/> Multi Family - # of Units: _____ <input type="checkbox"/> Non Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Other: _____ (Type of Building)	<input checked="" type="checkbox"/> Private (Individual, Corp, Non Profit) <input type="checkbox"/> Public (Federal, State, etc...)  <b>Cost: \$</b> <u>520,000</u>  <b>Floor Area Sq. Ft. (including garage):</b> <u>2550</u> sq. ft.	<input checked="" type="checkbox"/> Public/Private Company <input type="checkbox"/> Individual (Water Well)  Copy of Environmental Health Permit attached: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No  #: <u>2023-665</u>	

**Fee:** Application fee of \$75.00 for Residential permits. If the property lies within the Special Flood Hazard Area of the County, an additional fee of \$0.04 per square foot for Inspection fees will be charged. A natural ground elevation certificate and copy of floor plan are also required for Flood Zone areas. Any application for property of less than ten (10) acres shall obtain an Environmental Permit approval before a County building permit will be issued. UNLESS otherwise specified. **MAKE CHECKS PAYABLE TO "TREASURER OF BRAZORIA COUNTY" - NO REFUNDS.**

**ALL COMMERCIAL BUILDINGS** will require approvals from the local Drainage District, Environmental Health and a Fire Code permit by the County Emergency Management Coordinator. **Special flood hazard areas require additional documents.** All commercial construction in Pearland's ETJ is required to contact Pearland City Hall. **Fees Vary According To Type of Business.**

**ANY construction located on a proposed County and/or Municipal Thoroughfare in Pearland's ETJ is required to contact Pearland City Hall**

**Signature:** \_\_\_\_\_ **Date:** 3-20-24

<b>DO NOT WRITE BELOW THIS LINE</b>							
Approved By: <u>Vubhi Thomas</u>		Highest Natural Ground is <u>7.50</u> ft. Certified By: <u>Terry Singletary</u> RPLS # <u>4808</u> on <u>12/8/23</u>		Permit Fee \$ <u>75</u>	Inspection Fee \$ <u>102</u>	Date Of Permit	Permit Number
Electric	Mailbox Ltr	Setback Ltr	Thoroughfare	Total Fee: \$ <u>177.00</u>		Check #	Receipt No.
<u>CP</u>	<u>Yes</u>	<u>40</u>	<u>Major</u>			<u>4598</u>	<u>19406</u>
ETJ	Inspection Ltr	Ack Ltr	Mobile Home Information	FEMA Zone: <u>VE</u> <u>17+2</u> Elevation: <u>19</u> MSL	Panel No.: <u>6751C</u>	Class	
<u>No</u>	<u>Yes</u>	<u>No</u>	<u>No</u>	Map Date: <u>12/30/20</u>		<u>B</u>	
Special Provisions: _____							
Mail	<input type="checkbox"/>	Email	<input checked="" type="checkbox"/>	To: <u>pspecial@comcost.net</u>	Pick Up		<input type="checkbox"/>



# Brazoria County Floodplain Receipt

(979) 864-1295

(281) 756-1295

111 East Locust Bldg. A-29  
Angleton, Texas 77515

Floodplain Administrator

Receipt No 00019406 Receipt Date 3/21/2024 Receipt Time 08:00:11 AM  
NO REFUND(S)

Received From: Speich Custom Homes, LLC

Trans Type: RPR75 Permit Fee - NC - Residential, Mobile Homes and Barns HUD / County Exempt: N  
Misc. Descr: Qty: 1 Price: \$75.00

Permit No: Square Footage: 0 Amount Sq. Ft \$0.00

Contractor:

Owner:

Amount Owed: \$75.00

Trans Type: SQFTG Square Footage HUD / County Exempt: N  
Misc. Descr: Qty: 1 Price: \$0.04

Permit No: Square Footage: 0 Amount Sq. Ft \$0.00

Contractor:

Owner:

Amount Owed: \$102.00

Comments: 8012 Bluewater Highway Freeport CK # 4598

## Payment Information

Payment Type: CHK Check# / MO#: 4598 Pay Amount: \$177.00

Payment Type: Check# / MO#: Pay Amount: \$0.00

Office Use Only Posted: N

Total Amount Received: \$177.00

Rec. By: 14554

Void: N Void By

Void Date:

Void Reason: Void Time:

STATEMENT OF COMMISSIONER'S COURT  
OF BRAZORIA COURT  
TO CONFORM TO REQUIREMENTS OF  
CLASS "B" BUILDING PERMIT

STATE OF TEXAS

COUNTY OF BRAZORIA

The undersigned holder of Development Permit No. \_\_\_\_\_ (whether acting individually or through a duly authorized agent or attorney) does hereby certify to Commissioners' Court of Brazoria County, Texas as follows.

The undersigned permittee:

1. Accepted Development Permit No. \_\_\_\_\_.
2. Is familiar with all plans, specifications and other written material attached to or filed with the **Development Permit Application** on file with the County Floodplain Administrator.
3. Acknowledges that the plans, specifications and other written material filed with **Development Permit Application** is incorporated by reference and made part of this Certificate for purposes.
4. Acknowledges self (itself) to be strictly bound to Commissioners' Court to construct the work permitted under the above described building permit in strict conformity with the plans, specifications and other written material incorporated by reference of this Certificate.
5. Hereby binds himself to establish the required construction elevation to a National Geodetic Survey Marker and have same certified by Texas Registered Surveyor (or agreeable alternate). **The original Finished Construction Elevation certificate with registered surveyor's stamp, signature, date and pictures shall be forwarded to the County Floodplain Administrator's office verifying top of bottom floor reading upon completion of the structure. It must indicate that it is the "Finished Construction" certificate showing (a) top of bottom floor reading and (e) lowest elevation of machinery or equipment in Section C of the certificate.**

If the Finished Construction Elevation Certificate is not received, your building permit will be put in violation in the Brazoria County Floodplain Administrator's office.

6. Is required to notify the County Floodplain Administrator when construction progresses to the point necessary for the foundation inspection (after certification) and later for the electrical/plumbing to verify the electrical and plumbing facility are above the base flood.
7. Shall not have a valid permit until this agreed upon and signed original document is on file and in possession of the County Floodplain Administrator.
8. If at any time an Engineering Study was required and the data submitted is found to be inaccurate, Brazoria County or the County Floodplain Administrator cannot be held liable. The responsibility shall fall back on the property owner and/or Engineering Firm submitting the information.
9. Any structure that is used for commercial or a public facility must adhere to the International Fire Codes. Contact the Emergency Management Coordinator of Brazoria County for inspections required.

\_\_\_\_\_  
Applicant/Permittee Signature



cm

ON-SITE SEWAGE FACILITY PERMIT APPLICATION
BRAZORIA COUNTY ENVIRONMENTAL HEALTH DEPT
111 East Locust Bldg A-29, Suite 270 ANGLETON, TX 77515
HOUSTON (281)756-1600 ANGLETON (979)864-1600 CLUTE (979)388-1600

2023-665
Permit Number
\$250 Single Family
\$450 All Others
New
Replacement
Alteration
Type DE w/Chlorination
BCEHD USE ONLY

This application will expire one year from the application date if inspection not complete. No refunds once permit is issued. Attach Copy of Legal Description (i.e. Deed, Plat, Survey, Appraisal)

PROPERTY OWNER Sardone Stephen & Deborah
PHONE NUMBERS 214 282 6219 214 282 6424
MAILING ADDRESS 2616 Gamma Rd Flower Mound, TX 75028

SITE ADDRESS 8012 Bluewater Hwy (CR 257), Freeport, Texas 77541
WATER SOURCE Private Public Key Largo
Water Saving Devices: Yes No

SINGLE FAMILY RESIDENCE: # of Bedrooms 5 Living Area(Sq Ft) < 4500 Daily Wastewater Usage Rate 360
COMMERCIAL/MULTI FAMILY: Type # of Employees/Units Days/Wk Occupied

DESIGNER Garry Gana, R.S. Reg# 3207 Phone# 281-235-4201
SITE EVALUATOR Garry Gana, R.S. Reg# 10343 Phone# 281-235-4201
INSTALLER Anthony Smith Reg# 21347 Phone# 979-299-0756
MAINTENANCE PROVIDER Anthony Smith Reg# 758 Phone# 979-299-0756

TREATMENT UNIT(S): Septic Tank Aerobic Tank # of Tanks/Compartments 4 Size 600 gal
Manufacturer Pro Flo or Equal Model 600 SLPT or Equal

DISPOSAL SYSTEM: Drainfield Area 1076 sq ft Trench Depth 6 - 12 inches
Gravity 3" with gravel 4" with gravel 8" gravelless 10" gravelless Leaching Chamber
Other Low Pressure Dosing Surface Irrigation Drip Emitter 538 ft

I certify that the above statements are true and correct to the best of my knowledge. Authorization is hereby given to the Authorized Agent to enter upon the above described property for the purpose of lot evaluation and inspection of the OSSF. I also acknowledge that inspection of the OSSF is required prior to all components being covered and use of the system.

Signature of Owner (Name on Deed) Stephen Sardone Date 9-20-23

DEPARTMENT USE ONLY BELOW THIS LINE
APPLICATION: APPROVAL DISAPPROVAL DATE 11-28-23 INSPECTOR Bobby Vanford LIC# 30627
Well Log or Plugging Reports Required? Yes No Recorded Plat Required? Yes No Flood Zone Yes No

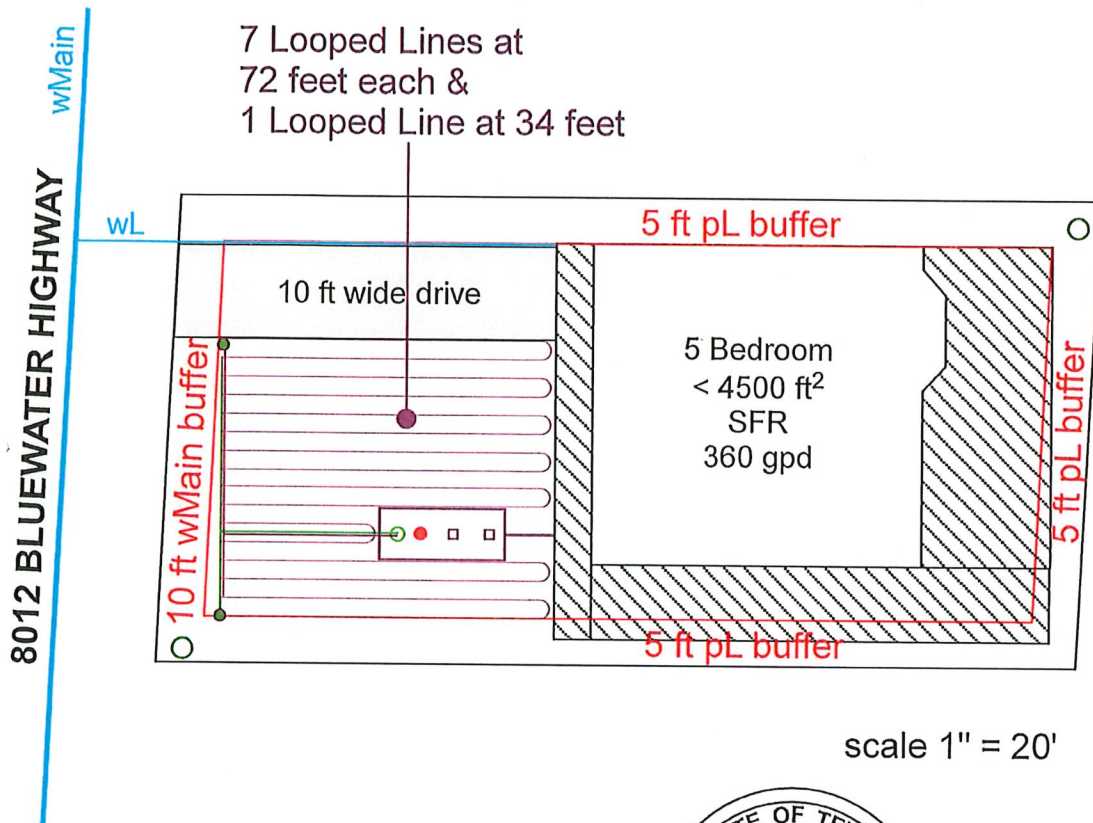
Brazoria County Appraisal ID # 219759 ETJ Flood Plain Info: New Construction Upgrade
Legal Description: SUB Key Largo Ab 0029 Sec Block 4 Lot 14 Precinct 1

Authorization to Construct Provided to Installer: Andy Smith - Rep Date: 12-13-23 In person Fax Mail By: mc
INSPECTION: APPROVAL DISAPPROVAL DATE INSPECTOR LIC#

Final Permit Copies Provided to Installer: Date: In person Fax Mail By:
Provided to Maintenance Prov: Date: In person Fax Mail By:
Revised 9/30/21 jcs



RECEIVED  
 NOV 20 2023  
 BY: R.P.



- = Chlorinator
- = soil test site by Site Evaluator
- = vacuum breaker

This property does lie within the 100 year floodplain

This property exhibits less than 4% slope across its entire area

Note:  
 The OSSF drainfield is to be completely sodded by the property owner prior to operation of the system



*[Signature]*  
 09-09-23

**ELEVATION CERTIFICATE**

**IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19**

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A – PROPERTY INFORMATION	FOR INSURANCE COMPANY USE
A1. Building Owner's Name: <u>Stephen Sardone</u>	Policy Number: _____
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.: <u>8012 Bluewater Highway (CR 257)</u>	Company NAIC Number: _____
City: <u>Freeport</u> State: <u>TX</u> ZIP Code: <u>77541</u>	
A3. Property Description (e.g., Lot and Block Numbers or Legal Description) and/or Tax Parcel Number: <u>Lot 14 &amp; 25, Block 4, Key Largo Subdivision (Volume 13, Pages 21-22 B.C.P.R.), S.F. Austin Peninsular League, Abstract 2</u>	
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.): <u>Residential</u>	
A5. Latitude/Longitude: Lat. <u>29°01'36.25" N</u> Long. <u>95°11'15.63" W</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983 <input type="checkbox"/> WGS 84	
A6. Attach at least two and when possible four clear photographs (one for each side) of the building (see Form pages 7 and 8).	
A7. Building Diagram Number: _____	
A8. For a building with a crawlspace or enclosure(s): a) Square footage of crawlspace or enclosure(s): _____ sq. ft. b) Is there at least one permanent flood opening on two different sides of each enclosed area? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A c) Enter number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade: Non-engineered flood openings: _____ Engineered flood openings: _____ d) Total net open area of non-engineered flood openings in A8.c: _____ sq. in. e) Total rated area of engineered flood openings in A8.c (attach documentation – see Instructions): _____ sq. ft. f) Sum of A8.d and A8.e rated area (if applicable – see Instructions): _____ sq. ft. A9. For a building with an attached garage: a) Square footage of attached garage: _____ sq. ft. b) Is there at least one permanent flood opening on two different sides of the attached garage? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A c) Enter number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade: Non-engineered flood openings: _____ Engineered flood openings: _____ d) Total net open area of non-engineered flood openings in A9.c: _____ sq. in. e) Total rated area of engineered flood openings in A9.c (attach documentation – see Instructions): _____ sq. ft. f) Sum of A9.d and A9.e rated area (if applicable – see Instructions): _____ sq. ft.	

**SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION**

B1.a. NFIP Community Name: <u>Brazoria County Unincorporated</u>	B1.b. NFIP Community Identification Number: <u>485458</u>		
B2. County Name: <u>Brazoria</u>	B3. State: <u>TX</u>	B4. Map/Panel No.: <u>48039C0675</u>	B5. Suffix: <u>K</u>
B6. FIRM Index Date: <u>06/05/1989</u>		B7. FIRM Panel Effective/Revised Date: <u>12/30/2020</u>	
B8. Flood Zone(s): <u>VE</u>		B9. Base Flood Elevation(s) (BFE) (Zone AO, use Base Flood Depth): <u>17.0'</u>	
B10. Indicate the source of the BFE data or Base Flood Depth entered in Item B9: <input type="checkbox"/> FIS <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other: _____			
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____			
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA			
B13. Is the building located seaward of the Limit of Moderate Wave Action (LiMWA)? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			

# ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.:  
8012 Bluewater Highway (CR 257)

City: Freeport State: TX ZIP Code: 77541

## FOR INSURANCE COMPANY USE

Policy Number: \_\_\_\_\_

Company NAIC Number: \_\_\_\_\_

### SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on:  Construction Drawings\*  Building Under Construction\*  Finished Construction  
\*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, AO, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO, A99. Complete Items C2.a–h below according to the Building Diagram specified in Item A7. In Puerto Rico only, enter meters.  
Benchmark Utilized: PUGH Vertical Datum: NAVD 88

Indicate elevation datum used for the elevations in items a) through h) below.

NGVD 1929  NAVD 1988  Other: \_\_\_\_\_

Datum used for building elevations must be the same as that used for the BFE. Conversion factor used?  Yes  No

If Yes, describe the source of the conversion factor in the Section D Comments area.

Check the measurement used:

a) Top of bottom floor (including basement, crawlspace, or enclosure floor): \_\_\_\_\_  feet  meters

b) Top of the next higher floor (see Instructions): \_\_\_\_\_  feet  meters

c) Bottom of the lowest horizontal structural member (see Instructions): \_\_\_\_\_  feet  meters

d) Attached garage (top of slab): \_\_\_\_\_  feet  meters

e) Lowest elevation of Machinery and Equipment (M&E) servicing the building (describe type of M&E and location in Section D Comments area): \_\_\_\_\_  feet  meters

f) Lowest Adjacent Grade (LAG) next to building:  Natural  Finished 5.80  feet  meters

g) Highest Adjacent Grade (HAG) next to building:  Natural  Finished 7.50  feet  meters

h) Finished LAG at lowest elevation of attached deck or stairs, including structural support: \_\_\_\_\_  feet  meters

### SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by state law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor?  Yes  No

Check here if attachments and describe in the Comments area.

Certifier's Name: Terry Singletary License Number: 4808

Title: Registered Professional Land Surveyor

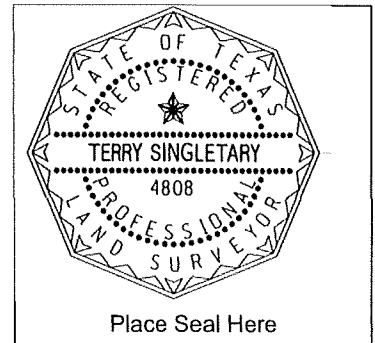
Company Name: Doyle & Wachtstetter Inc.

Address: 131 Commerce St.

City: Clute State: TX ZIP Code: 77531

Signature: Terry Singletary Date: 12/08/2023

Telephone: (979) 265-3622 Ext.: 1042 Email: t.singletary@dw-surveyor.com



Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including source of conversion factor in C2; type of equipment and location per C2.e; and description of any attachments):  
Benchmark for subject property is a Concrete monument (Pugh) across the street (Bluewater Highway) with an elevation of 6.43 feet.

# ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.:

8012 Bluewater Highway (CR 257)

City: Freeport

State: TX

ZIP Code: 77541

## FOR INSURANCE COMPANY USE

Policy Number: \_\_\_\_\_

Company NAIC Number: \_\_\_\_\_

### SECTION E – BUILDING MEASUREMENT INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO, ZONE AR/AO, AND ZONE A (WITHOUT BFE)

For Zones AO, AR/AO, and A (without BFE), complete Items E1–E5. For Items E1–E4, use natural grade, if available. If the Certificate is intended to support a Letter of Map Change request, complete Sections A, B, and C. Check the measurement used. In Puerto Rico only, enter meters.

Building measurements are based on:  Construction Drawings\*  Building Under Construction\*  Finished Construction

\*A new Elevation Certificate will be required when construction of the building is complete.

E1. Provide measurements (C.2.a in applicable Building Diagram) for the following and check the appropriate boxes to show whether the measurement is above or below the natural HAG and the LAG.

a) Top of bottom floor (including basement, crawlspace, or enclosure) is: \_\_\_\_\_  feet  meters  above or  below the HAG.

b) Top of bottom floor (including basement, crawlspace, or enclosure) is: \_\_\_\_\_  feet  meters  above or  below the LAG.

E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (C2.b in applicable Building Diagram) of the building is: \_\_\_\_\_  feet  meters  above or  below the HAG.

E3. Attached garage (top of slab) is: \_\_\_\_\_  feet  meters  above or  below the HAG.

E4. Top of platform of machinery and/or equipment servicing the building is: \_\_\_\_\_  feet  meters  above or  below the HAG.

E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance?  Yes  No  Unknown The local official must certify this information in Section G.

### SECTION F – PROPERTY OWNER (OR OWNER'S AUTHORIZED REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without BFE) or Zone AO must sign here. *The statements in Sections A, B, and E are correct to the best of my knowledge*

Check here if attachments and describe in the Comments area.

Property Owner or Owner's Authorized Representative Name: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ ZIP Code: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Telephone: \_\_\_\_\_ Ext.: \_\_\_\_\_ Email: \_\_\_\_\_

Comments:

# ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.:

8012 Bluewater Highway (CR 257)

City: Freeport

State: TX

ZIP Code: 77541

## FOR INSURANCE COMPANY USE

Policy Number: \_\_\_\_\_

Company NAIC Number: \_\_\_\_\_

### SECTION G – COMMUNITY INFORMATION (RECOMMENDED FOR COMMUNITY OFFICIAL COMPLETION)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Section A, B, C, E, G, or H of this Elevation Certificate. Complete the applicable item(s) and sign below when:

- G1.  The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by state law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2.a.  A local official completed Section E for a building located in Zone A (without a BFE), Zone AO, or Zone AR/AO, or when item E5 is completed for a building located in Zone AO.
- G2.b.  A local official completed Section H for insurance purposes.
- G3.  In the Comments area of Section G, the local official describes specific corrections to the information in Sections A, B, E and H.
- G4.  The following information (Items G5–G11) is provided for community floodplain management purposes.
- G5. Permit Number: \_\_\_\_\_ G6. Date Permit Issued: \_\_\_\_\_
- G7. Date Certificate of Compliance/Occupancy Issued: \_\_\_\_\_
- G8. This permit has been issued for:  New Construction  Substantial Improvement
- G9.a. Elevation of as-built lowest floor (including basement) of the building: \_\_\_\_\_  feet  meters Datum: \_\_\_\_\_
- G9.b. Elevation of bottom of as-built lowest horizontal structural member: \_\_\_\_\_  feet  meters Datum: \_\_\_\_\_
- G10.a. BFE (or depth in Zone AO) of flooding at the building site: \_\_\_\_\_  feet  meters Datum: \_\_\_\_\_
- G10.b. Community's minimum elevation (or depth in Zone AO) requirement for the lowest floor or lowest horizontal structural member: \_\_\_\_\_  feet  meters Datum: \_\_\_\_\_
- G11. Variance issued?  Yes  No If yes, attach documentation and describe in the Comments area.

The local official who provides information in Section G must sign here. *I have completed the information in Section G and certify that it is correct to the best of my knowledge. If applicable, I have also provided specific corrections in the Comments area of this section.*

Local Official's Name: \_\_\_\_\_ Title: \_\_\_\_\_

NFIP Community Name: \_\_\_\_\_

Telephone: \_\_\_\_\_ Ext.: \_\_\_\_\_ Email: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ ZIP Code: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Comments (including type of equipment and location, per C2.e; description of any attachments; and corrections to specific information in Sections A, B, D, E, or H):

# ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.:

8012 Bluewater Highway (CR 257)

City: Freeport

State: TX

ZIP Code: 77541

## FOR INSURANCE COMPANY USE

Policy Number: \_\_\_\_\_

Company NAIC Number: \_\_\_\_\_

### SECTION H – BUILDING'S FIRST FLOOR HEIGHT INFORMATION FOR ALL ZONES (SURVEY NOT REQUIRED) (FOR INSURANCE PURPOSES ONLY)

The property owner, owner's authorized representative, or local floodplain management official may complete Section H for all flood zones to determine the building's first floor height for insurance purposes. Sections A, B, and I must also be completed. Enter heights to the nearest tenth of a foot (nearest tenth of a meter in Puerto Rico). **Reference the Foundation Type Diagrams (at the end of Section H Instructions) and the appropriate Building Diagrams (at the end of Section I Instructions) to complete this section.**

H1. Provide the height of the top of the floor (as indicated in Foundation Type Diagrams) above the Lowest Adjacent Grade (LAG):

a) For Building Diagrams 1A, 1B, 3, and 5–9. Top of bottom \_\_\_\_\_  feet  meters  above the LAG floor (include above-grade floors only for buildings with subgrade crawlspaces or enclosure floors) is:

b) For Building Diagrams 2A, 2B, 4, and 6–9. Top of next higher floor (i.e., the floor above basement, crawlspace, or enclosure floor) is: \_\_\_\_\_  feet  meters  above the LAG

H2. Is all Machinery and Equipment servicing the building (as listed in Item H2 instructions) elevated to or above the floor indicated by the H2 arrow (shown in the Foundation Type Diagrams at end of Section H instructions) for the appropriate Building Diagram?

Yes  No

### SECTION I – PROPERTY OWNER (OR OWNER'S AUTHORIZED REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and H must sign here. *The statements in Sections A, B, and H are correct to the best of my knowledge.* **Note:** If the local floodplain management official completed Section H, they should indicate in Item G2.b and sign Section G.

Check here if attachments are provided (including required photos) and describe each attachment in the Comments area.

Property Owner or Owner's Authorized Representative Name: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ ZIP Code: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Telephone: \_\_\_\_\_ Ext.: \_\_\_\_\_ Email: \_\_\_\_\_

Comments:

**ELEVATION CERTIFICATE**  
**IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19**  
**BUILDING PHOTOGRAPHS**

See Instructions for Item A6.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.:  
8012 Bluewater Highway (CR 257)

City: Freeport State: TX ZIP Code: 77541

**FOR INSURANCE COMPANY USE**

Policy Number: \_\_\_\_\_

Company NAIC Number: \_\_\_\_\_

Instructions: Insert below at least two and when possible four photographs showing each side of the building (for example, may only be able to take front and back pictures of townhouses/rowhouses). Identify all photographs with the date taken and "Front View," "Rear View," "Right Side View," or "Left Side View." Photographs must show the foundation. When flood openings are present, include at least one close-up photograph of representative flood openings or vents, as indicated in Sections A8 and A9.

Photo One

Photo One Caption:

Clear Photo One

Photo Two

Photo Two Caption:

Clear Photo Two

**ELEVATION CERTIFICATE**  
**IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19**  
**BUILDING PHOTOGRAPHS**

Continuation Page

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.:  
8012 Bluewater Highway (CR 257)

City: Freeport State: TX ZIP Code: 77541

**FOR INSURANCE COMPANY USE**

Policy Number: \_\_\_\_\_

Company NAIC Number: \_\_\_\_\_

Insert the third and fourth photographs below. Identify all photographs with the date taken and "Front View," "Rear View," "Right Side View," or "Left Side View." When flood openings are present, include at least one close-up photograph of representative flood openings or vents, as indicated in Sections A8 and A9.

Photo Three

Photo Three Caption:

Clear Photo Three

Photo Four

Photo Four Caption:

Clear Photo Four



# Speich Custom Homes, L.L.C.

20235 Eden Pines, Spring TX. 77379

281-795-5662, Fax 281-655-5383

BBB Member

March 19, 2024

Beach Access & Dune Protection Program

Texas General Land Office

1700 North Congress Ave

Austin, TX 78711-2873

## **Beachfront Construction Certification and Dune Protect Permit in Brazoria County**

**Site Address:** 8012 Bluewater Highway (CR 257), Freeport TX 77541

**Legal Description:** Key Largo (A0029 S F Austin) Blk4 Lot 14, and Lot 25

**Lot Applicant:** Stephen Sardone, C/o Speich Custom Homes, L.L.C.

**GLO ID No.:** BDBC

Dear Joe Ripple, and GLO,

I am requesting a new construction permit on the lot listed at the above-referenced location.

1. Attached is the lot Site Plan. Identified in the site plan are the Distance to Mean High Tide, Distance to Vegetation Line, and placement of house on the lot. Already in our file is the Septic Plan, photos of the site, and Site Plan.
2. Attached is the topography with elevations, showing the existing lot contours. The build site and driveway will be made of crushed concrete.
3. Dune Restoration will consist of beach quality sand approximately 25' in front of the front decking. The elevation of the dune will begin approximately 6' going to 9' in height, 15' wide at the base to 2' at the top, and approximate 10' in length. Vegetation naturally growing on the lot will be harvested and trimmed and planted on the dune. Our proposed choice of plants is Bitter Panic and Coastal Bermuda as they transplant well. Plant placement will be plugged in a 6"x 6" pattern. We are looking at building a mound contoured dune with a more natural look. This will allow wind-blown sand to build upon the dunes.
4. We have moved the house back from the beach toward the highway 12'. According to the Septic Engineer and county code, the septic system needs to be placed completely inland from the house. Therefore, the house cannot be moved further inland.
5. Construction of the pad and parking under the house will consist of 4x4 Fiber crete concrete. There is not a dune within 25 feet of the actual house, excluding decking.
6. We would like to buy beach quality sand from Sorrell as they are closest. However, we understand the issues they are experiencing providing beach quality

sand to the coast. If the issue persists or we see that the sand is not correct we will change suppliers to Gulf Coast Materials of Galveston. Their information is:

Sorrell Materials

2101 Oyster Creek Bend Dr.

Oyster Creek, TX 77541, Telephone: (979)-233-6655

(Anthony is our rep.)

Gulf Coast Materials, Inc.

(Mike Johanning, Rep)

[Mike@GulfCoastMaterial.com](mailto:Mike@GulfCoastMaterial.com)

(713) 861-1815

[www.GulfCoastMaterial.com](http://www.GulfCoastMaterial.com)

7. In reference to Equipment and/or Building Materials, it is our experience that all equipment and materials are delivered and stored on the roadside of the house. Nothing will be placed or stored forward (seaward side) of the house.

If you have any questions, please contact me at (281) 794-5662 or by email at [pspeich@comcast.net](mailto:pspeich@comcast.net).

Sincerely,

Paul Speich



Speich Custom Homes, L.L.C.



*Terry Singletary*  
 REGISTERED PROFESSIONAL LAND SURVEYOR  
 TEXAS REGISTRATION NUMBER 4808

1. TERRY SINGLETARY, REGISTERED PROFESSIONAL LAND SURVEYOR  
 DO HEREBY CERTIFY THAT THE ABOVE PLAT IS A TRUE REPRESENTATION OF A  
 SURVEY MADE UNDER MY SUPERVISION, ON THE GROUND, AND THAT THERE ARE  
 NO ENCUMBRANCES OR INTERESTS ON THIS PROPERTY, EXCEPT AS SHOWN.  
 DATE SURVEYED: MARCH 22, 2023.

- NOTES:
1. ALL COORDINATES AND BEARINGS ARE RELATIVE TO THE  
 TEXAS STATE PLANE, CONDITIONAL SYSTEM, SOUTH CENTRAL  
 ZONE (NAD 83).
  2. ALL DISTANCES ARE HORIZONTAL SURFACE LEVEL LENGTHS.
  3. THIS PROPERTY MAY BE SUBJECT TO RESTRICTIONS, RECORDS  
 AND ENCUMBRANCES, EASEMENTS, RIGHTS, INTERESTS, AND  
 THE BRAZORIA COUNTY DEED RECORDS AND IN COUNTY CLERK'S  
 FILES 2001048478 AND 201024158.
  4. THIS SURVEY RELIED ON A TITL E COMMITMENT FROM STEWART TITLE  
 COMPANY, NO. 138303520, EFFECTIVE DATE MARCH 15, 2022,  
 ISSUED DATE: MARCH 23, 2022, FOR ALL ITEMS OF RECORD  
 IN VOLUME 14, PAGE 291 OF THE DEED RECORDS OF BRAZORIA COUNTY,  
 TEXAS DOES NOT APPLY.
  5. EASEMENT FOR CANAL PURPOSES RECORDED IN VOLUME 17, PAGE 305 AND  
 VOLUME 14, PAGE 291 OF THE DEED RECORDS OF BRAZORIA COUNTY,  
 TEXAS DOES NOT APPLY.

- NOTES:
1. AERIAL EASEMENT AND GUY ANCHOR EASEMENT RECORDED IN VOLUME 13,  
 PAGE 21-22 DOES NOT AFFECT SUBJECT PROPERTY.
  2. THE 10 FOOT WIDE AND 5 FOOT WIDE SETBACK LINES ARE RECORDED IN  
 CLERK'S FILE NO. 2001048478 OF THE OFFICIAL RECORDS OF BRAZORIA  
 COUNTY, TEXAS.
  3. SUBJECT PROPERTY IS LOCATED IN G985 AREA, DATED 10/07/1983  
 IN PERMITS FROM M&M-701, AS SHOWN IN AN EFFECTIVE  
 DATE OF 12/30/2020, AND IS IN A VE-2 ZONE.

S.F. AUSTIN PENINSULAR LEAGUE  
 ABSTRACT 29  
 BRAZORIA COUNTY, TEXAS  
 IN THE  
 BRAZORIA COUNTY PLAT RECORDS  
 OF THE  
 KEY LARGO RESORT  
 RECORDED IN  
 VOLUME 13, PAGE 21-22  
 FOR

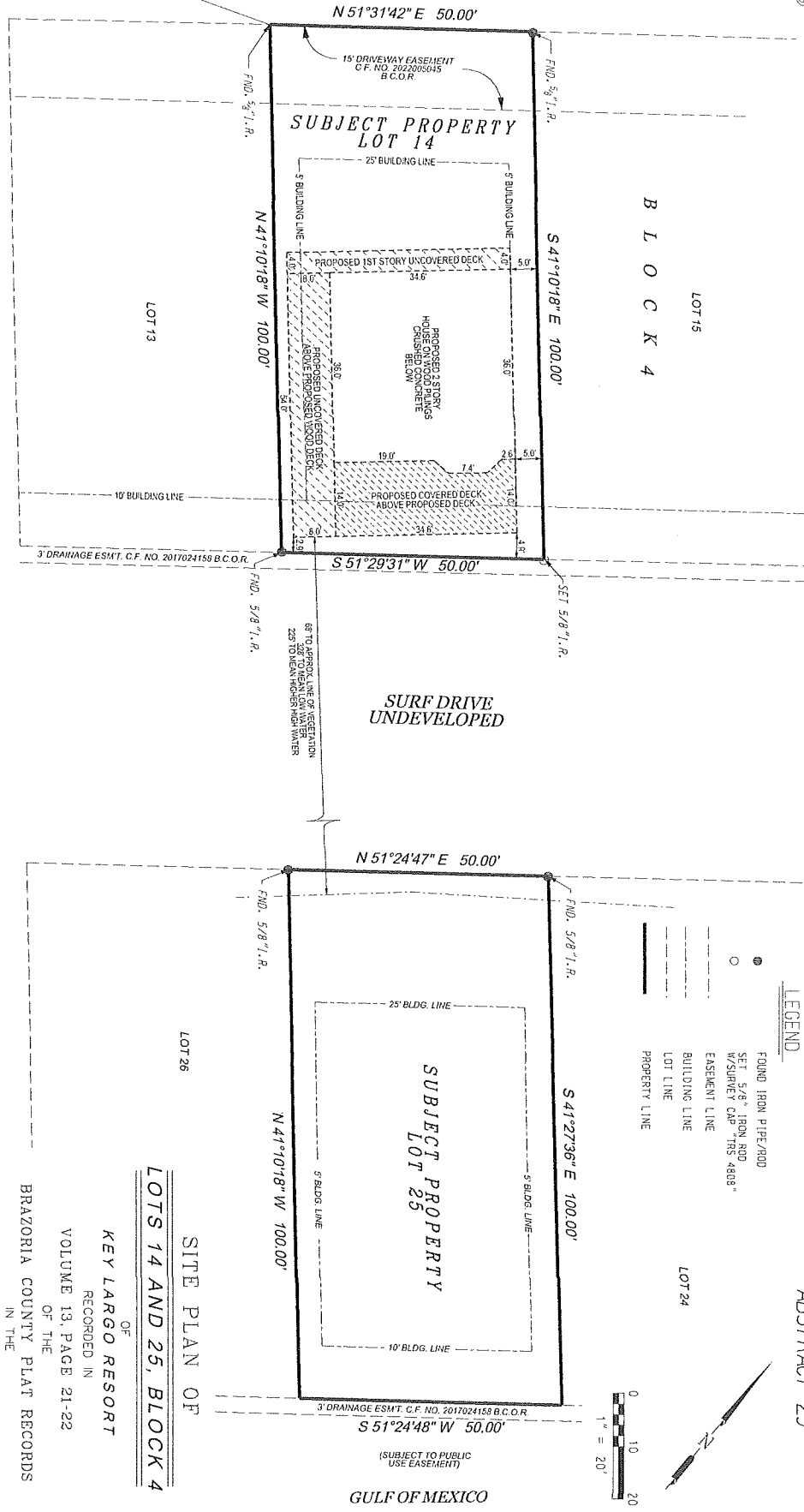
STEPHEN P. & DEBORAH G. SAROONE  
 8012 BLUEWATER HIGHWAY  
**Doyle & Wachstetter, Inc.**  
 Surveying and Mapping GPS/GIS  
 1317-23-00  
 2022-23-00  
 1317-23-00  
 2022-23-00

SURVEYED BY: DOYLE & WACHSTETTER, INC.  
 DATE: 08/24/2023  
 DRAWN BY: DOYLE & WACHSTETTER, INC.  
 DATE: 08/24/2023  
 CHECKED BY: DOYLE & WACHSTETTER, INC.  
 DATE: 08/24/2023  
 APPROVED BY: DOYLE & WACHSTETTER, INC.  
 DATE: 08/24/2023

BRAZORIA COUNTY  
 TEXAS

S.F. AUSTIN PENINSULAR LEAGUE  
 ABSTRACT 29

**BLUEWATER HIGHWAY (COUNTY ROAD 257)**  
 (120' WIDE ROAD EASEMENT 821/639 B.C.D.R. AND 855/343 B.C.D.R.)



**SITE PLAN OF**  
**LOTS 14 AND 25, BLOCK 4**

OF  
 THE  
 KEY LARGO RESORT  
 RECORDED IN  
 VOLUME 13, PAGE 21-22  
 OF THE  
 BRAZORIA COUNTY PLAT RECORDS  
 IN THE

S.F. AUSTIN PENINSULAR LEAGUE  
 ABSTRACT 29  
 BRAZORIA COUNTY, TEXAS  
 IN THE  
 BRAZORIA COUNTY PLAT RECORDS  
 OF THE  
 KEY LARGO RESORT  
 RECORDED IN  
 VOLUME 13, PAGE 21-22  
 FOR

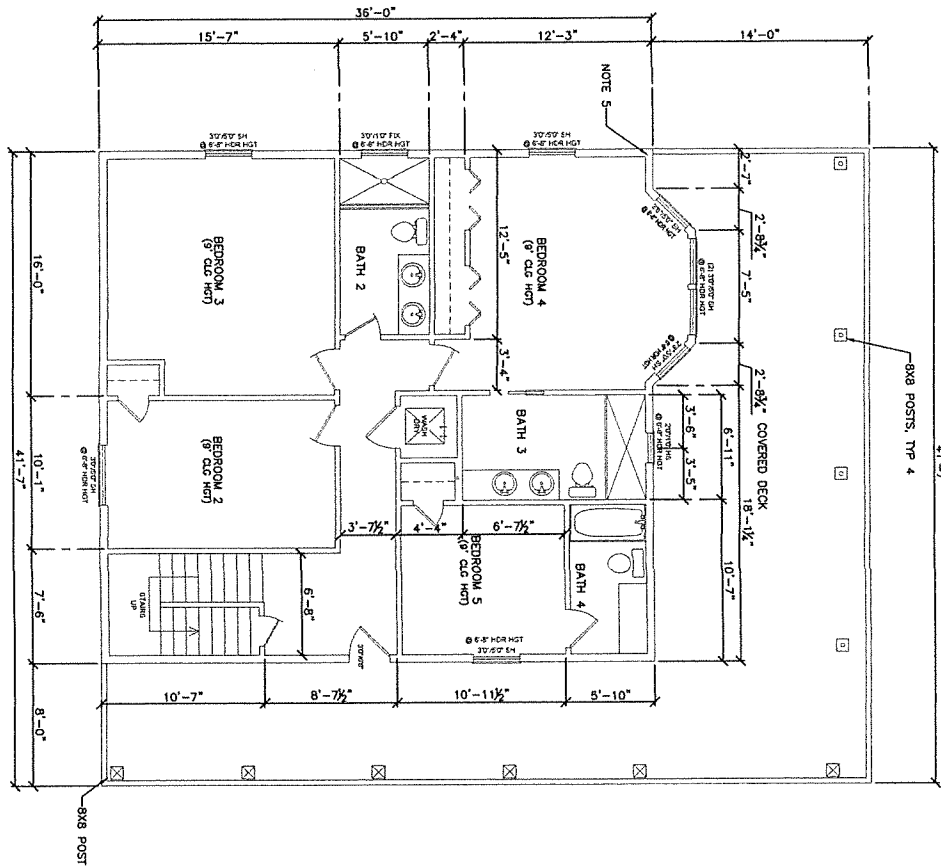
STEPHEN P. & DEBORAH G. SAROONE  
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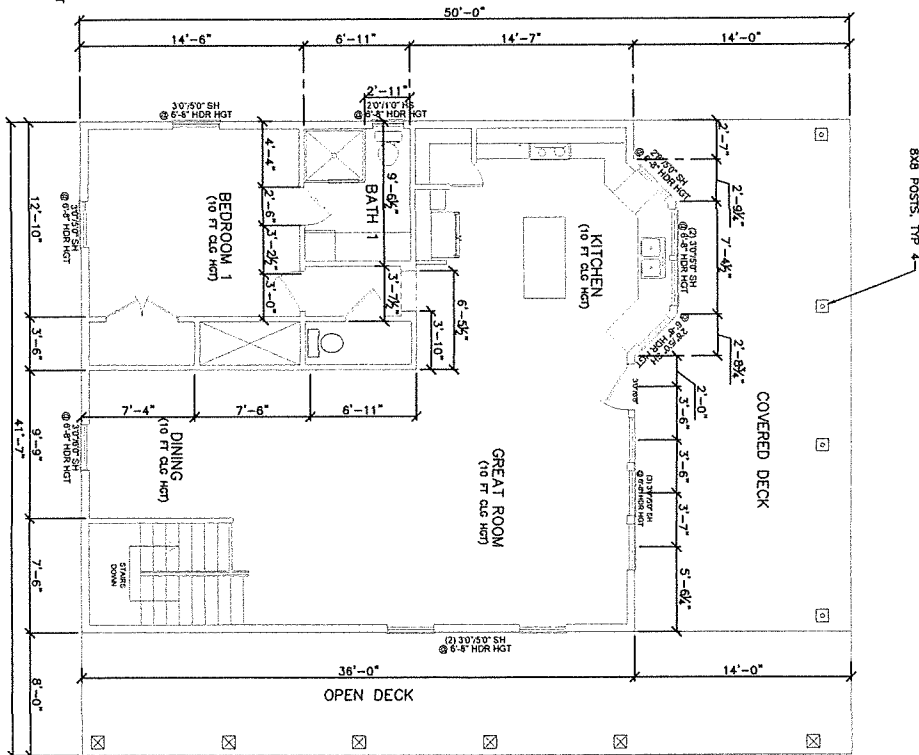
SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN

NOTE: THIS DESIGN MEETS THE REQUIREMENTS OF THE 2018 IRC (INTERNATIONAL RESIDENTIAL CODE), DESIGN WIND VELOCITY = 150 MPH (3 SEC QSTS. USD), EXPOSURE D, RISK CATEGORY II.

1ST FLOOR

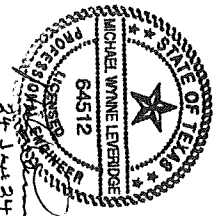


2ND FLOOR



DIMENSIONED FLOOR PLAN

SCALE: 1/8" = 1'-0"



JOB # 101-01827-079

Engineers of Brazosport, LLC  
 TBPE REG. NO. F-008007  
 122 West Way Street, Suite 201  
 Lake Jackson, Texas 77566  
 (979) 265-3383

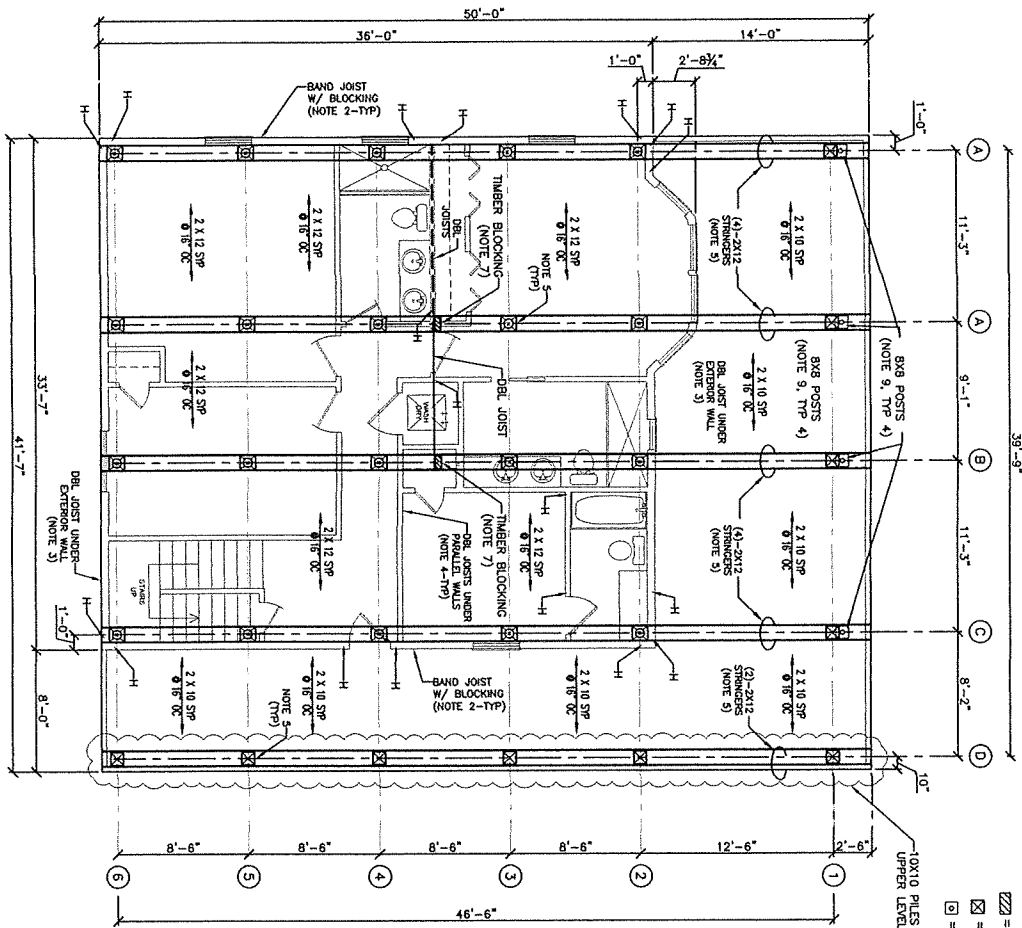
REV: 0  
 DATE:  
 01/24/24

**A1**

**SPEICH CUSTOM HOMES**  
 8012 BLUEWATER HWY, KEY LARGO S/D  
 FREEPORT, TEXAS

SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN

NOTE: THIS DESIGN MEETS THE REQUIREMENTS OF THE 2018 IRC (INTERNATIONAL RESIDENTIAL CODE), DESIGN WIND VELOCITY = 150 MPH (3 SEC. CLUST. USD), EXPOSURE 0, RISK CATEGORY II.

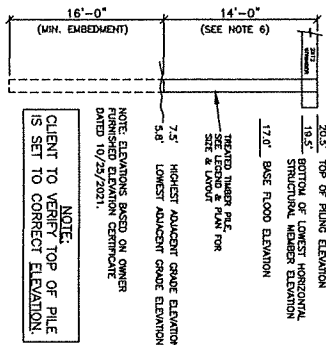


LEGEND:

- ☐ = 12X12 PILING
- H = HOLDDOWN (SEE NOTE 1)
- ▤ = 4X8 MIN. TIMBER BLOCKING
- ☒ = 10X10 PILES TO UPPER DECK
- ☒ = 4X8 POSTS TO ROOF BEAM

NOTES:

1. SEE WIND FORCE RESISTING PLAN FOR TYPE OF HOLDDOWN.
2. INSTALL BAND JOIST WITH SOLID BLOCKING BETWEEN JOISTS AT EXTERIOR WALLS PARALLEL TO STRINGER BEAMS. SEE DETAIL 625162.
3. INSTALL DOUBLE JOIST UNDER EXTERIOR WALL. SEE DETAIL 625161.
4. INSTALL DOUBLE JOIST UNDER PARALLEL WALLS ABOVE.
5. TYPICAL STRINGER/PILE CONNECTION (SEE DET 625220). THIS DRAWING AND EMBEDMENT, SEE TYPICAL PILE DETAIL THIS DRAWING. NOTE: GROUND ELEVATIONS VARY, CLIENT TO VERIFY ELEVATIONS, FILL REQUIREMENTS AND REQUIRED PILING LENGTH PRIOR TO PILING INSTALLATION. SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN.
6. PROVIDE SOLID BLOCKING (MIN. 4X8 TIMBER) BETWEEN STRINGERS TO TOP OF FLOOR JOISTS AT INDICATED LOCATIONS. BOLT BLOCKING TO STRINGERS AND FLOOR JOISTS USING (2) 3/4" DIA. GALV. MACH. BOLTS WITH NUTS AND WASHERS AT EACH CONNECTION.
7. INDICATED 10X10 PILES EXTEND TO UPPER LEVEL DECK FLOORING. NOTCH PILE AT BOTH LOWER & UPPER DECK LEVELS AND BOLT TO DECK STRINGERS USING (4) 3/4" GALV. BOLTS AND 3" DIA. STRONGER BEAMS TO FASTEN DECK COVERED ROOF BEAM NOTCH BOTTOM OF POSTS AND BOLT BETWEEN STRINGERS. NOTE: BOTTOM OF POSTS TO BEAR UPON TOP OF PILE BELOW LEAVING A MINIMUM OF 6" REMAINING THICKNESS TO BOLT BETWEEN STRINGER BEAMS (2) 3/4" BOLTS.
8. PROVIDE SOLID BLOCKING (MIN. 4X8 TIMBER) BETWEEN STRINGERS TO TOP OF FLOOR JOISTS AT INDICATED LOCATIONS. BOLT BLOCKING TO STRINGERS AND FLOOR JOISTS USING (2) 3/4" DIA. GALV. MACH. BOLTS WITH NUTS AND WASHERS AT EACH CONNECTION.
9. INDICATED 10X10 PILES EXTEND TO UPPER LEVEL DECK FLOORING. NOTCH PILE AT BOTH LOWER & UPPER DECK LEVELS AND BOLT TO DECK STRINGERS USING (4) 3/4" GALV. BOLTS AND 3" DIA. STRONGER BEAMS TO FASTEN DECK COVERED ROOF BEAM NOTCH BOTTOM OF POSTS AND BOLT BETWEEN STRINGERS. NOTE: BOTTOM OF POSTS TO BEAR UPON TOP OF PILE BELOW LEAVING A MINIMUM OF 6" REMAINING THICKNESS TO BOLT BETWEEN STRINGER BEAMS (2) 3/4" BOLTS.



TYPICAL PILE DETAIL

PILING FOUNDATION PLAN

SCALE: 1/8" = 1'-0"



JOB # 101-01827-079

Engineers of Brazosport, LLC

TBPE REG. NO. F-008007  
122 West Way Street, Suite 401  
Lake Jackson, Texas 77566  
(979) 265-3383

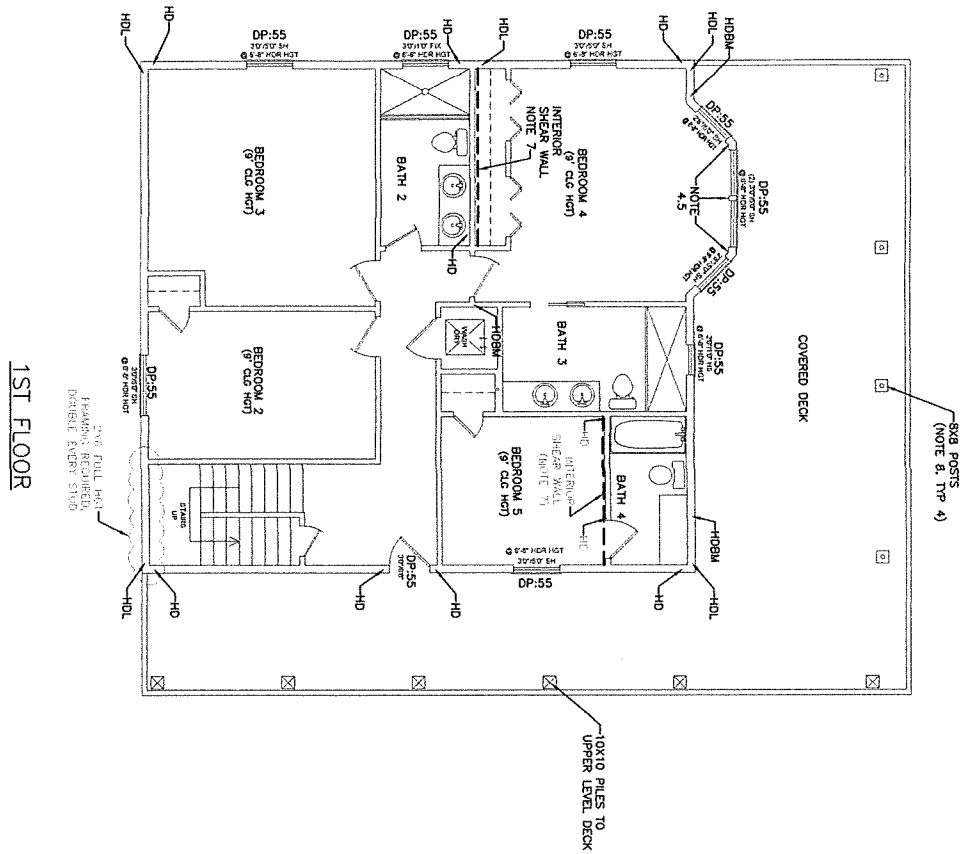
REV: 0  
DATE:  
01/24/24

**S1**

**SPEICH CUSTOM HOMES**  
8012 BLUEWATER HWY, KEY LARGO S/D  
FREEPORT, TEXAS

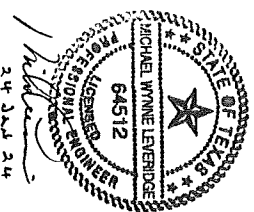
SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN

NOTE: THIS DESIGN MEETS THE REQUIREMENTS OF THE 2019 IRC (INTERNATIONAL RESIDENTIAL CODE), DESIGN WIND VELOCITY = 150 MPH (3 SEC GUSTS, USD), EXPOSURE D, RISK CATEGORY II.



3" NAILING  
ALL EXTERIOR WALLS  
(SEE NOTE 3)

WIND FORCE RESISTING  
SYSTEM PLAN  
SCALE: 1/8" = 1' 0"

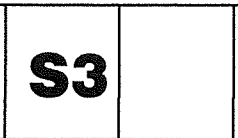


- LEGEND:
- HOB = HITS HOLDOWN (TOP SIDE) WITH 8#5/8"-2" WASHER ATTACHED TO WLN. (2) FULL STUDS W/ (26) SWS #10 X 2.5" SCREWS. USE (2) LETA 1# STRIPS (STUD TO BAND JOIST / TOP SIDE), H088 (BOTTOM SIDE) BOLT TO WLN. (2) STRIPPERS W/ SOUD BLOCKING. USE 5/8" GALV. ROD TO CONNECT HOLDOWNS. INSTALLATION PER DETAIL 625260 (CP=6170g).
  - HOL = LOWER FLOOR HOLDOWN - HITS (TOP SIDE) ATTACHED TO WLN. (2) FULL STUDS W/ (26) 1#4 (0.162" DIA. X 2.5" LONG) NAILS. H088 (BOTTOM SIDE) ATTACH TO STRIPPERS. ALIGNED - ATTACH TO SAME STUD PLEX AS HOLDOWN FROM FLOOR ABOVE. INSTALLATION PER DETAIL 625260 (CP=44933g).
  - HOBM = HOLDOWN, HITS (TOP SIDE), ATTACHED TO WLN. (2) FULL STUDS WITH (26) 1#4 (0.162" DIA. X 2.5" LONG) NAILS. ATTACH THRU DEB. JOIST, BEAM OR TRUSS BELOW USING 5/8" GALV. BOLT & 2" SQUARE WASHER @ BOTL. SEE DETAIL 625211 (CP=5094g)
  - DP-1X = MINIMUM REQUIRED DESIGN PRESSURE (P<sub>S</sub>) FOR WINDOWS & DOORS (SEE NOTE 4.3)
- NOTES: WIND FORCE RESISTING SYSTEM PLAN
1. FULL HT. STUDS AT ALL EXTERIOR WALLS (NO POINT WALLS). 2x6 WALL FRAMING REQUIRED FOR ALL EXTERIOR WALLS.
  2. ROOFING:
    - 2.1. ROOFING PRODUCTS SHALL BE LISTED AS APPROVED PRODUCTS IN THE PRODUCT EVALUATION REPORT MAINTAINED BY THE TEXAS DEPARTMENT OF INSURANCE. ASPHALT SHINGLE ROOF COVERINGS MUST BE TESTED IN ACCORDANCE WITH ASTM D 7198 CLASS 1 OR ASTM D 3161 CLASS 2. SINGLE-PLY MEMBRANE ROOF COVERINGS MUST BE TESTED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE TDJ PRODUCT EVALUATION.
    - 2.2. WINDUPOON DECKS PROTECTION - ALL PRODUCTS WITH GLAZING MUST USE AN IMPACT RATED PRODUCT OR HAVE AN APPROVED IMPACT PROTECTION SYSTEM. DOORS WITH GLAZING MUST BE IMPACT RATED (DOOR AND GLASS ASSEMBLY) OR HAVE AN APPROVED IMPACT PROTECTION SYSTEM FOR THE ENTIRE DOOR OPENING.
    - 2.3. INSTALL MULTIPLE WINDOW UNITS WITH 6" MINIMUM FRAMING (OBL. 2X KING STUDS + 2 JACK STUDS) BETWEEN UNITS OR USE TESTED AND APPROVED FACTORY WULFED UNITS.
    - 2.4. SEE DETAILS WITH TRANSMITTAL DOCUMENT. REFER TO DRAWING 54 FOR CEILING FRAMING.
    - 2.5. NOT USED.
    - 2.6. NOT USED.
    - 2.7. INSTALL INTERIOR SHEARWALLS (IN LOCATIONS INDICATED) PER DETAIL 63310 OR 63311. NOTE: INTERIOR SHEARWALL ON 2ND FLOOR TO EXTEND INTO ATTIC SPACE AND CONNECTED TO RAFTERS ABOVE.
    - 2.8. NOTIFY TOP OF POST AND BOLT TO COVERED DECK ROOF BEAMS WITH (2) 3/4" GALV. WASH. BOLTS W/ NUTS & WASHERS ON EACH SIDE OF BOLT. DO NOT NOTICE MORE THAN SIZE OF THICKNESS OF POST.
  3. WALL SHEATHING TO BE Nailed AT 3" O.C. (PERIMETER) AND 6" O.C. (FIELD) ON SIPS INDICATED.
  4. WINDOWS AND DOORS:
    - 4.1. WINDOWS AND DOORS MUST MEET PRESSURE REQUIREMENTS AS NOTED NEXT TO OPENING. BE LISTED AS AN APPROVED PRODUCT IN THE PRODUCT EVALUATIONS LIST MAINTAINED BY THE TEXAS DEPARTMENT OF INSURANCE AND BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE TDJ PRODUCT EVALUATION.
    - 4.2. WINDUPOON DECKS PROTECTION - ALL PRODUCTS WITH GLAZING MUST USE AN IMPACT RATED PRODUCT OR HAVE AN APPROVED IMPACT PROTECTION SYSTEM. DOORS WITH GLAZING MUST BE IMPACT RATED (DOOR AND GLASS ASSEMBLY) OR HAVE AN APPROVED IMPACT PROTECTION SYSTEM FOR THE ENTIRE DOOR OPENING.
    - 4.3. INSTALL MULTIPLE WINDOW UNITS WITH 6" MINIMUM FRAMING (OBL. 2X KING STUDS + 2 JACK STUDS) BETWEEN UNITS OR USE TESTED AND APPROVED FACTORY WULFED UNITS.
    - 4.4. SEE DETAILS WITH TRANSMITTAL DOCUMENT. REFER TO DRAWING 54 FOR CEILING FRAMING.
    - 4.5. NOT USED.

JOB # 101-01827-079

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 TBPE REG. NO. F-008007  
 122 West Way Street, Suite 401  
 Lake Jackson, Texas 77566  
 (979) 265-3383

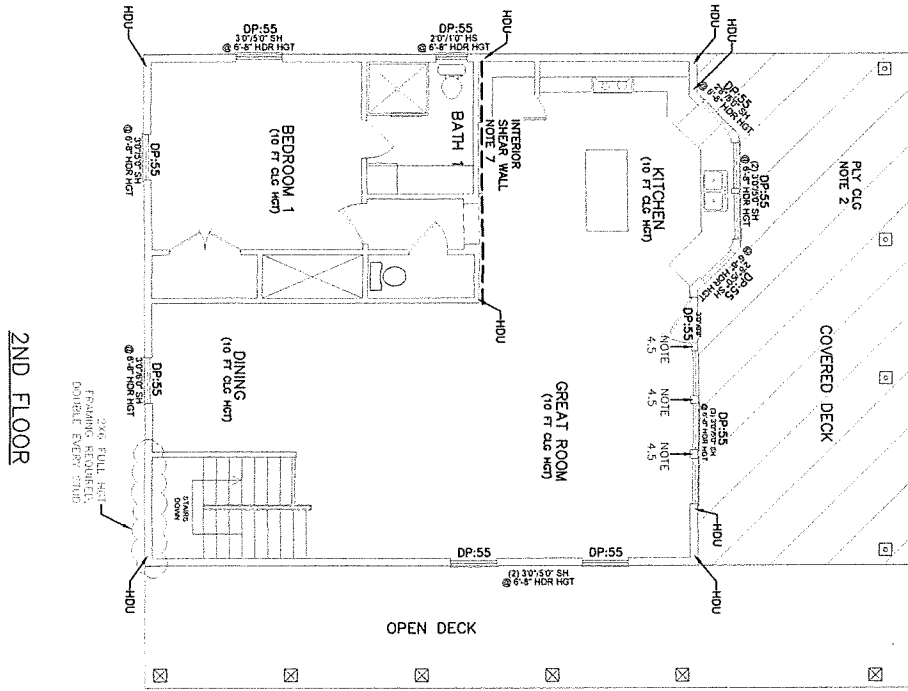
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 DATE:  
 01/24/24



SPEICH CUSTOM HOMES  
 8012 BLUEWATER HWY, KEY LARGO S/D  
 FREEPORT, TEXAS

SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN

NOTE: THIS DESIGN MEETS THE REQUIREMENTS OF THE 2018 IRC (INTERNATIONAL RESIDENTIAL CODE), DESIGN WIND VELOCITY = 150 MPH (3 SEC CLUST. USD), EXPOSURE 0, RISK CATEGORY II.



2ND FLOOR

3" NAILING  
ALL EXTERIOR WALLS  
(SEE NOTE 3)

WIND FORCE RESISTING  
SYSTEM PLAN  
SCALE: 1/8" = 1' 0"



JOB # 101-01827-079

Engineers of Brazosport, LLC  
TBPE REG. NO. F-008007  
122 West Way Street, Suite 401  
Lake Jackson, Texas 77566  
(979) 265-3383

REV: 0  
DATE:  
01/24/24

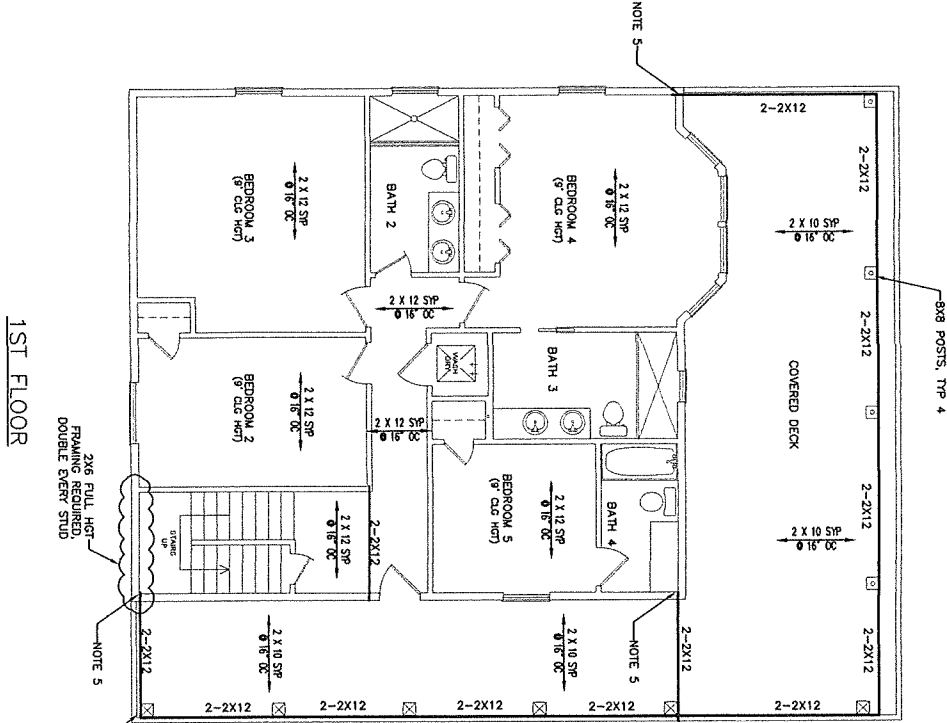
**S3A**

**SPEICH CUSTOM HOMES**  
8012 BLUEWATER HWY, KEY LARGO S/D  
FREEPORT, TEXAS

- LEGEND:
- HOU = UPPER FLOOR HOODINGS - (2) HTS HOODINGS (1 top / 1 BOTTOM), ATTACH TO MIN. (2) FULL STUDS W/ 16d (0.162" DIA X 2.5" LONG) NAILS. ATTACH TO SAME STUD PACK BELOW AS LOWER HOODING ON FLOOR BELOW. SEE DETAIL 629210 (CWP-2599J).
  - DP-XX = MINIMUM REQUIRED DESIGN PRESSURE (P<sub>SF</sub>) FOR WINDOWS & DOORS (SEE NOTE 4.3)
- NOTES: WIND FORCE RESISTING SYSTEM PLAN
1. SEE NOTES DWG. S3
  2. INSTALL 1/2" SCHED. ON UNDERSIDE OF CEILING JOISTS IN AREA INDICATED. NAIL 3" O.C. (PERMETER) AND 6" O.C. (FIELD). AS AN ALTERNATE FOR PERCH BRAYS) HARDE PANEL MAY BE USED PROVIDED PANELS ARE INSTALLED AS FOLLOWS: PANELS SHALL BE INSTALLED WITH LONG AXIS ACROSS JOISTS AND WITH ALL PANEL EDGES FLOORED WITH MIN. 1.5" WIDE FRAMING, NAIL 4" O.C. AT PANEL EDGES AND 6" O.C. IN FIELD USING 9d NAILS.

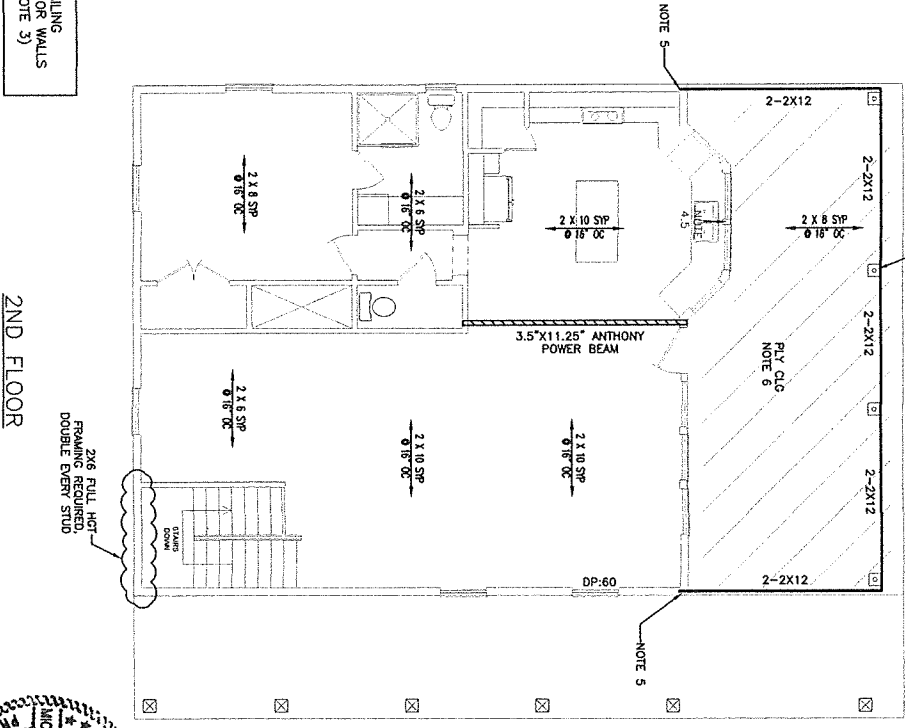
SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN

NOTE: THIS DESIGN MEETS THE REQUIREMENTS OF THE 2018 IRC (INTERNATIONAL RESIDENTIAL CODE), DESIGN WIND VELOCITY = 150 MPH (3 SEC GUSTS, USD), EXPOSURE D, RISK CATEGORY II.



10x10 PILE  
2x6 FULL HEIGHT FRAMING REQUIRED DOUBLE EVERY STUD

3" NAILING ALL EXTERIOR WALLS (SEE NOTE 3)



2x6 FULL HEIGHT FRAMING REQUIRED DOUBLE EVERY STUD

CEILING FRAMING PLAN

SCALE: 1/8" = 1'-0"

- NOTES:
1. CEILING JOISTS ARE 2X6 @ 16" O.C. #2 SYP UNLESS NOTED.
  2. ALL CEILING AND FLOOR JOISTS TO BE #2 SYP UNLESS NOTED.
  3. ATTACH CEILING JOISTS TO FLUSH BEAMS WITH SIMPSON HANGERS (SIMPSON HUC SERIES OR EQUAL). PROVIDE 3/16" FLANGE FACE MOUNT PACK IN WALL AT ATTACHMENT LOCATION. MAINTAIN DEL. TOP EDGE OF JOIST UNDER END OF BEAM.
  4. PROVIDE 2X6 FRAMING AT EXTERIOR WALLS WHERE PLUMBING RISERS ARE LOCATED.
  5. NOTCH PORCH BEAMS INTO WALL FRAMING OR ATTACH USING TYPE 316L STAINLESS STEEL CONCEALED FLANGE FACE MOUNT HANGERS (SIMPSON HUC SERIES OR EQUAL). PROVIDE 3/16" FLANGE FACE MOUNT PACK IN WALL AT ATTACHMENT LOCATION. MAINTAIN DEL. TOP EDGE OF JOIST UNDER END OF BEAM.
  6. PROVIDE 2X6 FRAMING AT EXTERIOR WALLS WHERE PLUMBING RISERS ARE LOCATED.
  7. PROVIDE 2X6 FRAMING AT EXTERIOR WALLS WHERE PLUMBING RISERS ARE LOCATED.



JOB # 101-01827-079

Engineers of Brazosport, LLC

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REV: 0  
DATE:  
01/24/24

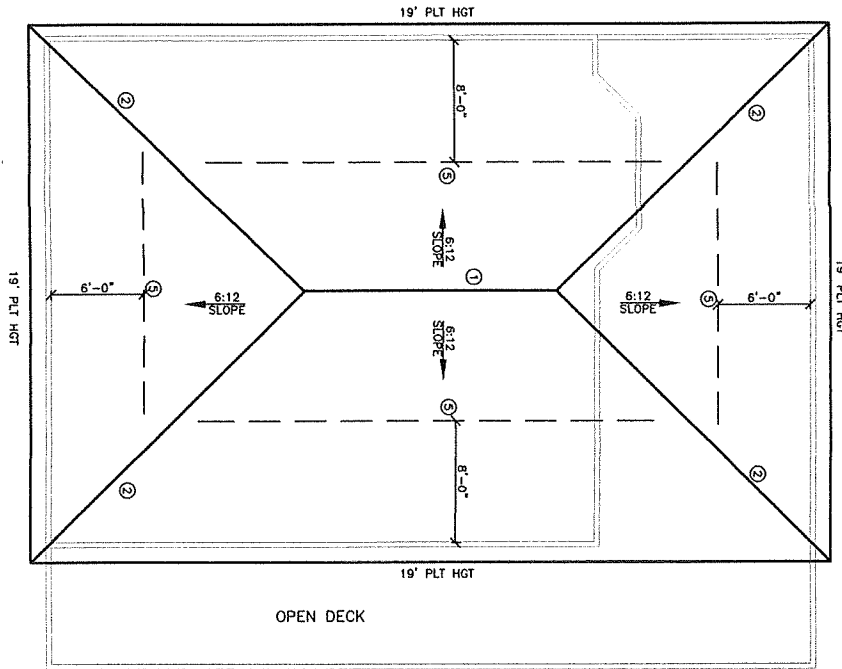
S4

SPEICH CUSTOM HOMES  
8012 BLUEWATER HWY, KEY LARGO S/D  
FREEPORT, TEXAS



SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN

NOTE: THIS DESIGN MEETS THE REQUIREMENTS OF THE 2018 IRC (INTERNATIONAL RESIDENTIAL CODE), DESIGN WIND VELOCITY = 150 MPH (3 SEC GUSTS, USD), EXPOSURE D, RISK CATEGORY II.



LEGEND:

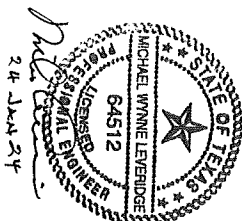
- ① RIDGE
- ② HP
- ③ VALLEY
- ④ CRICKET
- ⑤ PURLIN

NOTES: ROOF FRAMING PLAN

1. RAFTERS ARE 2 X 6 @ 16" O.C. #2 OR #3 SYP UNLESS NOTED.
2. PURLINS AND BRACING - SEE DETAIL 622030.
3. CONNECTORS - SEE DETAIL 622030.
4. CRICKETS TO BE APPLIED TO ROOF DECK AND CONNECTED TO FRAMING WITH 3/8" X 4" GALVANIZED LAG SCREWS WITH WASHER.
5. DOUBLE FRAMING AROUND CHIMNEYS, DORMERS, SKYLIGHTS, AND OTHER MAJOR ROOF OPENINGS.
6. OUTLOOKERS TO BE 2 X 4 @ 16" ON CENTER.

ROOF FRAMING PLAN

SCALE: 1/8" = 1'-0"



JOB # 101-01827-079

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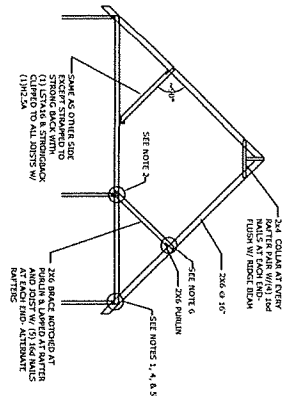
REV: 0

DATE:  
01/24/24

**S5**

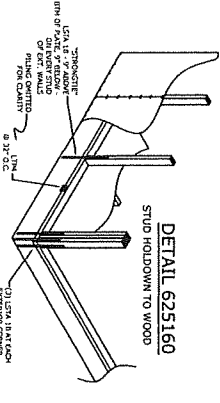
**SPEICH CUSTOM HOMES**  
8012 BLUEWATER HWY, KEY LARGO S/D  
FREEPORT, TEXAS

NOTE: USE DETAILS THAT APPLY TO A PARTICULAR PROJECT

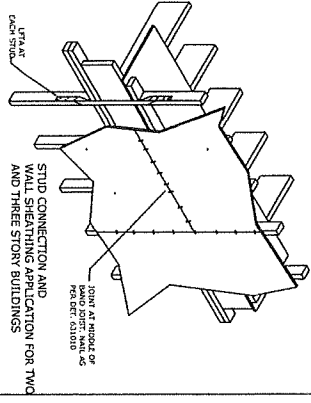


NOTES:  
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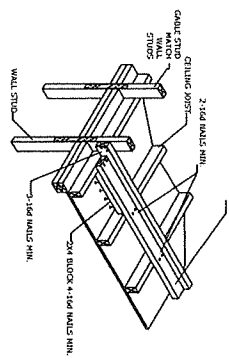
RAFTER BRACING AND HOLD-DOWN SYSTEM (2x6 RAFTERS @ 18\"/>



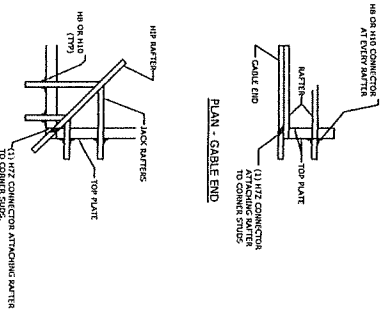
DETAIL 625160  
 STUD HOLD-DOWN TO WOOD



DETAIL 625120  
 MULTI-STORY STUD WALL

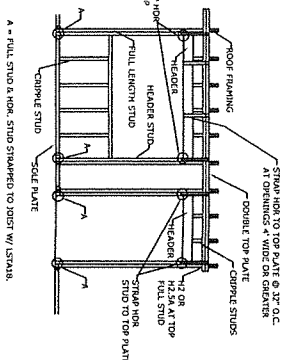


GABLE ENDWALL FRAMING JOISTS PARALLEL TO ENDWALL  
 DETAIL 624010



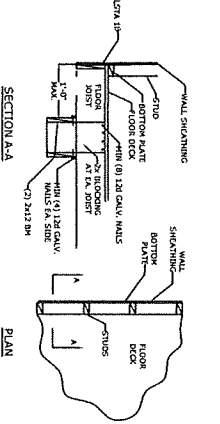
PLAN - HIP AT CORNER  
 1. (1) 1/8\"/>

DETAIL 625151  
 CORNER RAFTER TO PLATE CONNECTION SEAMWARD

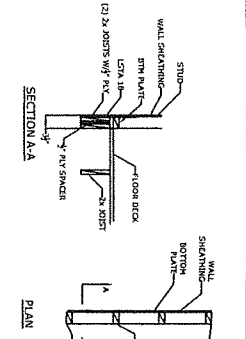


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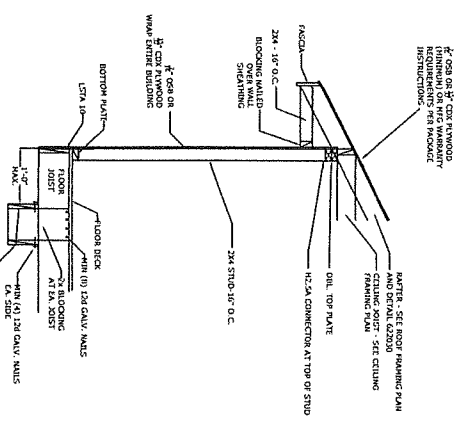
FRAMING AND CONNECTIONS FOR WALLS AND JOISTS PERPENDICULAR TO JOISTS  
 DETAIL 625162



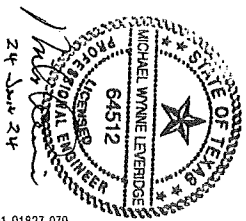
SECTION A-A  
 EXT. WALL PERPENDICULAR TO JOISTS  
 DETAIL 625162



SECTION A-A  
 EXT. WALL PARALLEL TO JOISTS  
 DETAIL 625161



TYPICAL EXTERIOR WALL  
 DETAIL 625114



JOB # 101-01827-079

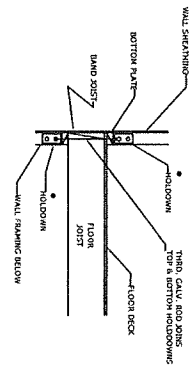
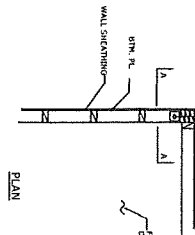
Engineers of Brazosport, LLC  
 TBPE REG. NO. F-008007  
 122 West Way Street, Suite 401  
 Lake Jackson, Texas 77566  
 (979) 265-3383

REV: 0  
 DATE:  
 01/24/24



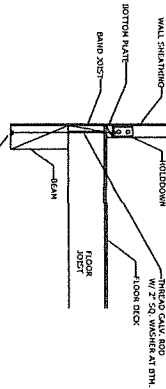
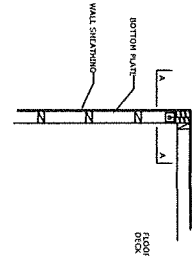
**STRUCTURAL DETAILS**  
**SPEICH CUSTOM HOMES**  
 8012 BLUEWATER HWY. / KEY LARDO S/D  
 FREEPORT, TEXAS

NOTE: USE DETAILS THAT APPLY TO A PARTICULAR PROJECT



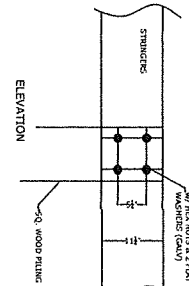
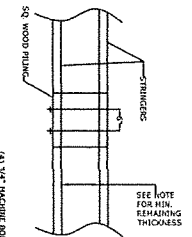
SECTION A-A  
SEE WIND FORCE RESISTING SYSTEM PLAN FOR HOLD-DOWN TYPE

HOLD-DOWN AT SECOND FLOOR CORNER  
DETAIL 625210



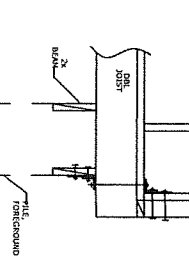
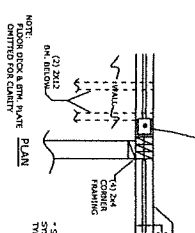
SECTION  
SEE WIND FORCE RESISTING SYSTEM PLAN FOR HOLD-DOWN TYPE

HOLD-DOWN AT SECOND FLOOR CORNER ON BEAM  
DETAIL 625211



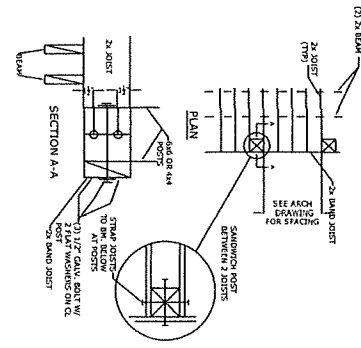
NOTE: REFER TO SHEET FOR BEARING CAPACITY OF PILES. STRIPSTEEL SHALL BE 1/2\"/>

BEAM - PILE CONN.  
DETAIL 625220

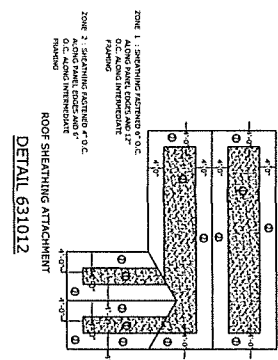


SECTION  
SEE WIND FORCE RESISTING SYSTEM PLAN FOR HOLD-DOWN TYPE

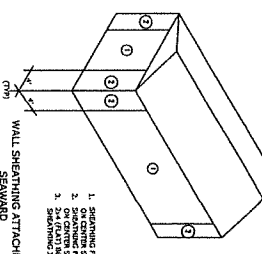
CORNER HOLD-DOWN  
DETAIL 625260



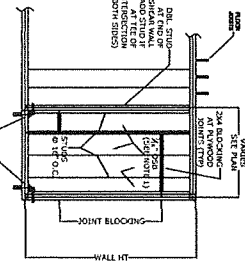
PORCH POST AND RAIL CONN. TO FLOOR JOISTS  
DETAIL 625262



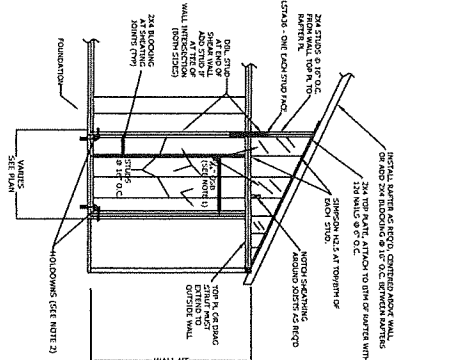
ROOF SHEATHING ATTACHMENT  
DETAIL 631012



WALL SHEATHING ATTACHMENT SEAWARD  
DETAIL 631011



INTERNAL SHEAR WALL DETAIL  
DETAIL 633110



INTERNAL SHEAR WALL DETAIL  
DETAIL 633111

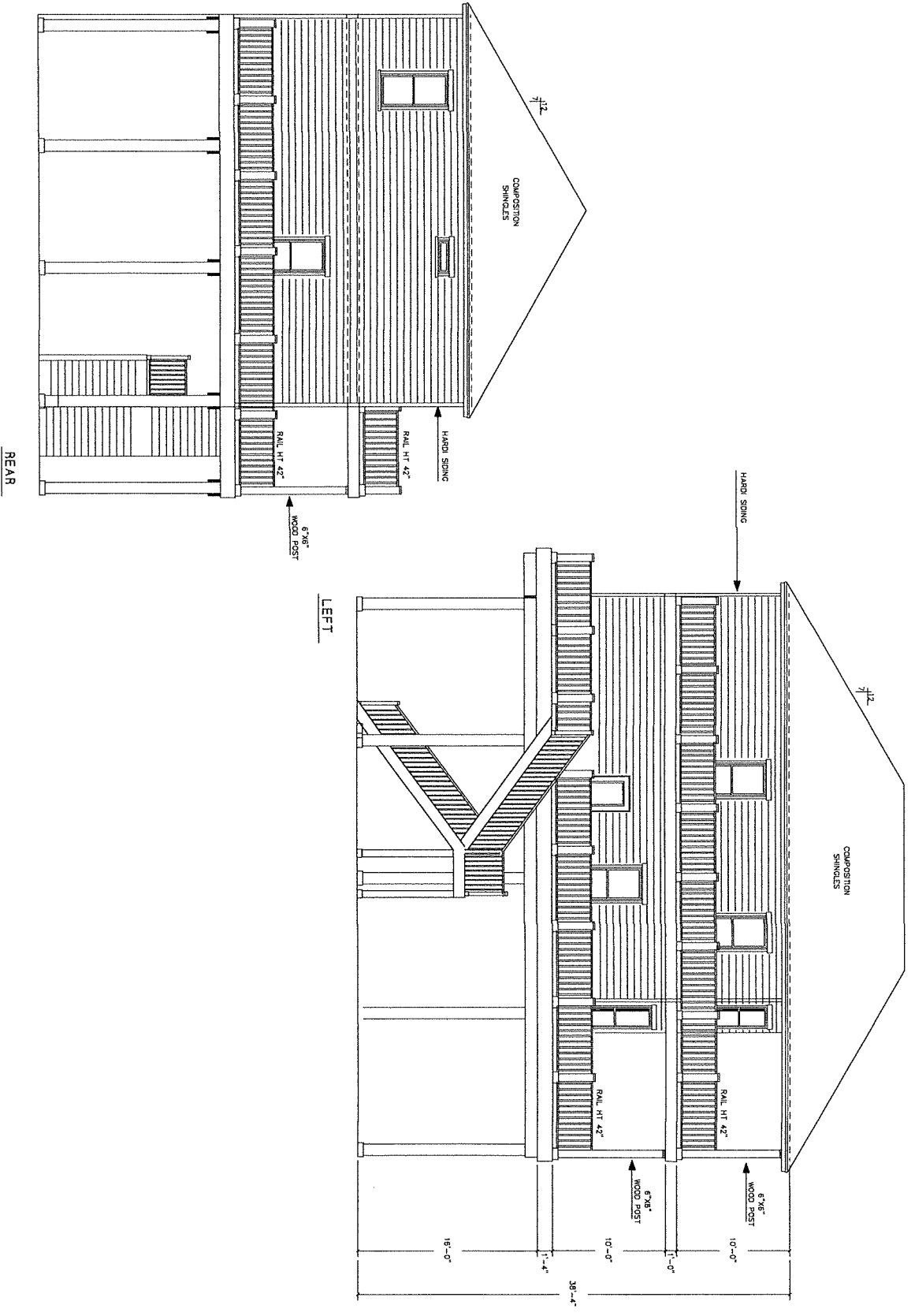
JOB # 101-01827-079

Engineers of Brazosport, LLC  
TBPE REG. NO. F-008007  
122 West Way Street, Suite 401  
Lake Jackson, Texas 77566  
(979) 265-3383

REV: 0  
DATE: 01/24/24



STRUCTURAL DETAILS  
SPEICH CUSTOM HOMES  
8012 BLUEWATER HWY. / KEY LARDO S/D  
FREEPORT, TEXAS



**Level One**  
**Designers**

Project: 2024-10-10-10-10  
332-482-8822  
levelonedesigners.com

note: While every attempt has been made to avoid mistakes and omissions, the designer can not guarantee that there are no errors or omissions in this drawing. The client is responsible for the accuracy of the information provided and for the consequences of any errors or omissions. The client must approve all drawings prior to final payment. Final payment is due upon completion of the project.

CLIENT  
GRESHAM W

BUILDER  
SPECH CUSTOM  
HOWES

Project Address:  
5 SADDON  
6012 BUCKLEWATER  
PRESPORT, TX 77541

Date:  
3-17-24

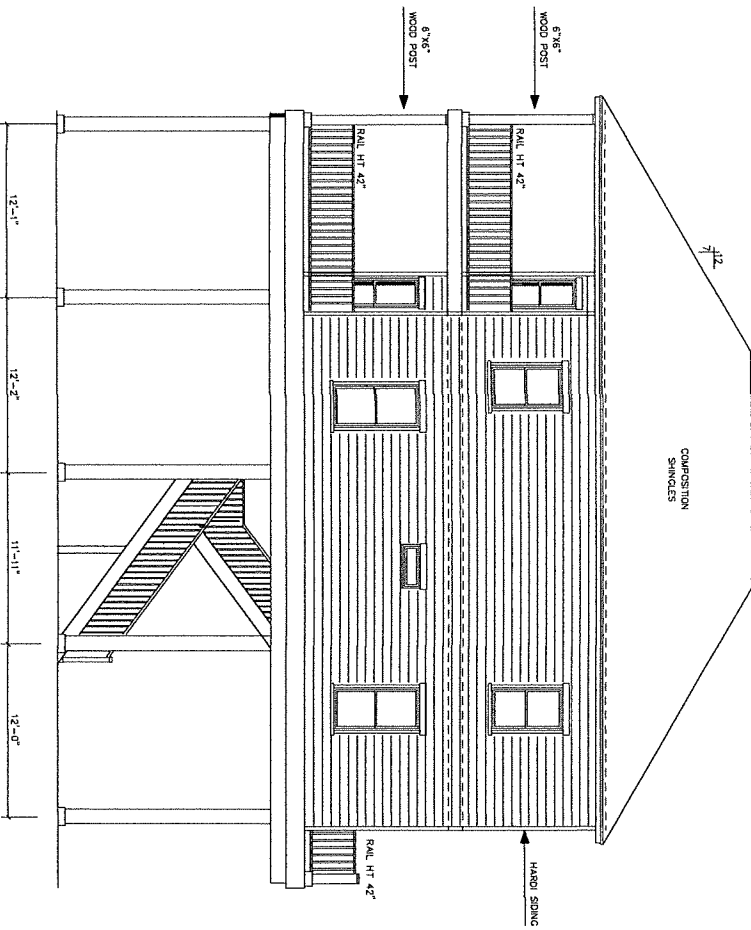
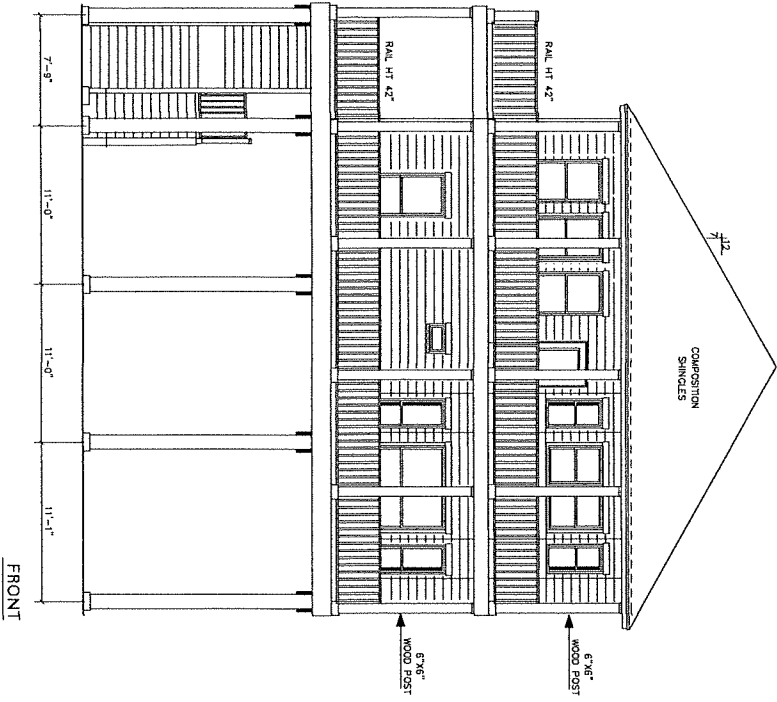
AREA CALCULATIONS

FLOOR AREA	1338.50 SF
CEILING AREA	1338.50 SF
WALL AREA	2400.00 SF
ROOF AREA	400.00 SF
TOTAL	4477.00 SF

SCALE:  
1/4" = 1'-0"

SHEET NAME:  
LEFT-REAR  
ELEVATIONS

SHEET NUMBER:  
A-1



**Level One**  
**Designers**

Randall Parks, Designer  
632-462-8922  
randall@randallparks.com

Note: While every effort has been made to ensure the accuracy of these drawings, the designer can not guarantee the accuracy of these drawings. The contractor must check all details and dimensions and be responsible for any errors or omissions before proceeding. If any error is discovered and correction is required, it is not the responsibility of the designer to verify or re-check the drawings, build time or any other cost of the job.

Client must approve all drawings before proceeding. Payment and/or completion of the plans.

**CLIENT**  
CRENSHAW

**BUILDER**

SPEECH CUSTOM HOMES

**Project Address:**

5. SARDONIC  
8012 BULEWALKER  
FREDERICK, VA 77241

**Date:**  
3-17-24

**AREA CALCULATIONS**

NET FLOOR	1348.58 sq ft
NET CEILING	1148.58 sq ft
TOTAL FLOOR	2497.16 sq ft
COVERED DECK	1024.58 sq ft
UNCOVERED DECK	408.58 sq ft
TOTAL	4426.58 sq ft

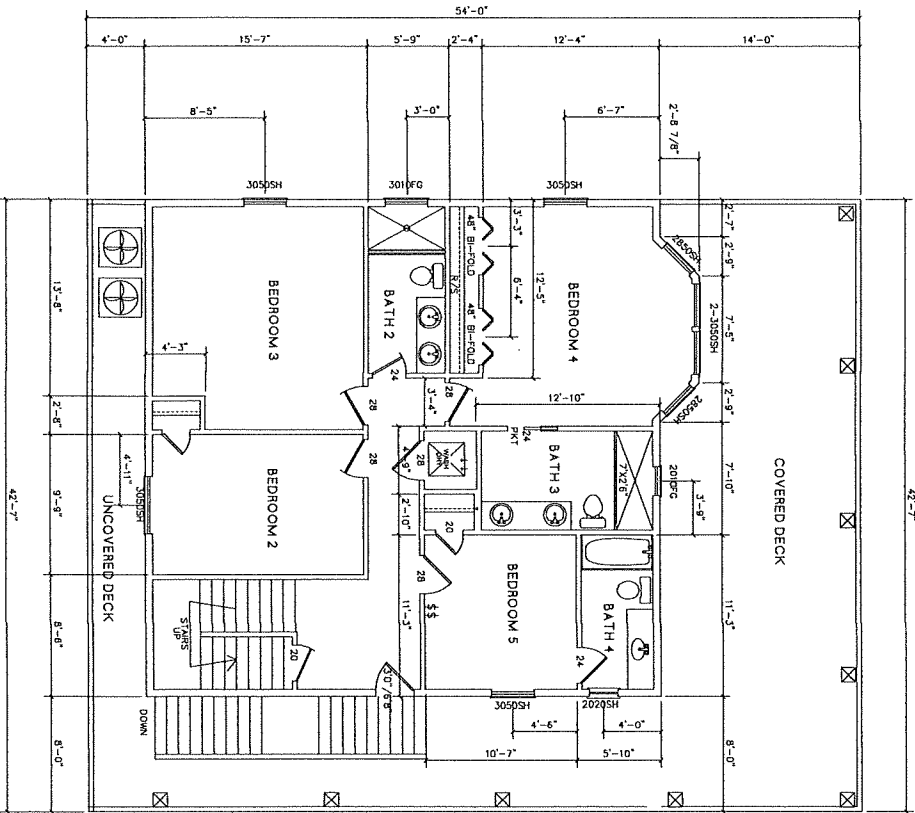
**SCALE:**  
1/4" = 1'-0"

**SHEET NAME:**

**FRONT-RIGHT ELEVATIONS**

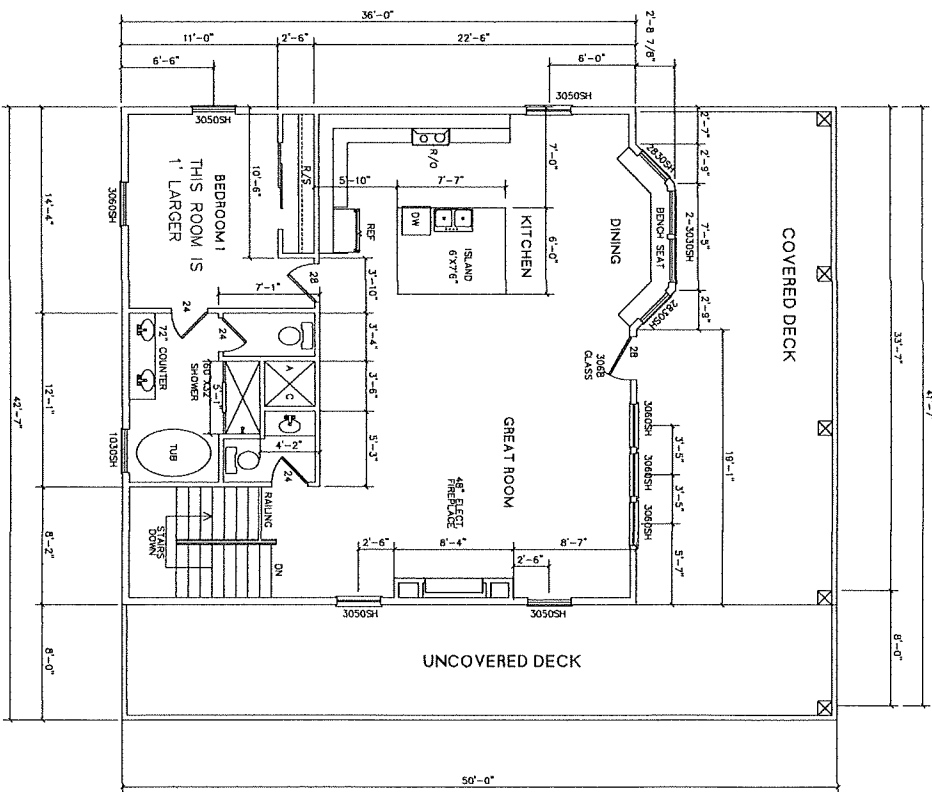
**SHEET NUMBER**

**A-2**



FIRST FLOOR

CEILING HEIGHTS TO BE 10'  
 ALL DOOR HEIGHTS 6'-8"  
 WINDOW HEADER HEIGHTS 8'



SECOND FLOOR

**Level One**  
 Designers  
 Residential Project Designer  
 levelonedesigners@gmail.com

NOTE: While every attempt has been made to avoid mistakes in the preparation of these plans, the designer shall not be held responsible for any errors or omissions. The contractor must check all details for the same, notify the owner in writing immediately if any errors are noted, and proceed with construction.  
 It is not the responsibility of the designer to verify any all structural, utility, fire or any other code requirements.  
 Sheet must not be reproduced or used for any other project without the written consent of the designer.  
 Payment schedule/retentions of the plan.

CLIENT  
 CRENSEAW

BUILDER  
 SPEICH CUSTOM HOMES

Project Address:  
 5, SANDONE  
 8222 SHELBY HWY  
 BIRMINGHAM, AL 35244

DATE:  
 3-17-24

AREA CALCULATIONS

AREA	AREA
FIRST FLOOR	128 SQ FT
SECOND FLOOR	148 SQ FT
TOTAL LIVING	276 SQ FT
COVERED DECK	148 SQ FT
UNCOVERED DECK	148 SQ FT
TOTAL	424 SQ FT

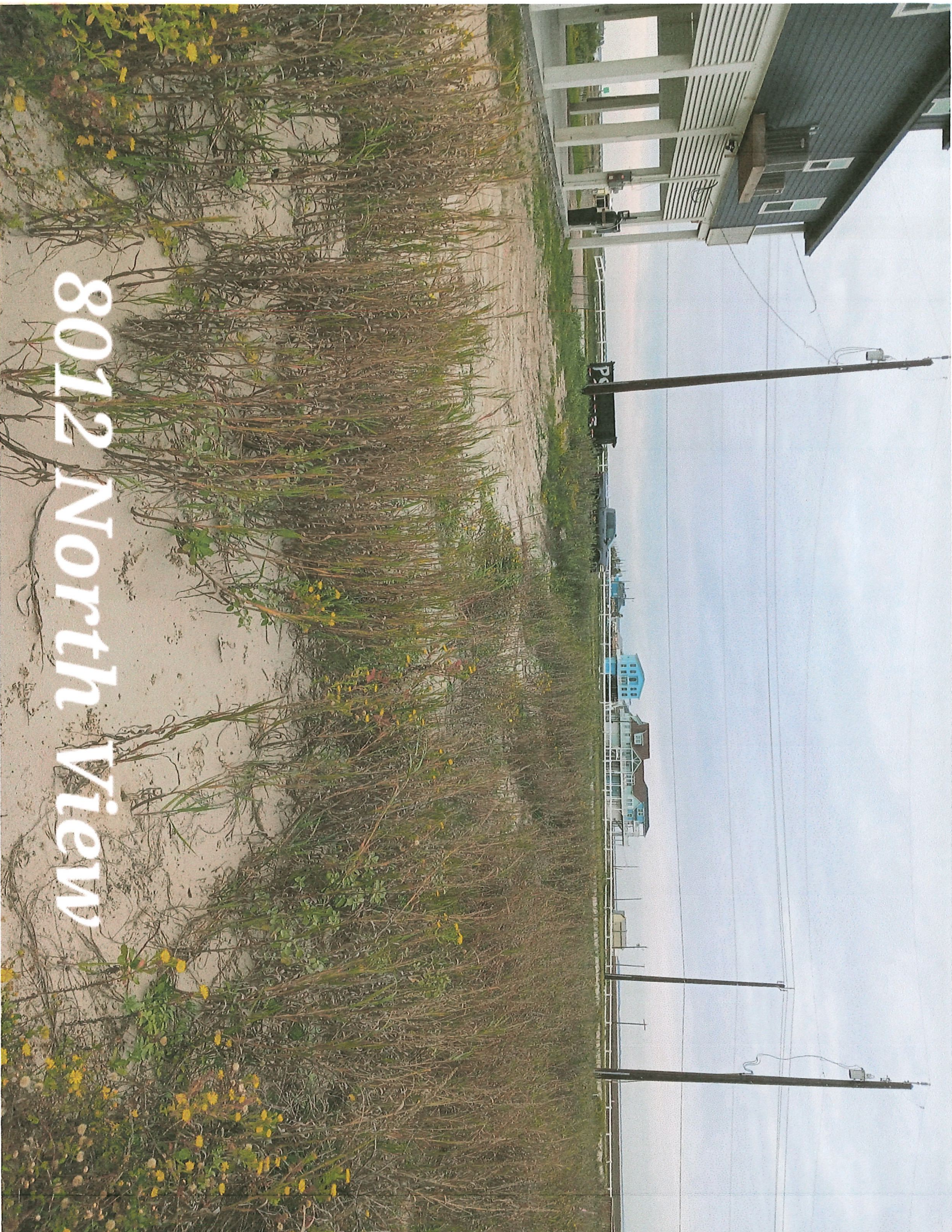
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 1/4"=1'-0"

SHEET NAME:  
 FLOOR PLANS

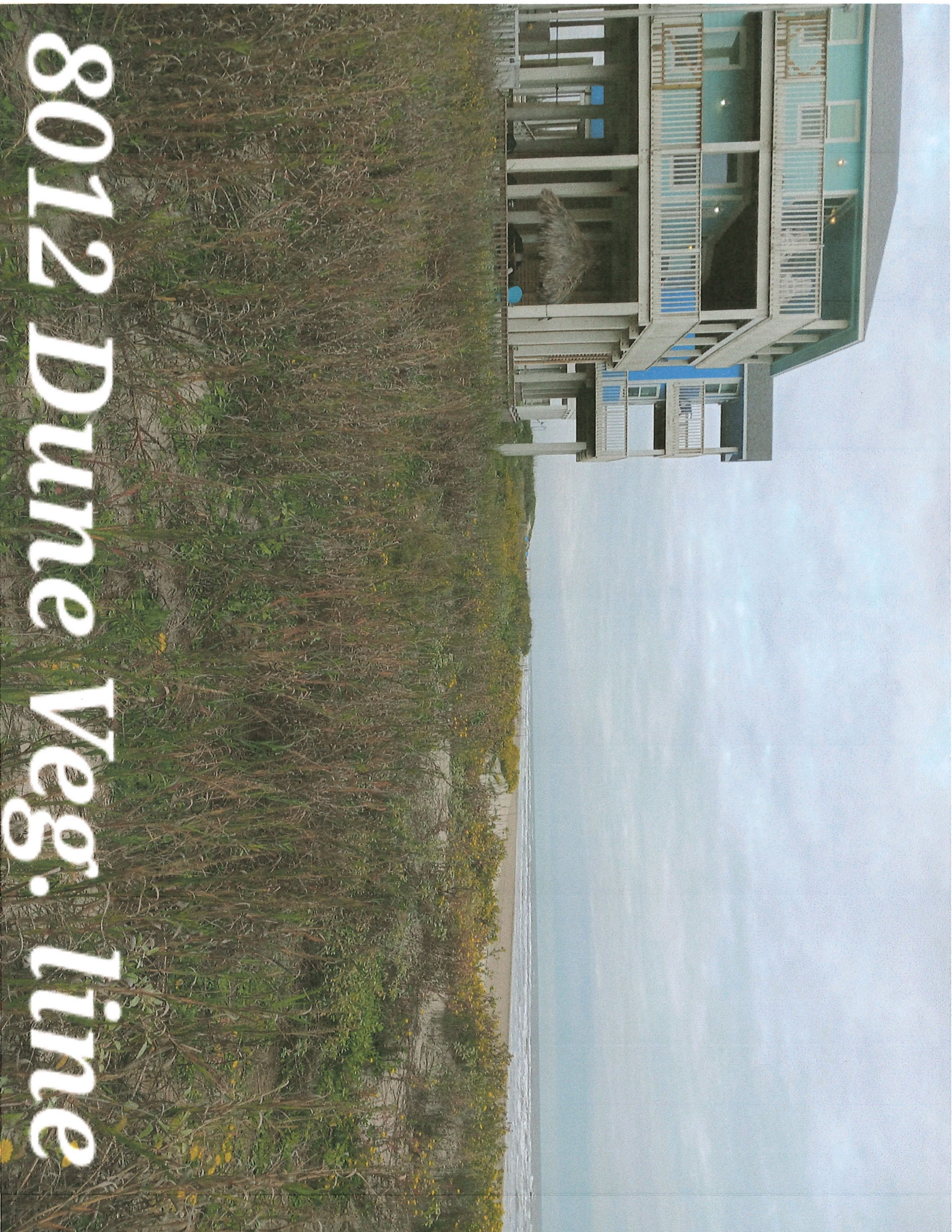
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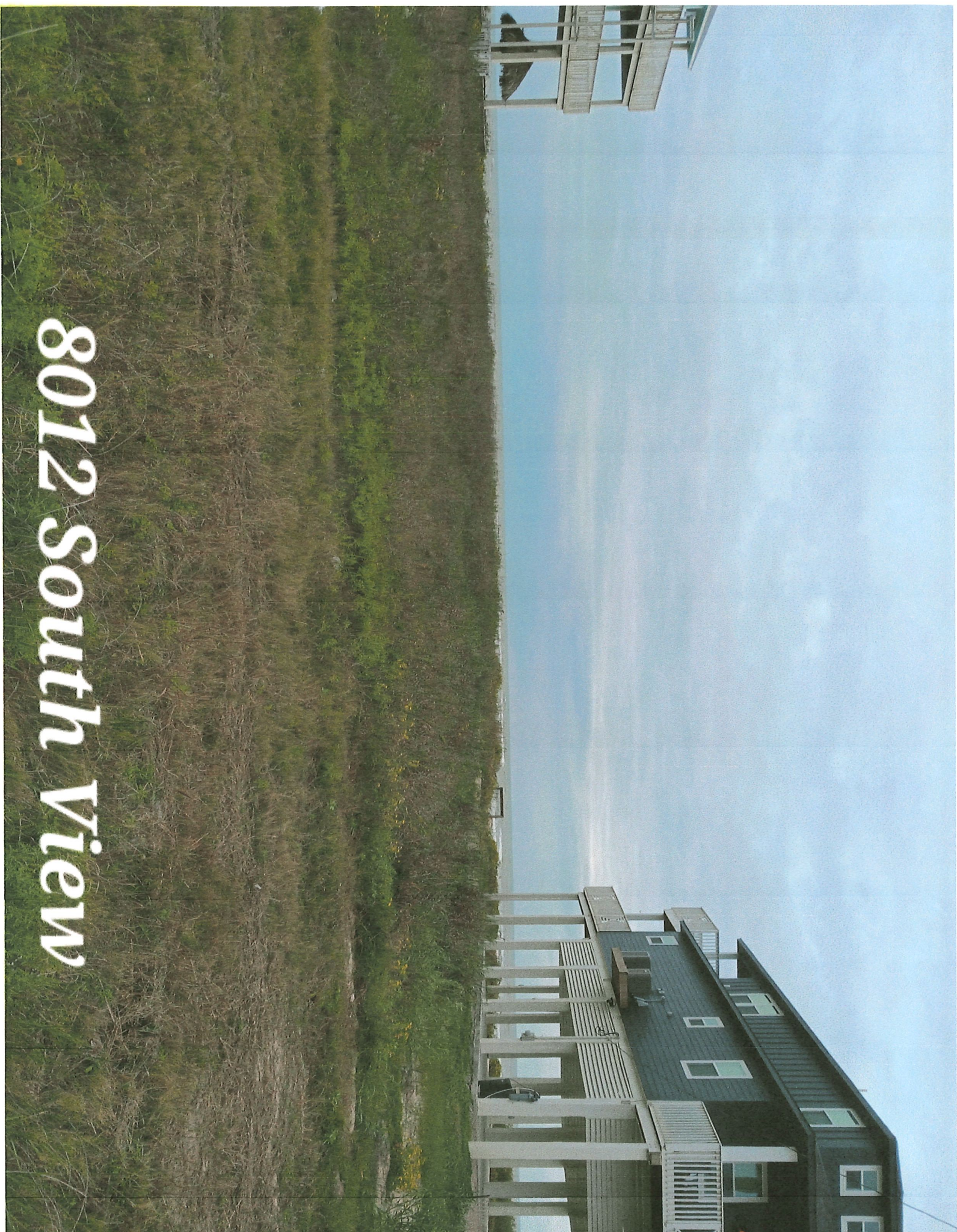
8012 North View







8012 Dune Veg. line



*8012 South View*



8012 East View

## Basic Quality Statistical Summary Report

**Plant** C783-CONROE  
**Product** TX374 - Fine Natural River Sand  
**Specification** GCM Spec  
**Period** 03/06/2023 - 03/06/2024

Sieve/Test	Tests	Average	St Dev	Target	Specification
3/8" (9.5mm)	234	100.0	0.00		100-100
#4 (4.75mm)	234	100.0	0.17		95-100
#8 (2.36mm)	234	99.9	0.52		90-100
#16 (1.18mm)	234	99.6	0.85		
#30 (0.6mm)	234	94.0	1.94		80-100
#50 (0.3mm)	234	48.5	6.55		10-60
#100 (0.15mm)	234	4.7	1.57		0-20
#200 (75µm)	233	0.3	0.28		0-5
Pan	234	0.0	0.00		
Unit Wt (Loose)	5	99.3	5.53		
Unit Wt (Rodded)	5	108.6	5.40		
Voids (Rodded)	5	33.8	2.85		
-#200 (75um)	3	0.47	0.076		
Wash Loss (#200/75um)	2	0.55	0.000		
SPGR (Dry,Gsb)	3	2.622	0.0000		
Absorption	5	0.6	0.05		
SPGR (SSD)	5	2.623	0.0099		
FM	234	1.53	0.095		
Total Moisture	47	4.14	0.876		
Soundness (MgSO4)	2	2.7	0.00		
Soundness (Na2SO4)	2	2.5	0.00		
SE	4	76	3.1		

**Query** Query Selections  
 Date Created 03/06/2024  
 Date Range 03/06/2023 - 03/06/2024  
 Plant CONROE

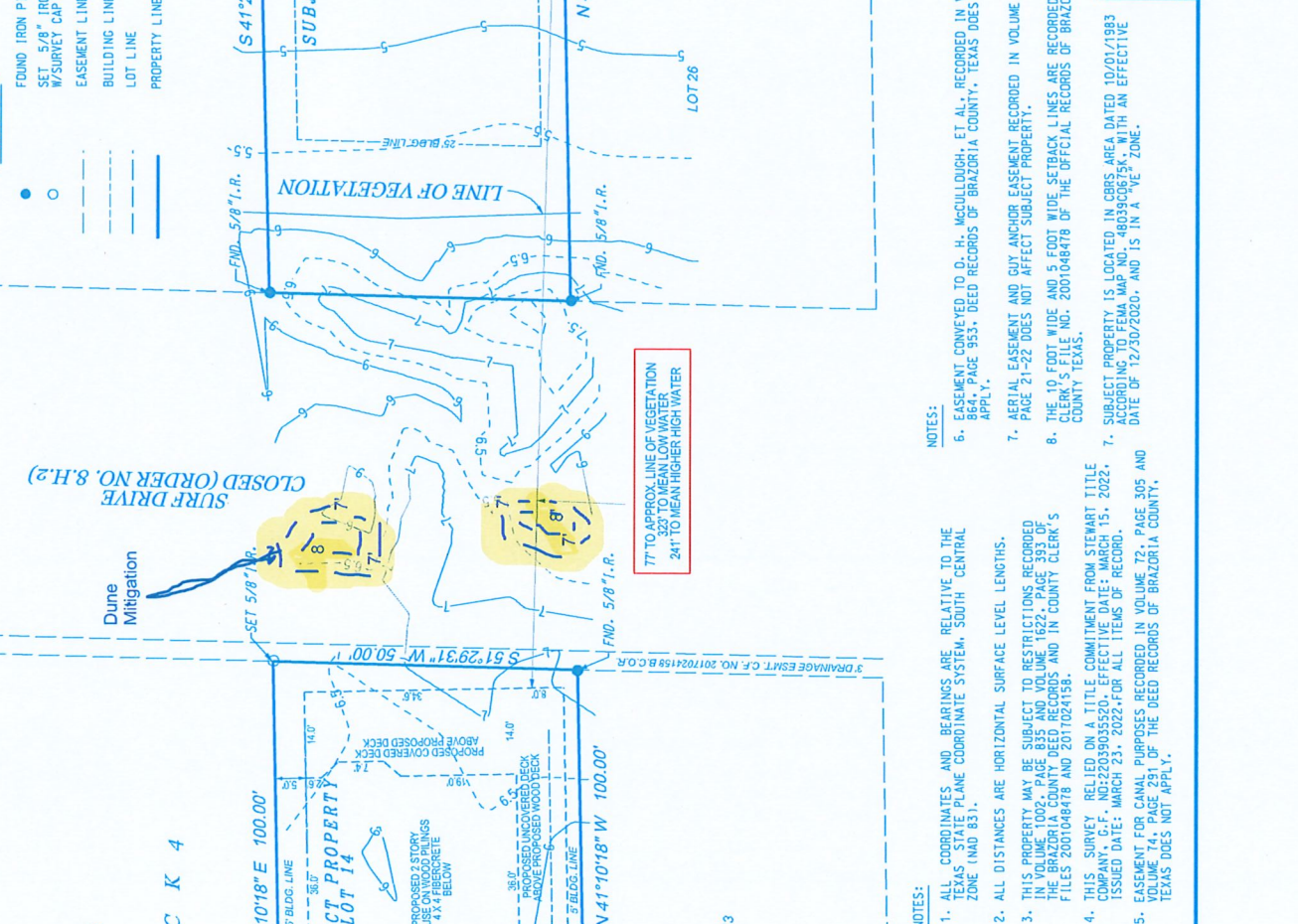
**BRAZORIA COUNTY TEXAS**

**S.F. AUSTIN PENINSULAR LEAGUE  
ABSTRACT 29**

**TOPOGRAPHICAL SURVEY  
LOTS 14 AND 25, BLOCK 4**

**OF  
KEY LARGO RESORT  
RECORDED IN  
VOLUME 13, PAGE 21-22  
OF THE  
BRAZORIA COUNTY PLAT RECORDS  
IN THE  
S.F. AUSTIN PENINSULAR LEAGUE  
ABSTRACT 29  
BRAZORIA COUNTY, TEXAS  
FOR  
PAUL SPEICH**

8012 BLUEWATER HIGHWAY  
**Doyle & Wachtstetter, Inc.**  
Surveying and Mapping CPS/GIS  
151 COMMERCE STREET, COLLEGE TEXAS, TX 77927  
OFFICE: 979.365.3622 FAX: 979.365.9680  
SURVEYED: 5/7/24 DRAWN BY: ES/4-11-24 BLOCK: 18524-11-24 REVISED: 5-7-24



**LEGEND**

- FOUND IRON PIPE/ROD
- SET 5/8" IRON ROD W/SURVEY CAP "TIS-4808"
- - - EASEMENT LINE
- - - BUILDING LINE
- - - LOT LINE
- - - PROPERTY LINE

**NOTES:**

1. ALL COORDINATES AND BEARINGS ARE RELATIVE TO THE TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH CENTRAL ZONE (NAD 83).
2. ALL DISTANCES ARE HORIZONTAL SURFACE LEVEL LENGTHS.
3. THIS PROPERTY MAY BE SUBJECT TO RESTRICTIONS RECORDED IN VOLUME 1002, PAGE 835 AND VOLUME 1622, PAGE 393 OF THE BRAZORIA COUNTY DEED RECORDS AND IN COUNTY CLERK'S FILES 2001048478 AND 2017024158.
4. THIS SURVEY RELIED ON A TITLE COMMITMENT FROM STEWART TITLE COMPANY, G.F. NO:22039035520 - EFFECTIVE DATE: MARCH 15, 2022. ISSUED DATE: MARCH 23, 2022. FOR ALL ITEMS OF RECORD.
5. EASEMENT FOR CANAL PURPOSES RECORDED IN VOLUME 72, PAGE 305 AND VOLUME 14, PAGE 291 OF THE DEED RECORDS OF BRAZORIA COUNTY, TEXAS DOES NOT APPLY.

**NOTES:**

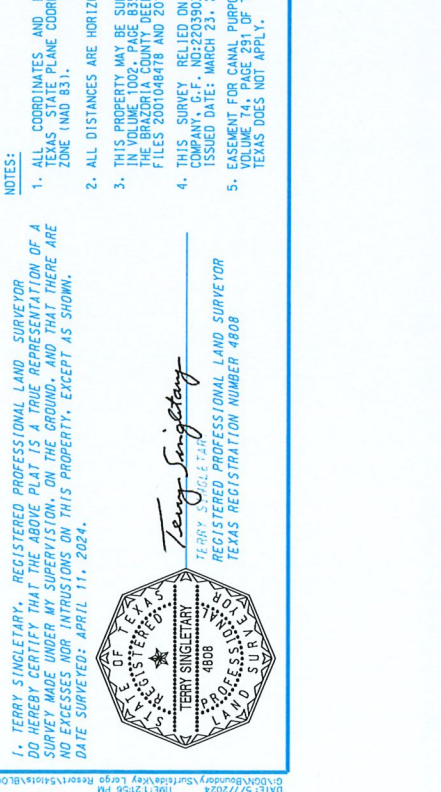
6. EASEMENT CONVEYED TO D. H. McCULLOUGH, ET AL., RECORDED IN VOLUME 864, PAGE 953, DEED RECORDS OF BRAZORIA COUNTY, TEXAS DOES NOT APPLY.
7. AERIAL EASEMENT AND GUY ANCHOR EASEMENT RECORDED IN VOLUME 13, PAGE 21-22 DOES NOT AFFECT SUBJECT PROPERTY.
8. THE 10 FOOT WIDE AND 5 FOOT WIDE SETBACK LINES ARE RECORDED IN CLERK'S FILE NO. 2001048478 OF THE OFFICIAL RECORDS OF BRAZORIA COUNTY, TEXAS.
7. SUBJECT PROPERTY IS LOCATED IN CBRS AREA DATED 10/01/1983 ACCORDING TO FEMA MAP NO. 4803900785 WITH AN EFFECTIVE DATE OF 12/30/2020, AND IS IN A "VE" ZONE.

77 TO APPROX LINE OF VEGETATION  
241 TO MEAN HIGHER-HIGH WATER

**TERRY SINGLETARY**  
REGISTERED PROFESSIONAL LAND SURVEYOR  
REGISTERED PROFESSIONAL LAND SURVEYOR  
TEXAS REGISTRATION NUMBER 4808  
DATE SURVEYED: APRIL 11, 2024.

**PAUL SPEICH**  
8012 BLUEWATER HIGHWAY  
FOR

**KEY LARGO RESORT**  
RECORDED IN  
VOLUME 13, PAGE 21-22  
OF THE  
BRAZORIA COUNTY PLAT RECORDS  
IN THE  
S.F. AUSTIN PENINSULAR LEAGUE  
ABSTRACT 29  
BRAZORIA COUNTY, TEXAS  
FOR  
PAUL SPEICH





*8012 Bluewater  
highway, vegetation  
line*



**BRAZORIA COUNTY**

**NOTICE OF RESIDENTIAL CONSTRUCTION  
INSPECTION COMPLIANCE  
IN UNINCORPORATED AREA**

**(TO BE SUBMITTED BY BUILDER)**

Received

2023-645

Related OSSF  
Application #

Permit #

100

IRC #

**BUILDERS NAME:** Spinch Custom Homes

**PROJECT INFORMATION**

**TYPE OF CONSTRUCTION: (Check One)**

- 1) New Residential Construction on a vacant lot
- 2) Addition to an Existing Residential Unit

**NOTE:** *If a property lies in an ETJ it is required to contact the city hall for appropriate building codes.*

**LOCATION:**

Address 8012- Bluewater

Lot and Block # 14+25, Blk 4 Subdivision Key Largo

or Survey \_\_\_\_\_ Tract/Acreage .13

or Deed Reference \_\_\_\_\_ Property ID (MCAD)# \_\_\_\_\_

**RESIDENTIAL CODE USED IN CONSTRUCTION:**

- 1) INTERNATIONAL RESIDENTIAL CODE – published 2015   
date